



CORPORATION OF THE TOWNSHIP OF ESQUIMALT

ADVISORY PLANNING COMMISSION AGENDA TUESDAY AUGUST 21, 2018 7:00 P.M. ESQUIMALT COUNCIL CHAMBERS

- I. CALL TO ORDER
- II. LATE ITEMS
- III. ADOPTION OF AGENDA
- IV. ADOPTION OF MINUTES – July 17, 2018
- V. STAFF REPORTS

1) REZONING APPLICATION - 471 Kinver Street

[PID 005-918-545; Parcel A (DD 187668I) of Lots 1 and 2, Section 11, Esquimalt District, Plan 6016]

Purpose of Application:

The applicant is requesting a change in zoning from the current RD-3 [Two Family/ Single Family Residential] zone to a Comprehensive Development zone [CD] which would allow two new single family residences, each on a fee simple parcel. The existing house would be demolished and two new homes would be constructed. Should the rezoning be approved, the form and character of the buildings and landscaping would be controlled by a development permit that would be considered by Council at a future date.

Evaluation of this application should focus on issues relevant to zoning such as the appropriateness of the proposed uses, height, density, massing, proposed unit sizes, siting, setbacks, lot coverage, useable open space, parking, how the building relates to surrounding sites; and consistency with the overall direction contained within the Official Community Plan.

Recommendation:

The Esquimalt Advisory Planning Commission recommends to Council that the application for rezoning, authorizing two new single family dwellings sited in accordance with the surveyor's plan prepared by Glen Mitchell, Land Surveying Inc., and incorporating the height and massing consistent with the architectural plans provided by Hartman's Drafting & Design, both stamped "Received July 9, 2018", for the proposed development to be located at 471 Kinver Street [PID 005-918-545; Parcel A (DD 187668I) of Lots 1 and 2, Section 11, Esquimalt District, Plan 6016] be forwarded to Council with a **recommendation to either approve, approve with conditions, or deny the application; and provide reasons for the chosen recommendation.**

- 2) **Rezoning Application - 939 Colville Road and 825 Lampson Street**
PID 005-752-655, Lot 1, Block 1, Section 10, Esquimalt District, Plan 6277, and;
PID 000-017-817, Lot 2, Block 1, Section 10, Esquimalt District, Plan 6277

Purpose of the Application:

The applicant is requesting a change in zoning from the current zones of RS-4 [Single Family Bed and Breakfast] and CD-90 [Comprehensive Development District No. 90], to a new Comprehensive Development District to accommodate the proposed ten (10) strata townhouse residences, to be constructed in four (4) buildings on the subject property.

The existing two houses would be demolished and the ten new dwelling units would be constructed. Should the rezoning be approved, the form and character of the buildings and landscaping would be controlled by a development permit that would be considered by Council at a future date.

Evaluation of this application should focus on issues relevant to zoning such as the appropriateness of the proposed uses, height, density, massing, proposed unit sizes, siting, setbacks, lot coverage, useable open space, parking, how the building relates to surrounding sites; and consistency with the overall direction contained within the Official Community Plan.

Recommendation:

The Esquimalt Advisory Planning Commission recommends to Council that the application for rezoning, authorizing ten (10) townhouse dwelling units as sited on the survey plan prepared by Island Land Surveying Ltd. and incorporating the height and massing consistent with the architectural plans provided by T-Square Design, both stamped "Received July 6, 2018", detailing the development proposed to be located at 939 Colville Road [PID 005-752-655, Lot 1, Block 1, Section 10, Esquimalt District, Plan 6277] and 825 Lampson Street [PID 000-017-817, Lot 2, Block 1, Section 10, Esquimalt District, Plan 6277], **be forwarded to Council with a recommendation to either approve, approve with conditions, or deny the application; and provide reasons for the recommendation.**

VI. NEXT REGULAR MEETING

Tuesday, September 18, 2018

VII. ADJOURNMENT



CORPORATION OF THE TOWNSHIP OF ESQUIMALT

ADVISORY PLANNING COMMISSION MINUTES OF JULY 17, 2018 ESQUIMALT COUNCIL CHAMBERS

PRESENT:	Ken Armour Michael Angrove Fil Ferri	Graeme Dempster Marie Fidoe
ABSENT:	Helen Edley and Duncan Cavens	
STAFF:	Bill Brown, Director of Development Services, Staff Liaison Karen Hay, Planner Janany Nagulan, Planner Pearl Barnard, Recording Secretary	
COUNCIL LIAISONS:	Councillor Tim Morrison	

I. CALL TO ORDER

Ken Armour, Chair, called the Advisory Planning Commission meeting to order at 7:04 p.m.

II. INTRODUCTION OF NEW MEMBERS

Chair welcomed new members Marie Fidoe and Fil Ferri

III. LATE ITEMS

There were no late items.

IV. APPROVAL OF THE AGENDA

Moved by Graeme Dempster, seconded by Fil Ferri: That the agenda be approved as circulated. **Carried Unanimously**

V. ADOPTION OF MINUTES

Moved by Graeme Dempster, seconded by Mike Angrove: That the minutes of the APC meeting, May 15, 2018 be adopted as circulated. **Carried Unanimously**

Moved by Fil Ferri, seconded Marie Fidoe: That the minutes of the APC meeting, June 19, 2018 be adopted as circulated. **Carried Unanimously**

VI. STAFF REPORTS

1) REZONING APPLICATION 916 and 920 Old Esquimalt Road

David Yamamoto, Zebra Design, provided an overview of the Rezoning application for 916 and 920 Old Esquimalt Road and responded to questions from the Commission.

Commission comments and questions included (*response in italics*):

- Why not Townhouses? *Single Family Dwellings have better market value.*

- Why are there no secondary suites in units A & B? *It is not economically viable and there is an outline of exposed rock that would require blasting.*
- Is street parking available in the area? *Yes*
- Setbacks on the back lots - Has there being any discussion with the neighbours? *The owner has consulted the neighbours and positive feedback was received. There will also be a Public Consultation Meeting in the future.*
- Clarification was sought on the driveway easement. *The current easement services the lot to east.*
- Perfect location for higher density.
- Single Family homes are more attractive to buyers, easier to sell and more appealing than Townhouses
- Like that the façade on the three dwellings is different
- Will any of the replacement trees be Garry Oaks? *No*
- Window location of the secondary suites. *Windows will be below grade with window wells.*
- Encourage provision of more prominent entries instead of garage doors

RECOMMENDATION:

Moved by Ken Armour, seconded by Graeme Dempster: The application for rezoning, authorizing five new family dwellings to be constructed on five new lots, where the existing two homes (on two lots) would be demolished, sited in accordance with the BCLS Site Plan prepared by Scott Pearce, Powell & Associates, BC Land Surveyors, stamped "Received June 12, 2018"; and incorporating the height and massing consistent with the architectural plans prepared by Zebra Residential Design, stamped "Received June 6, 2018" **be forwarded to Council with a recommendation by the Esquimalt Advisory Planning Commission to approve**; as the proposal will increase density, consistent with the neighbourhood and with an attractive building design. **Carried Unanimously**

**2) DEVELOPMENT PERMIT
480 & 482 Grafton Street**

Graeme Verhulst, Waymark Architecture and Michael Porter, Nouvell Housing provided an overview of the Development Permit application for 480 & 482 Grafton Street and responded to questions from the Commission.

Commission comments and questions included (*response in italics*):

- Why the unusual design? *An overview of the building system and design was provided*
- Have the neighbours been consulted? *Yes*
- Could this type of construction be used with a more traditional shape? *No*
- Great design, nice to see something different, interesting architecture
- Will it be owner occupied? *The owner will reside in one unit and the other will be rented out.*
- Concerns with the front façade and that it is looking directly into a car oriented pit. The Official Community Plan encourages prominent front doors
- Not consistent with the overall character of the existing dwellings on the street. Very incongruous to the neighbourhood
- Public Consultation on the building system and design would be helpful to educate the residents.

RECOMMENDATION:

Moved by Ken Armour, seconded by Mike Angrove: The application for a Development Permit, authorizing construction of a uniquely shaped duplex as per plans architectural plans prepared by Waymark Architecture, stamped “Received July 12, 2018”, landscape plan prepared by Waymark Architecture stamped “Received June 1, 2018”, and site plan prepared by J.E Anderson & Associates, stamped “Received June 11, 2018”, for the property located at 480-482 Grafton Street [PID: 000-127-833, Lot 5, Suburban Lot 29, Esquimalt District, Plan 1428] **be forwarded to Council with a recommendation by the Esquimalt Advisory Planning Commission to deny**; as the proposal is too incongruous with the surrounding houses in the neighbourhood. **Carried** (2 opposed, Graeme Dempster and Fil Ferri)

**3) DEVELOPMENT PERMIT - AMENDMENT
468 FOSTER STREET**

David Yamamoto, Zebra Design provided an overview of the Development Permit Amendment application for 468 Foster Street, presented a PowerPoint presentation and responded to questions from the Commission.

Commission comments and questions included (*responses in italics*):

- Why was this roof top deck not included in the original Development Permit application? *New owners.*

RECOMMENDATION:

Moved by Mike Angrove, seconded by Graeme Dempster: The application for a Development Permit amendment to accommodate a proposed roof top deck on the most northerly dwelling unit as illustrated in the design plans prepared by Zebra Design, stamped “Received July 10, 2018”, for the property located at PID 008-400-571, Lot The Esquimalt Advisory Planning Commission [APC] recommends to Council that the application for a Development Permit amendment to accommodate a proposed roof top deck on the most northerly dwelling unit as illustrated in the design plans prepared by Zebra Design, stamped “Received July 10, 2018”, for the property located at PID 008-400-571, Lot 17, Block G, Suburban Lot 30, Esquimalt District, Plan 772A [468 Foster Street], **be forwarded to Council with a recommendation by the Esquimalt Advisory Planning Commission to approve**; as the proposal is inset from the street and the north elevations and visually will not affect the street. **Carried Unanimously**

VII. NEXT REGULAR MEETING

Tuesday, August 21, 2018

VIII. ADJOURNMENT

The meeting adjourned 8:40 p.m.

CERTIFIED CORRECT



CORPORATION OF THE TOWNSHIP OF ESQUIMALT

Municipal Hall, 1229 Esquimalt Road, Esquimalt, B.C. V9A 3P1
Telephone (250) 414-7100 Fax (250) 414-7111

APC Meeting: August 21, 2018

STAFF REPORT

DATE: August 17, 2018

TO: Chair and Members of the Advisory Planning Commission

FROM: Karen Hay, Planner
Bill Brown, Director of Development Services

SUBJECT: REZONING APPLICATION - 471 Kinver Street
[PID 005-918-545; Parcel A (DD 187668I) of Lots 1 and 2, Section 11,
Esquimalt District, Plan 6016]

RECOMMENDATION:

The Esquimalt Advisory Planning Commission recommends to Council that the application for rezoning, authorizing two new single family dwellings sited in accordance with the surveyor's plan prepared by Glen Mitchell, Land Surveying Inc., and incorporating the height and massing consistent with the architectural plans provided by Hartman's Drafting & Design, both stamped "Received July 9, 2018", for the proposed development to be located at 471 Kinver Street [PID 005-918-545; Parcel A (DD 187668I) of Lots 1 and 2, Section 11, Esquimalt District, Plan 6016] be forwarded to Council with a **recommendation to either approve, approve with conditions, or deny the application; and provide reasons for the chosen recommendation.**

BACKGROUND:

Purpose of the Application

The applicant is requesting a change in zoning from the current RD-3 [Two Family/ Single Family Residential] zone to a Comprehensive Development zone [CD] which would allow two new single family residences, each on a fee simple parcel. The existing house would be demolished and two new homes would be constructed. Should the rezoning be approved, the form and character of the buildings and landscaping would be controlled by a development permit that would be considered by Council at a future date.

Evaluation of this application should focus on issues relevant to zoning such as the appropriateness of the proposed uses, height, density, massing, proposed unit sizes, siting, setbacks, lot coverage, useable open space, parking, how the building relates to surrounding sites; and consistency with the overall direction contained within the Official Community Plan.

Context

Applicant: Shawn Adye

Owners: Shawn Adye and Graham Turner**Property Size:** Metric: 803.6 m² Imperial: 8649.9 ft²**Existing Land Use:** Single Family Residence**Surrounding Land Uses:**

North: Single Family Residential [RD-3]

South: Single Family Residential [CD-59]

West: Two Family Residential [RD-1]

East: Two Family Residential [RD-1]

Existing Zoning: RD-3 [Two Family/Single Family Residential]**Proposed Zoning:** CD [Comprehensive Development District]**Existing OCP Designation:** Low Density Residential [No change required]**Zoning and Parking**

In keeping with other single unit projects, the proposed Comprehensive Development District zone would contain the following uses: single family residential, home occupation, boarding and urban hens. The applicant has not proposed secondary suites in this development, a covenant could be registered against the title of the property limiting the development to two [2] dwelling units.

Density, Lot Coverage, Siting and Parking: The following chart compares the floor area ratio, lot coverage, setbacks, building height, and parking of this proposal with the requirements of the RS-1 [Single Family Residential Zone]:

	RS-1 [Single Family]	Proposed CD Zone	
		Lot A [North]	Lot B [South]
Minimum Parcel Size	530 m ²	401.8 m ²	401.8 m ²
Floor Area Ratio	0.35	0.35	0.35
Lot Coverage	30%	28%	28%
Setbacks			
• Front	7.5 m	7.5 m	7.5 m
• Rear	7.5 m	16.3 m	16.3 m
• Side	3.0 m/1.5 m	1.5/1.5 m	1.5 m/1.5 m
Building Height	7.3 m	6.8 m	7.1 m
Off Street Parking	1 space	1 space	1 space

Floor Area Ratio [FAR] measures the size of a building (or for all principal buildings on a lot) as a ratio of the size of the lot on which a building sits. The combined FAR of this proposal is 0.35 which matches the maximum F.A.R. allowed in the Single Family Residential [RS-1] zone. The applicant has designed this project to generally comply with the RS-1 zone requirements; including F.A.R., lot coverage, building height, setbacks, and parking; with the exception of the 3 metre interior side setback, which is difficult to provide on narrow lots.

Esquimalt requires one parking space “behind the front face of the principle building” for a single family residence. This proposal incorporates a single car garage in each unit thereby meeting this regulation.

Official Community Plan

This proposal is consistent with the ‘Present’ and the ‘Proposed’ Land Use Designations applied to the subject property, “Low Density Residential”.

The following policies were considered in evaluating this development application:

Section 5 Housing & Residential Land Use contains policies that are intended to ensure that concerns such as tree protection, parking, traffic, noise, effects on neighbouring properties, and neighbourhood character are addressed.

- Policy: Support the inclusion of secondary suites within present and proposed low density residential land use designated areas.
- Policy: Support the inclusion of detached accessory dwelling units on appropriate low density residential land use designated areas where only one principal dwelling unit exists.
- Policy: Support the development of a variety of housing types and designs to meet the anticipated housing needs of residents. This may include non-market and market housing options that are designed to accommodate young and multi-generational families, the local workforce, as well as middle and high income households.

Section 5.2 Low Density Residential Redevelopment contains policies that support development that improves and enhances the appearance and livability of neighbourhoods and the community as a whole.

- Policy: Proposed redevelopment or infill within present low density residential land use designated areas should be built to high quality design and landscaping standards and respond sensitively to existing neighbourhood amenities.
- Policy: Consider the inclusion of secondary suites in infill developments where it is demonstrated that neighbourhood impacts can be mitigated.

As the Development Permit is not being considered at this time it would be inappropriate to address many of the DP guidelines. Staff believes the following DPA No. 3 Guidelines are especially relevant to the discussion of zoning issues (height, density, massing, proposed unit sizes, siting, setbacks, lot coverage, useable open space, parking, how the building relates to adjacent and surrounding sites):

DPA No. 3 Enhanced Design Control Residential – is designated to establish objectives for the form and character of intensive residential development.

20.6 Guidelines - Single-unit Infill Housing

20.6.1 Relationship to Existing Houses

2. Where two or more new separate dwellings are situated on a parcel or within a comprehensive development zone, the buildings shall be designed as part of a comprehensive scheme with all buildings being finished in complementary materials and incorporating complimentary architectural details.
3. Where new infill single houses are proposed, the design of the new houses should be complementary in scale, size, exterior finishes, rooflines, and colours to the predominant styles of housing in the neighbourhood. It is important to ensure that the new construction fits with the overall scale and character of existing houses. The intent of this guideline is not to encourage the replication or imitation of surrounding buildings but rather the design of structures that complement the streetscape.

20.6.2 Massing

1. New structures should be designed so that the overall massing is in keeping with other

single-unit residences in the immediate area. New structures for lots other than corner or double frontage lots should be limited to one and one half storeys.

2. New structures, which are two storeys in height, should be designed so that the second storey is partially concealed within the slope of the roof to minimize the height of the building. The use of dormers set into the roof is preferred to a flat roof or a peaked roof set over the second storey.

20.6.3 Privacy/Screening/Shadowing

1. Proposed infill dwellings should have only a minimal impact on adjacent homes and be separated from neighbouring residences by vegetation, screening, natural elevation differences, or a combination of these features.
2. Windows, decks and patios should be located so as to minimize intrusion on to the privacy of adjacent properties.
3. Infill dwellings should be sited to minimize the casting of shadows on to the private outdoor space of adjacent residential dwellings.

20.6.4 Landscaping

1. Proposals for single-unit infill housing must include a landscape plan showing hard landscaping (i.e., parking areas, fences, and patios) as well as lawns, trees, shrubs, planting areas and proposed plant species.
2. Retention and protection of trees and the natural habitat is encouraged wherever possible.

20.6.5 Private Open/Yard Space

1. Any proposal for single-unit infill housing should provide for usable, private outdoor areas for each dwelling, at grade.

The property is also included in the following OCP Development Permit Areas: Development Permit Area No. 1 – Natural Environment, Development Permit Area No. 7 – Energy Conservation and Greenhouse Gas Reduction, Development Permit Area No. 8 – Water Conservation. Many of these guidelines would be addressed at the Development Permit stage but the following are relevant to the discussion of zoning and parking areas, including in particular the siting of proposed buildings.

OCP Section 18 Development Permit Area No. 1 – Natural Environment - is designated for the purpose of establishing objectives for the protection of the natural environment, its ecosystems and biological diversity.

18.5.2 Natural Features - Natural features and areas to be preserved, protected, restored, and enhanced where feasible:

1. Retain existing healthy native trees, vegetation, rock outcrops and soil wherever possible.
4. Narrower manoeuvring aisles, fewer and smaller parking spaces can be considered where natural areas are being conserved.

18.5.3 Biodiversity - Landscaping features that will protect, restore and enhance biodiversity. Where feasible:

2. In residential locations plan for 'nature out front'; for new landscaping in front and exterior side yards use a variety of site-appropriate, native species; thereby contributing positively to pedestrian friendly urban streets, future greenways and habitat enhanced corridors.
10. Design retaining wall spacing and landscape planting areas of sufficient width and depth to support plantings (eg. provide larger spaces for trees).

18.5.5 Drainage and Erosion - Measures to control drainage and shoreline erosion.

Where it is reasonable:

1. Preserve, restore and enhance treed areas. Trees are the most effective form of absorbent landscaping due to their extensive root zones and their ability to both absorb water from the soil and intercept precipitation on leaves, needles and branches. Consider that native conifers are well adapted to local wet winters.
2. Reduce the impact of surges in stormwater on shorelines by designing on-site stormwater retention systems to contain the first 3 centimetres [1.25 inches] of precipitation on site, per precipitation event; and incorporating rainwater collection systems into roof design and landscaping.
4. Maximize the ratio of planted and pervious surfaces to unplanted surfaces, and design paved areas to direct water towards vegetated areas, to help reduce surface run off. Where paved surfaces are needed, intersperse with drought resistant vegetation and trees, to help absorb stormwater, provide shade and reduce the local heat island effect.

OCP Section 24 - Development Permit Area No. 7 – Energy Conservation and Greenhouse Gas Reduction - is designated for the purposes of energy conservation and greenhouse gas reduction.

24.5.1 Siting of buildings and structures. - Where it is feasible:

1. Orient buildings to take advantage of site specific climate conditions, in terms of solar access and wind flow; design massing and solar orientation for optimum passive performance.
2. Build new developments compactly, considering the solar penetration and passive performance provided for neighbouring sites, and avoid shading adjacent usable outdoor open spaces.
4. Provide space for pleasant pedestrian pathways between buildings.
5. Strategically site buildings to sustain and increase the community's urban forest tree canopy cover.
6. Provide space for significant landscaping including varying heights of trees, shrubs and ground covers.

24.5.2 Form and exterior design of buildings and structures. - Where it is feasible:

1. Orient larger roof surfaces to the south for potential use of solar panels or photo-voltaic roofing.
2. Use roof designs that reduce heat transfer into neighbouring buildings, helping reduce the

local heat island effect and the need for cooling of buildings in warmer months.

8. Add rooftop patios and gardens, particularly food producing gardens, as they can contribute to local resilience, livability, and reduction in greenhouse gas production by reducing food transportation costs.

24.5.3 Landscaping - Where it is feasible:

2. Choose open space and landscaping over dedicating space to the parking and manoeuvring of private motor vehicles.
3. Conserve native trees, shrubs and soils, thereby saving the cost of importing materials and preserving already sequestered carbon dioxide.

24.5.5 Special Features - Where it is feasible:

4. Reuse of existing buildings and building materials is encouraged.

OCP Section 25 - Development Permit Area No. 8 – Water Conservation - is designated for the purpose of water conservation.

25.5.3 Landscaping – Retaining Stormwater on Site (absorbent landscaping)

Where it is feasible:

1. Preserve and restore treed areas. Trees are the most effective form of absorbent landscaping due to their extensive root zones and their ability to both absorb water from the soil and intercept precipitation on leaves, needles and branches. Consider that native conifers are well adapted to local wet winters.
3. Avoid disturbing, compacting and removing areas of natural soil, as these are naturally absorbent areas.

Green Building Features

The applicant has completed the Esquimalt Green Building Checklist [attached].

Comments From Other Departments

The plans for this proposal were circulated to other departments and the following comments were received by the APC submission deadline:

Building Inspection: No concerns, subject to review for Building Code and Bylaw compliance at time of Building Permit application.

Engineering Services: Engineering has completed a preliminary review of the proposed development at 471 Kinver Street. The developer should be aware that they may be required to provide Works and Services up to the road centre line, at the expense of the property owner. The development is to have sewer, drain, catch basin and water service connections, as well as underground hydro, telephone, and cable. At a minimum new curb, gutter and sidewalks along the frontage of the proposed development maybe required. Additional review and comments will be provided upon receipt of detailed engineering drawings. All proposed Works and Services shall be as per Bylaw, 1997, No. 2175. It is the responsibility of the applicant to hire a qualified

professional for the design and construction supervision of all Works and Services, including construction costs, engineering fees, administrative fees and as indicated in Bylaw No. 2175.

Fire Services: No concerns.

Parks Services: A tree cutting permit is required for any tree removal. Protection by tree protection fencing set up at the drip-line to be provided for all the trees to be retained, prior to commencement of site preparation, demolition and construction.

Public Notification

As this is a rezoning application, should it proceed to a Public Hearing, notice will be mailed to tenants and owners of properties within 100m (328 ft) of the subject property. A sign indicating that the property is under consideration for a change in zoning has been installed on the Kinver Street frontage. This sign would be updated to include the date, time, and location of the Public Hearing.

ALTERNATIVES:

1. Forward the application for Rezoning to Council with a **recommendation of approval including reasons for the recommendation.**
2. Forward the application for Rezoning to Council with a **recommendation of approval including specific conditions and including reasons for the recommendation.**
3. Forward the application for Rezoning to Council with a **recommendation of denial including reasons for the recommendation.**

Heald Ave

N



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Kinver St

471

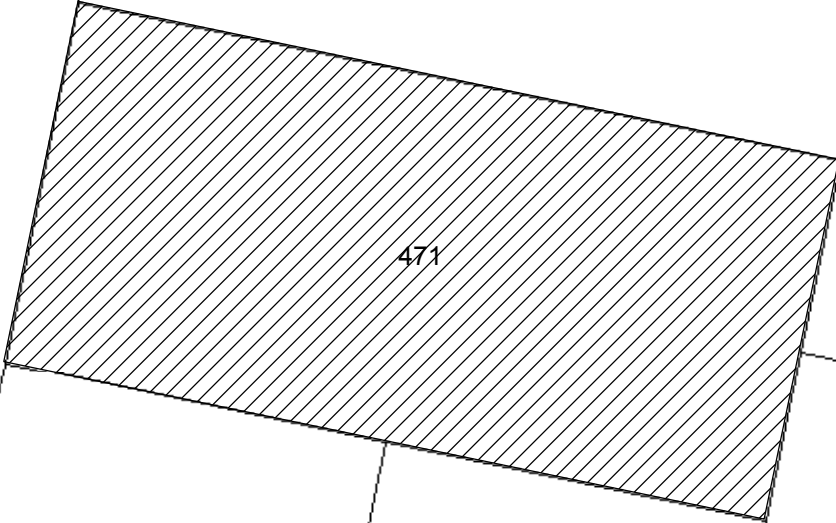
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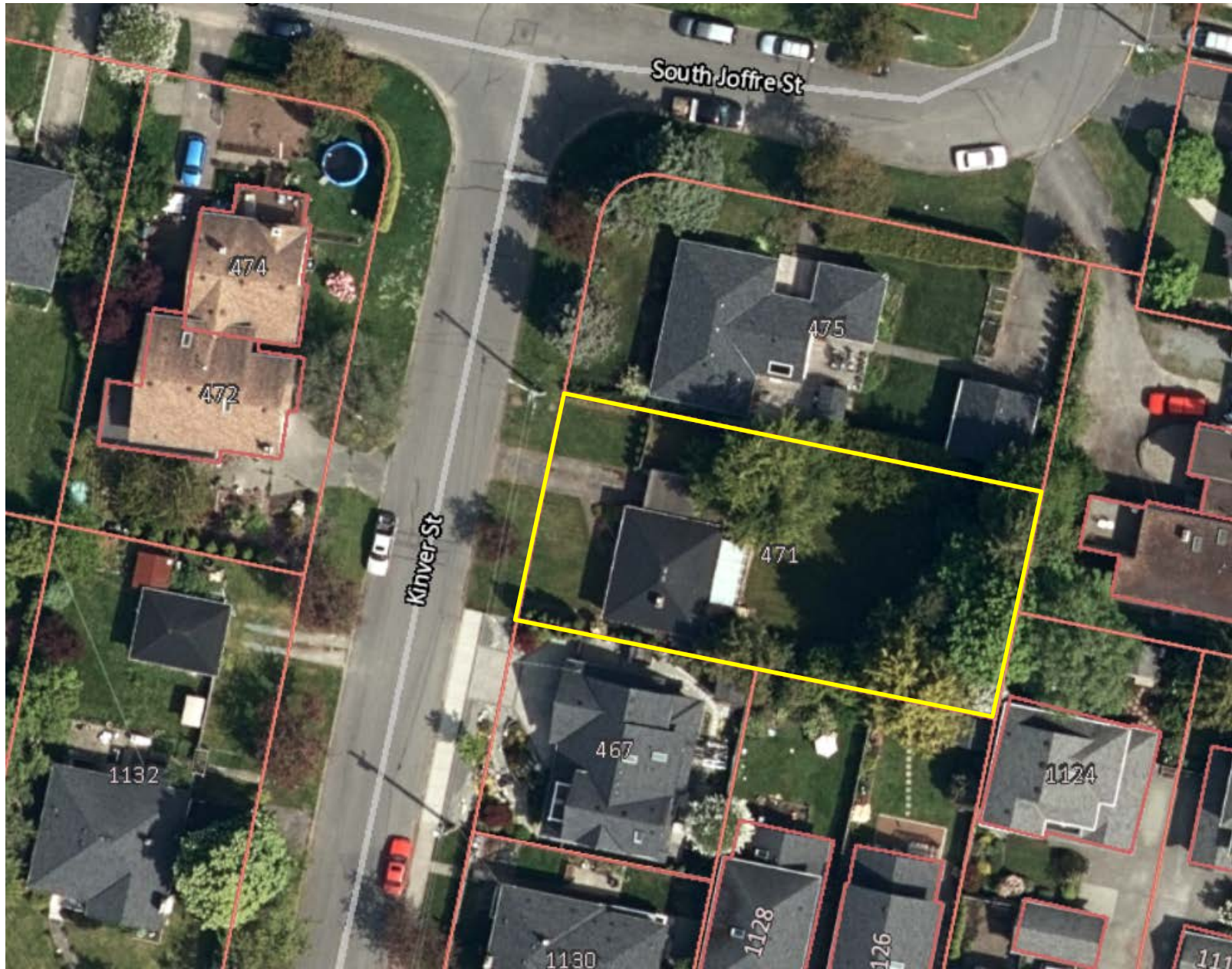
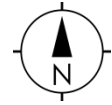
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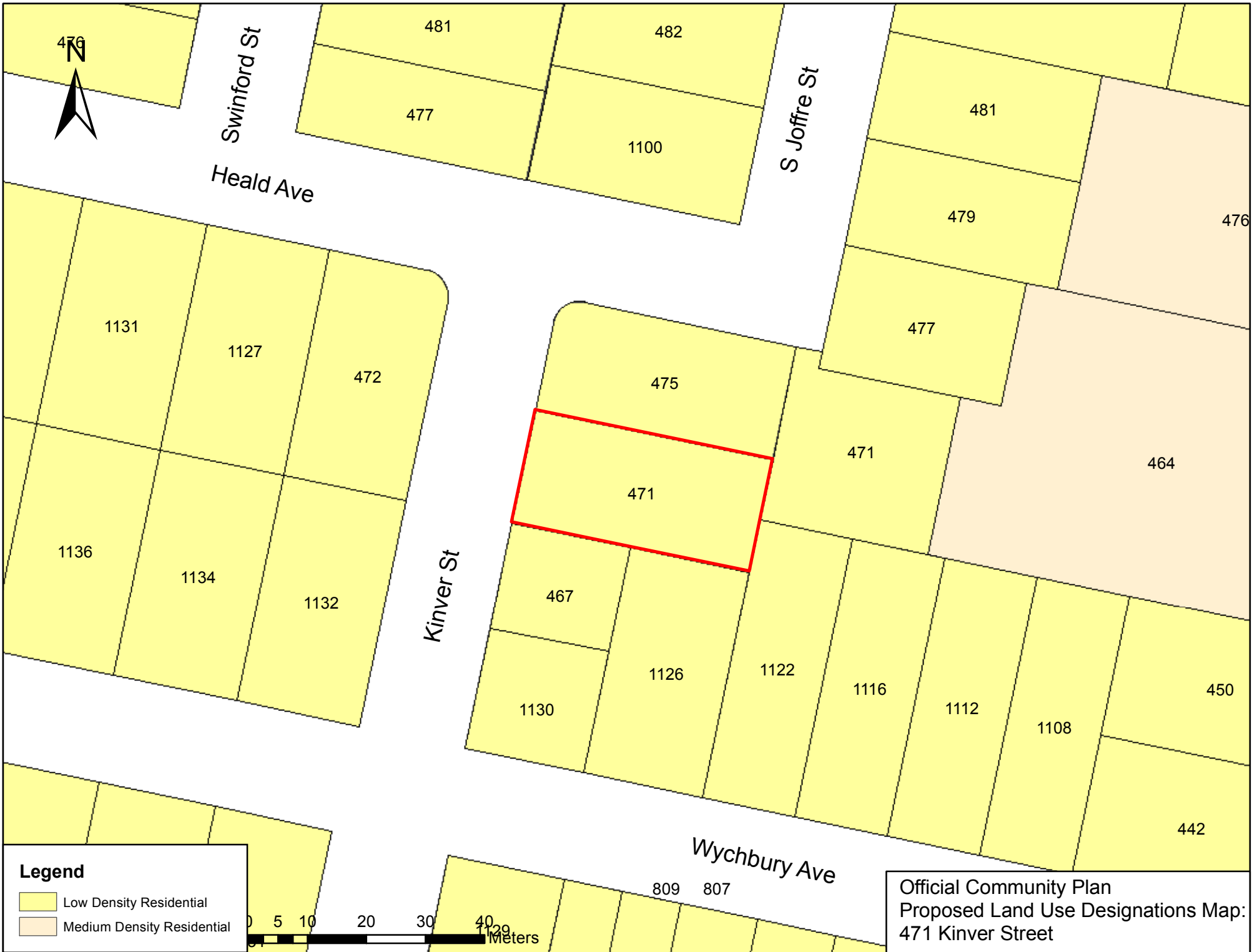
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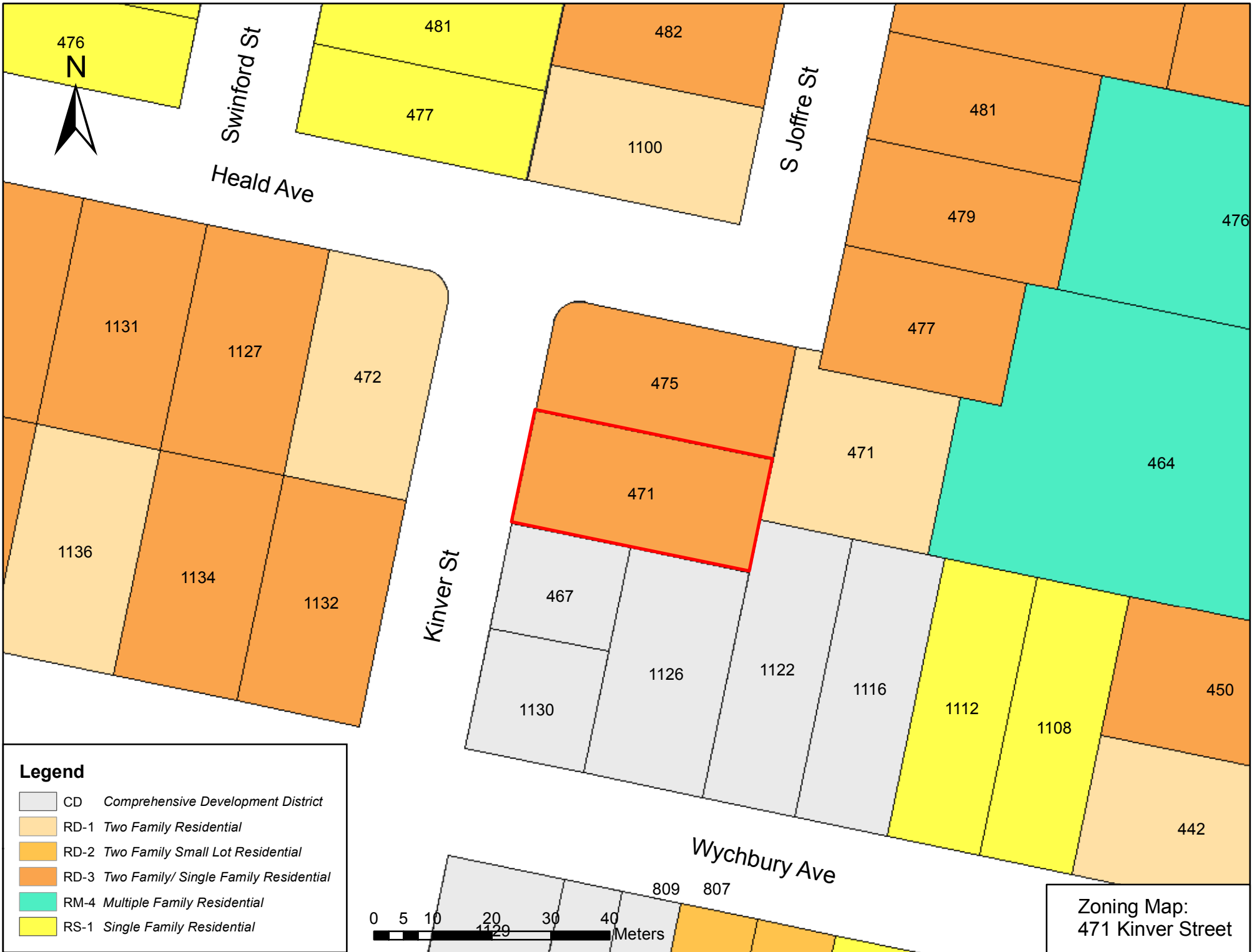
Subject Property Map:
471 Kinver Street



471 Kinver Street - air photo

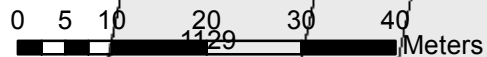






Legend

- CD *Comprehensive Development District*
- RD-1 *Two Family Residential*
- RD-2 *Two Family Small Lot Residential*
- RD-3 *Two Family/ Single Family Residential*
- RM-4 *Multiple Family Residential*
- RS-1 *Single Family Residential*



Zoning Map:
471 Kinver Street

40. TWO FAMILY/SINGLE FAMILY RESIDENTIAL [RD-3]

The intent of this Zone is to accommodate Single Family or Two Family Dwelling Units on individual Parcels of land.

(1) Permitted Uses

The following Uses and no others are permitted:

- (a) Single Family Residential
- (b) Two Family Residential
- (c) Home Occupation
- (d) Boarding: subject to the requirements of Section 30.3
- (e) Urban Hens: subject to the requirements of Section 30.4 of this bylaw.

(2) Parcel Size

The minimum Parcel Size for Parcels created by subdivision shall be 668 square metres.

(3) Minimum Lot Width

The minimum width of Parcels created by subdivision shall be 18.3 metres, measured at the Front Building Line.

(4) Floor Area Ratio

- (a) For parcels 800 square metres in area and larger, the Floor Area Ratio for Two Family Dwellings shall not exceed 0.35.
- (b) For parcels under 800 square metres in area the Floor Area Ratio for Two Family Dwellings shall not exceed 0.4.

(5) Floor Area

The minimum Floor Area for the First Storey of a Principal Building shall be 88 square metres.

(6) Building Height

- (a) No Principal Building shall exceed a Height of 7.3 metres.
- (b) No Accessory Building shall exceed a Height of 3.6 metres.
- (c) When developing a front to back Two Family Dwelling, the back Dwelling Unit shall be no higher than the highest point of the existing Dwelling Unit. A Two Family Dwelling is considered back to front if more than 75% of the floor area of the back Dwelling Unit is behind the rear wall of the front Dwelling Unit.

(7) Building Width

The minimum width of any Single Family or Two Family Dwelling shall be 7 metres.

(8) **Lot Coverage**

- (a) All Principal Buildings, Accessory Buildings and Structures combined shall not cover more than 30% of the Area of a Parcel.
- (b) All Accessory Buildings and Structures combined shall not exceed 10% of the Area of a Parcel.

(8.1) **Building Massing**

The second storey of any Two Family Dwelling shall be a maximum of 75% of the total floor area of the ground floor, including an attached garage.

(9) **Siting Requirements**

(a) **Principal Building**

- (i) Front Setback: No Principal Building shall be located within 7.5 metres of the Front Lot Line.
- (ii) Side Setback: No Principal Building shall be located within 1.5 metres of an Interior Side Lot Line, with the total Setback of all Side Yards not to be less than 4.5 metres. In the case where a Parcel is not served by a rear lane, one (1) Side Yard shall not be less than 3 metres. In the case of a Corner Lot, no Principal Building shall be located within 3.6 metres of an Exterior Side Lot Line.
- (iii) Rear Setback: No Principal Building shall be located within 7.5 metres of a Rear Lot Line.

(b) **Accessory Building**

- (i) Front Setback: No Accessory Building shall be located in front of the front face of the Principal Building.
- (ii) Side Setback: No Accessory Building shall be located within 1.5 metres of an Interior Side Lot Line nor 3.6 metres of an Exterior Side Lot line.
- (iii) Rear Setback: No Accessory Building shall be located within 1.5 metres of a Rear Lot line.
- (iv) Building Separation: No Accessory Building shall be located within 2.5 metres of a Principal Building.

(c) **Garage Setback**

Detached and attached garages shall be set back a minimum of 1.5 metres from the front face of the Dwelling Unit.

(10) **Common Wall Requirements**

In Two Family Dwellings the common wall overlap between the habitable areas of the two Dwelling Units shall be not less than 50%.

(11) **Fencing**

Subject to Section 22, no fence shall exceed a Height of 1.2 metres in front of the front face of the Principal Building and 2 metres behind the front face of the Principal Building.

(12) **Off Street Parking**

Off street parking shall be provided in accordance with the requirements of Parking Bylaw, 1992, No. 2011 (as amended).

(13) **Driveway Width**

The maximum width of a driveway surface on a Two Family Residential lot shall be a total of 5.5 metres. This applies to a double-wide driveway, or the combined width of two (2) single lane driveways serving a Two Family Dwelling.



GREEN BUILDING CHECKLIST

The purpose of this Checklist is to make property owners and developers aware of specific green features that can be included in new developments to reduce their carbon footprints to help create a more sustainable community.

Creating walkable neighbourhoods, fostering green building technologies, making better use of our limited land base and ensuring that new development is located close to services, shops and transit are some of the means of achieving sustainability.

The Checklist which follows focuses on the use of **Green Technologies** in new buildings and major renovations. The Checklist is not a report card, it is a tool to help identify how your project can become 'greener' and to demonstrate to Council how your project will help the Township of Esquimalt meet its sustainability goals. It is not expected that each development will include all of the ideas set out in this list but Council is looking for a strong commitment to green development.

There are numerous green design standards, for example, Built Green BC; LEED ND; Living Building Challenge; Green Shores; Sustainable Sites Initiative. Esquimalt is not directing you to follow any particular standard, however, you are strongly encouraged to incorporate as many green features as possible into the design of your project .

As you review this checklist, if you have any questions please contact **Development Services** at **250.414.7108** for clarification.

New development is essential to Esquimalt.
We look forward to working with you
to ensure that development is
as green and sustainable as possible.

Other documents containing references to building and site design and sustainability, which you are advised to review, include:

- Esquimalt's Official Community Plan
- Development Protocol Policy
- Esquimalt's Pedestrian Charter
- Tree Protection Bylaw No. 2664
- A Sustainable Development Strategic Plan for the Township of Esquimalt



"One-third of Canada's energy use goes to running our homes, offices and other buildings. The federal government's Office of Energy Efficiency (Natural Resources Canada) reports that a corresponding one-third of our current greenhouse gas (GHG) emissions come from the built environment."
 [Green Building and Development as a Public Good, Michael Buzzelli, CPRN Research Report June 2009]

Please answer the following questions and describe the green and innovative features of your proposed development. Depending on the size and scope of your project, some of the following points may not be applicable.

Green Building Standards

Both energy use and emissions can be reduced by changing or modifying the way we build and equip our buildings.

- 1 Are you building to a recognized green building standard? Yes No
 If yes, to what program and level? _____
- 2 If not, have you consulted a Green Building or LEED consultant to discuss the inclusion of green features? Yes No
- 3 Will you be using high-performance building envelope materials, rainscreen siding, durable interior finish materials or safe to re-use materials in this project? Yes No
 If so, please describe them. WOOD FLOORING, GRANITE COUNTERS
TILE FLOORING, WOOD CABINETS
- 4 What percentage of the existing building[s], if any, will be incorporated into the new building? 0 %
- 5 Are you using any locally manufactured wood or stone products to reduce energy used in the transportation of construction materials? Please list any that are being used in this project.
LOCAL CEDAR FOR EXTERIOR
- 6 Have you considered advanced framing techniques to help reduce construction costs and increase energy savings? Yes No
- 7 Will any wood used in this project be eco-certified or produced from sustainably managed forests? If so, by which organization? PEFC CERTIFIED LUMBER THROUGH W. FRASER MILL
 For which parts of the building (e.g. framing, roof, sheathing etc.)? _____
- 8 Can alternatives to Chlorofluorocarbons and Hydro-chlorofluorocarbons which are often used in air conditioning, packaging, insulation, or solvents] be used in this project? If so, please describe these. _____ Yes No
- 9 List any products you are proposing that are produced using lower energy levels in manufacturing.

- 10 Are you using materials which have a recycled content [e.g. roofing materials, interior doors, ceramic tiles or carpets]? Yes No
- 11 Will any interior products [e.g. cabinets, insulation or floor sheathing] contain formaldehyde? Yes No



Water Management

The intent of the following features is to promote water conservation, re-use water on site, and reduce storm water run-off.

Indoor Water Fixtures

- 12 Does your project exceed the BC Building Code requirements for public lavatory faucets and have automatic shut offs? Yes No
- 13 For commercial buildings, do flushes for urinals exceed BC Building Code requirements? Yes N/A
- 14 Does your project use dual flush toilets and do these exceed the BC Building Code requirements? Yes No
- 15 Does your project exceed the BC Building Code requirements for maximum flow rates for private showers? Yes No
- 16 Does your project exceed the BC Building Code requirements for flow rates for kitchen and bathroom faucets? Yes No

Storm Water

- 17 If your property has water frontage, are you planning to protect trees and vegetation within 60 metres of the high water mark? [Note: For properties located on the Gorge Waterway, please consult Sections 7.1.2.1 and 9.6 of the Esquimalt Official Community Plan.] Yes No N/A
- 18 Will this project eliminate or reduce inflow and infiltration between storm water and sewer pipes from this property? Yes No N/A
- 19 Will storm water run-off be collected and managed on site (rain gardens, wetlands, or ponds) or used for irrigation or re-circulating outdoor water features? If so, please describe. _____
 Yes No N/A
- 20 Have you considered storing rain water on site (rain barrels or cisterns) for future irrigation uses? RAIN BARRELS Yes No N/A
- 21 Will surface pollution into storm drains will be mitigated (oil interceptors, bio-swales)? If so, please describe. _____
 Yes No N/A
- 22 Will this project have an engineered green roof system or has the structure been designed for a future green roof installation? Yes No N/A
- 23 What percentage of the site will be maintained as naturally permeable surfaces? _____
60 %

Waste water

- 24 For larger projects, has Integrated Resource Management (IRM) been considered (e.g. heat recovery from waste water or onsite waste water treatment)? If so, please describe these. _____
 Yes No N/A

Natural Features/Landscaping

The way we manage the landscape can reduce water use, protect our urban forest, restore natural vegetation and help to protect the watershed and receiving bodies of water.

- 25 Are any healthy trees being removed? If so, how many and what species? Yes No N/A
2 DEAD OR IN BLD ENVELOPE / CEDAR
- Could your site design be altered to save these trees? _____
- Have you consulted with our Parks Department regarding their removal? YES



Air Quality

The following items are intended to ensure optimal air quality for building occupants by reducing the use of products which give off gases and odours and allowing occupants control over ventilation.

46	Will ventilation systems be protected from contamination during construction and certified clean post construction?	<input checked="" type="radio"/> Yes	<input type="radio"/> No	<input type="radio"/> N/A
47	Are you using any natural, non-toxic, water soluble or low-VOC [volatile organic compound] paints, finishes or other products? If so, please describe. _____	<input checked="" type="radio"/> Yes	<input type="radio"/> No	<input type="radio"/> N/A
48	Will the building have windows that occupants can open?	<input checked="" type="radio"/> Yes	<input type="radio"/> No	<input type="radio"/> N/A
49	Will hard floor surface materials cover more than 75% of the liveable floor area?	<input checked="" type="radio"/> Yes	<input type="radio"/> No	<input type="radio"/> N/A
50	Will fresh air intakes be located away from air pollution sources?	<input checked="" type="radio"/> Yes	<input type="radio"/> No	<input type="radio"/> N/A

Solid Waste

Reuse and recycling of material reduces the impact on our landfills, lowers transportation costs, extends the life-cycle of products, and reduces the amount of natural resources used to manufacture new products.

51	Will materials be recycled during demolition of existing buildings and structures? If so, please describe. <u>METALS, PLASTICS, ETC</u>	<input checked="" type="radio"/> Yes	<input type="radio"/> No	<input type="radio"/> N/A
52	Will materials be recycled during the construction phase? If so, please describe. <u>DRYWALL / PLASTICS / METAL / CARDBOARD</u>	<input checked="" type="radio"/> Yes	<input type="radio"/> No	<input type="radio"/> N/A
53	Does your project provide enhanced waste diversion facilities i.e. on-site recycling for cardboard, bottles, cans and or recyclables or on-site composting?	<input type="radio"/> Yes	<input checked="" type="radio"/> No	<input type="radio"/> N/A
54	For new commercial development, are you providing waste and recycling receptacles for customers?	<input type="radio"/> Yes	<input type="radio"/> No	<input checked="" type="radio"/> N/A

Green Mobility

The intent is to encourage the use of sustainable transportation modes and walking to reduce our reliance on personal vehicles that burn fossil fuels which contributes to poor air quality.

55	Is pedestrian lighting provided in the pathways through parking and landscaped areas and at the entrances to your building[s]?	<input type="radio"/> Yes	<input type="radio"/> No	<input checked="" type="radio"/> N/A
56	For commercial developments, are pedestrians provided with a safe path[s] through the parking areas and across vehicles accesses?	<input type="radio"/> Yes	<input type="radio"/> No	<input checked="" type="radio"/> N/A
57	Is access provided for those with assisted mobility devices?	<input type="radio"/> Yes	<input checked="" type="radio"/> No	<input type="radio"/> N/A
58	Are accessible bike racks provided for visitors?	<input type="radio"/> Yes	<input checked="" type="radio"/> No	<input type="radio"/> N/A
59	Are secure covered bicycle parking and dedicated lockers provided for residents or employees?	<input type="radio"/> Yes	<input checked="" type="radio"/> No	<input type="radio"/> N/A
60	Does your development provide residents or employees with any of the following features to reduce personal automobile use [check all that apply]: <input type="checkbox"/> transit passes <input type="checkbox"/> car share memberships <input type="checkbox"/> shared bicycles for short term use <input type="checkbox"/> weather protected bus shelters <input type="checkbox"/> plug-ins for electric vehicles			

Is there something unique or innovative about your project that has not been addressed by this Checklist? If so, please add extra pages to describe it.



B.C. Land Surveyor's

Sketch Plan of:

Proposed building locations on Proposed Lots A & B of a proposed subdivision of Parcel A (DD 187668I) of Lots 1 and 2, Block 3, Section 11, Esquimalt District, Plan 6016

(Subdivision application in progress)



Scale 1: 200 (metric) All distances are in metres

Civic address: 471 Kinver Street
Victoria, B.C.

Parcel Identifier Number 005-918-545

Charged against the title:
Restrictive Covenant 57863G
(see DD 41662I)

LEGEND

Denotes geodetic elevation at building corner

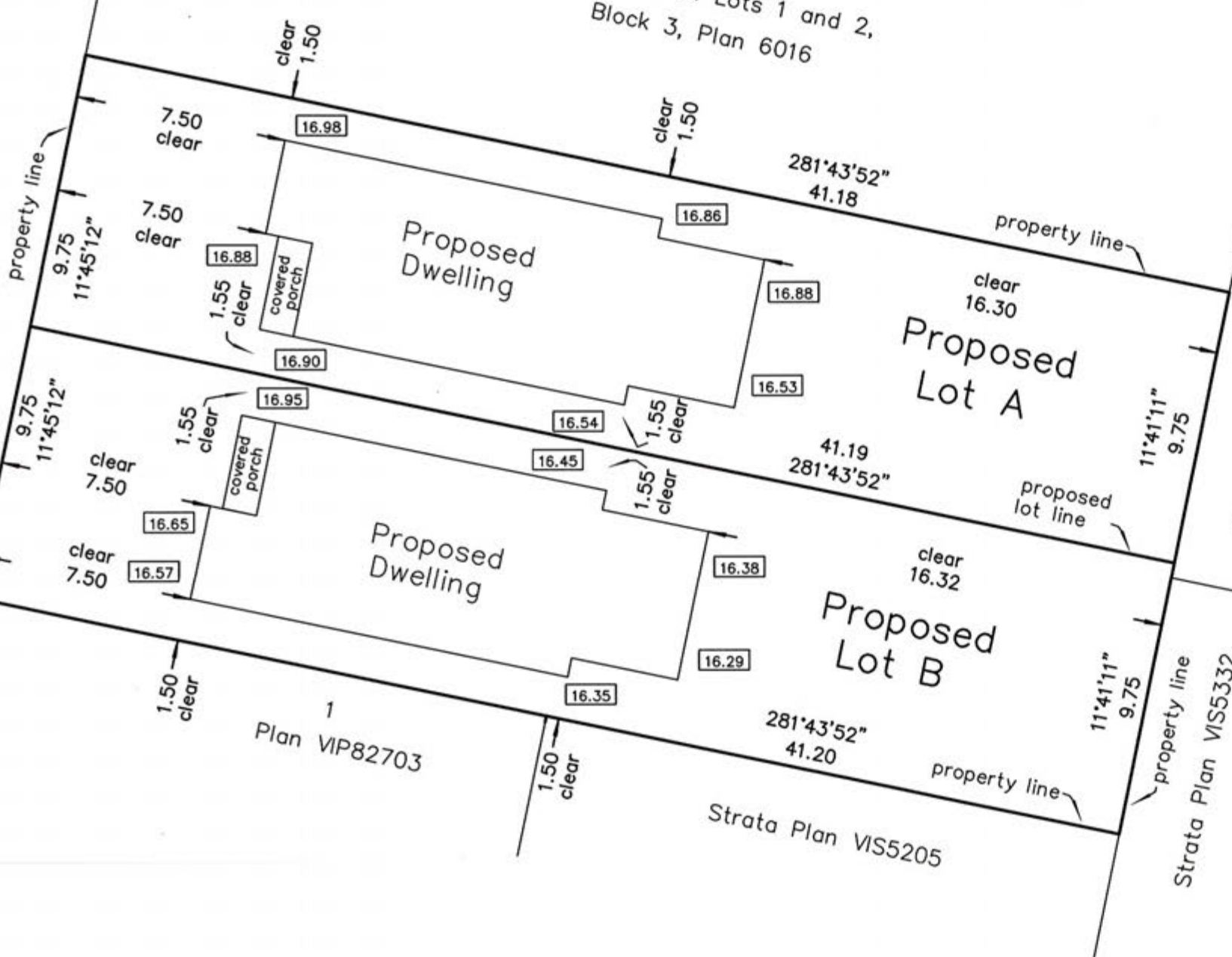
Elevations are geodetic

KINVER STREET

SITE AREA 803.6 m²



Parcel B of Lots 1 and 2,
Block 3, Plan 6016



PREPARED TO ACCOMPANY
APPLICATION(S)

Proposed building dimensions are from
design plans provided by Hartmann Design (July 2018)



Glen Mitchell
Land Surveying Inc.
1030 North Park Street
Victoria, B.C.
V8T 1C6
tel 250-385-1712
email glen @ mitchellsurvey.ca

Certified correct this 6th day of July, 2018

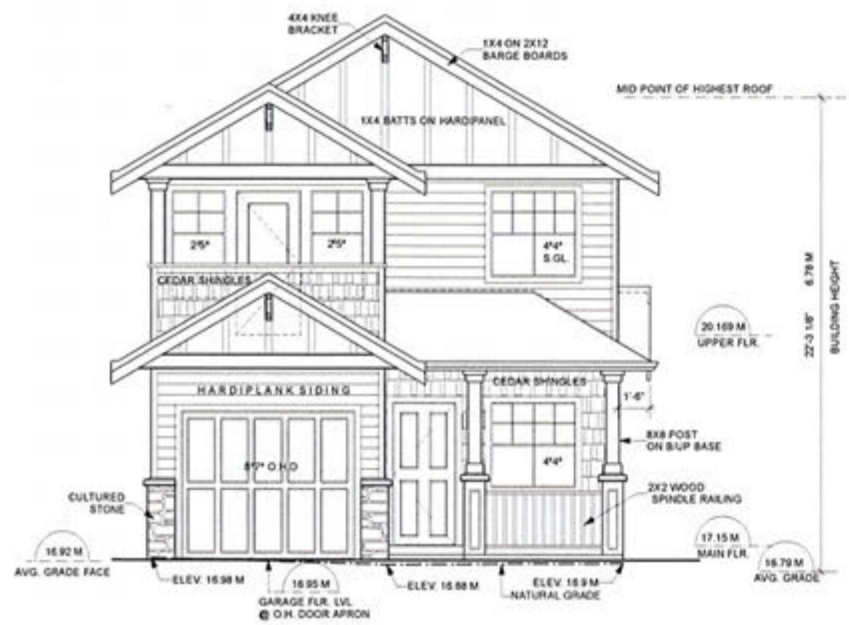


Glen Mitchell
P2GT7R

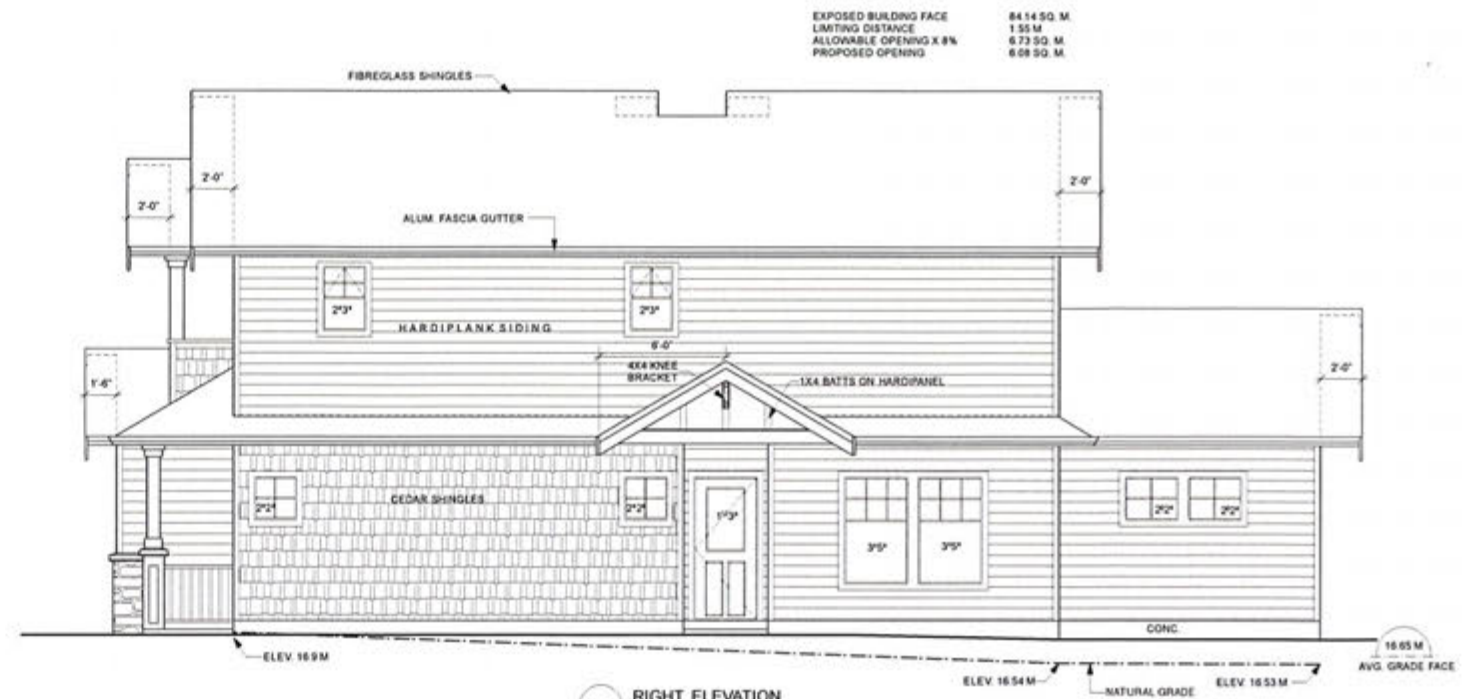
c=CA, cn=Glen Mitchell P2GT7R,
o=BC Land Surveyor, ou=Verify
ID at www.juricert.com/
LKUP.cfm?id=P2GT7R

B.C.L.S.

This document is not valid unless originally signed and sealed
or electronic signature is attached.



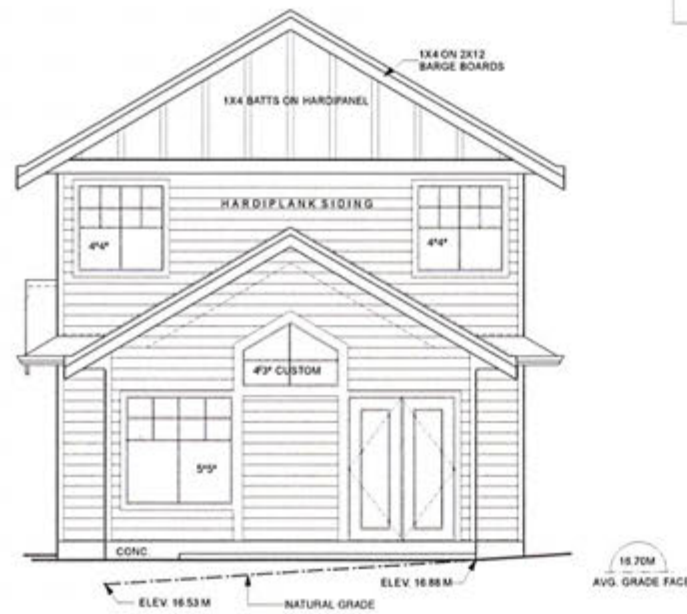
FRONT ELEVATION
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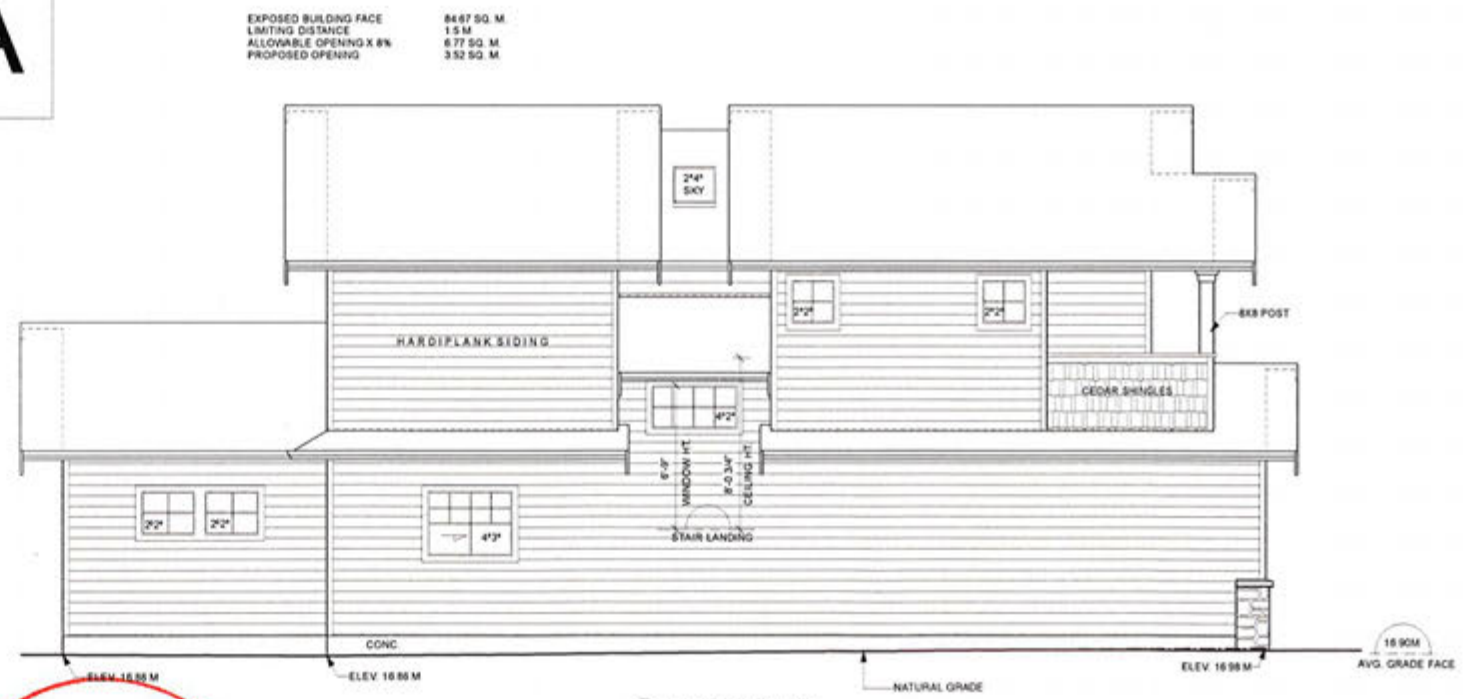
RIGHT ELEVATION
Scale: 1/4" = 1'-0"

EXPOSED BUILDING FACE 8414 SQ. M
LIMITING DISTANCE 1.55 M
ALLOWABLE OPENING X 8% 672 SQ. M
PROPOSED OPENING 609 SQ. M

LOT A



REAR ELEVATION
Scale: 1/4" = 1'-0"



LEFT ELEVATION
Scale: 1/4" = 1'-0"

RECEIVED
JUN 18 2018
CORP. OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICES

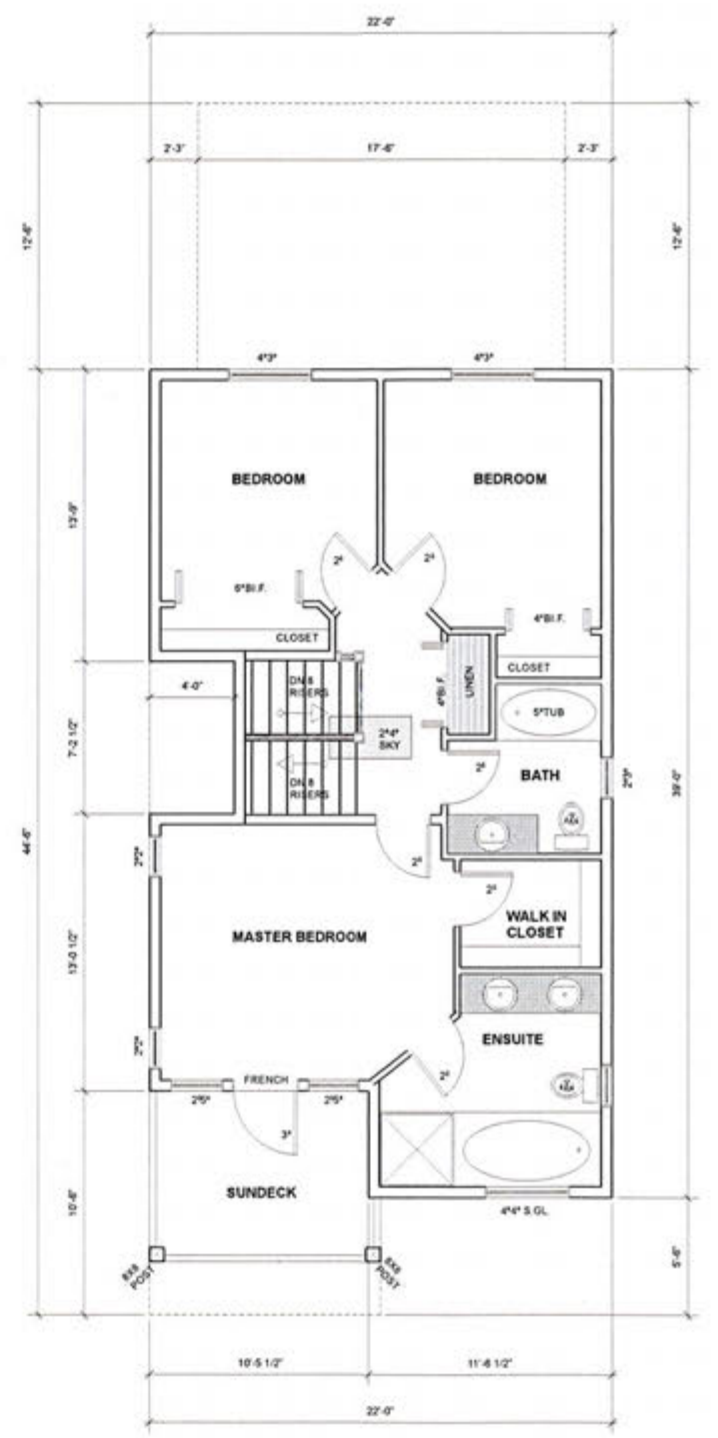
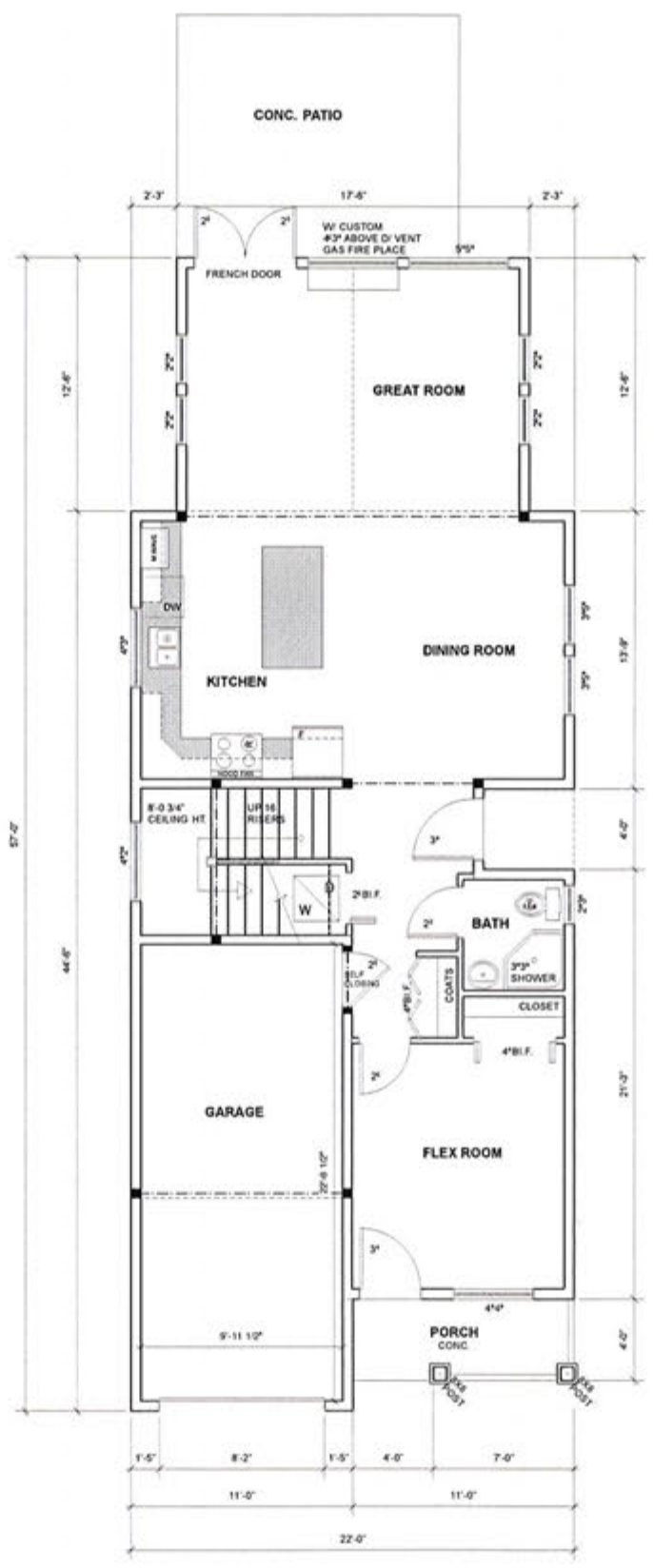
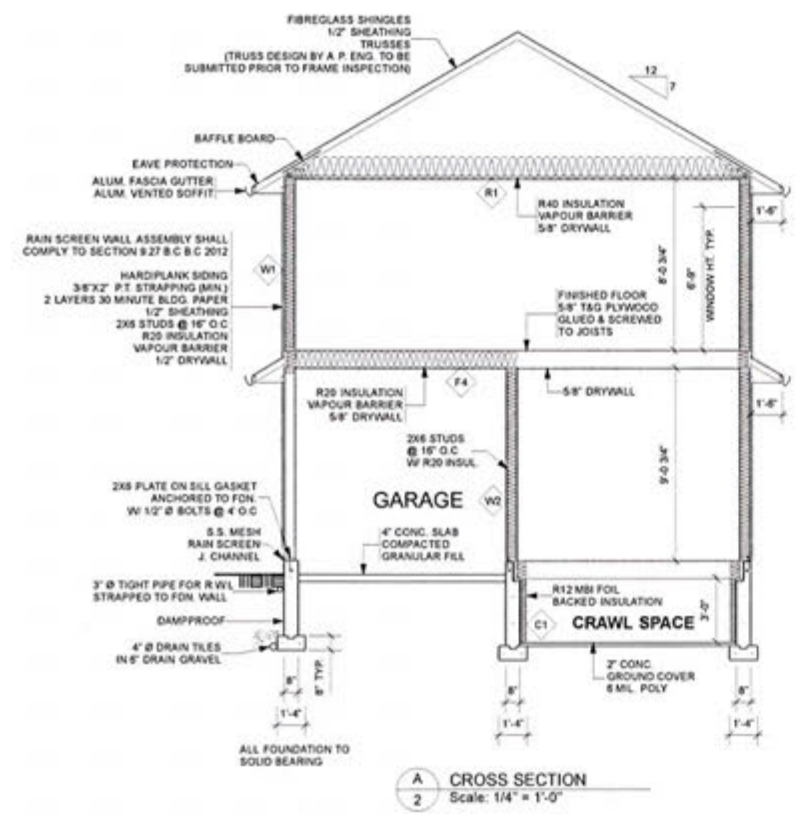


SCALE 1/4" = 1'-0"
DATE MAY 2018
DRAWN BY TMAR
CHK BY KMAR
PLAN # 1395

**PROPOSED RESIDENCES FOR
TUSCANY DEVELOPMENTS LTD.**

SHEET
OF 5
1

LOT A



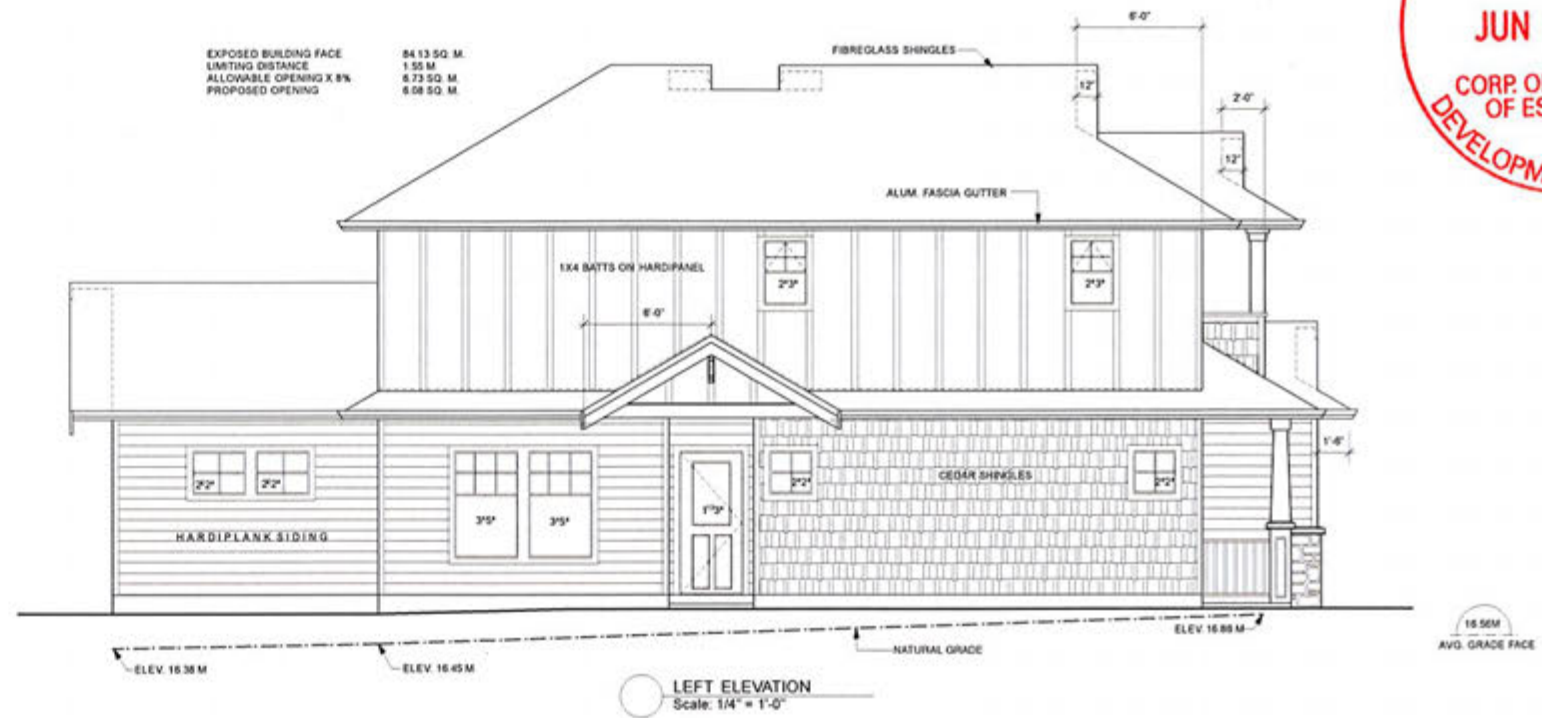
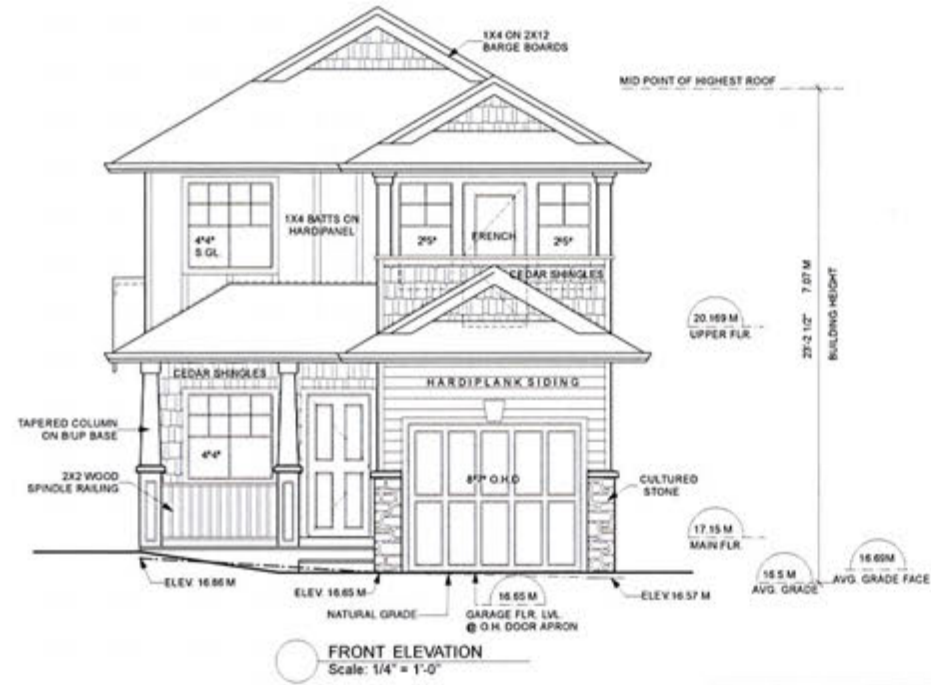
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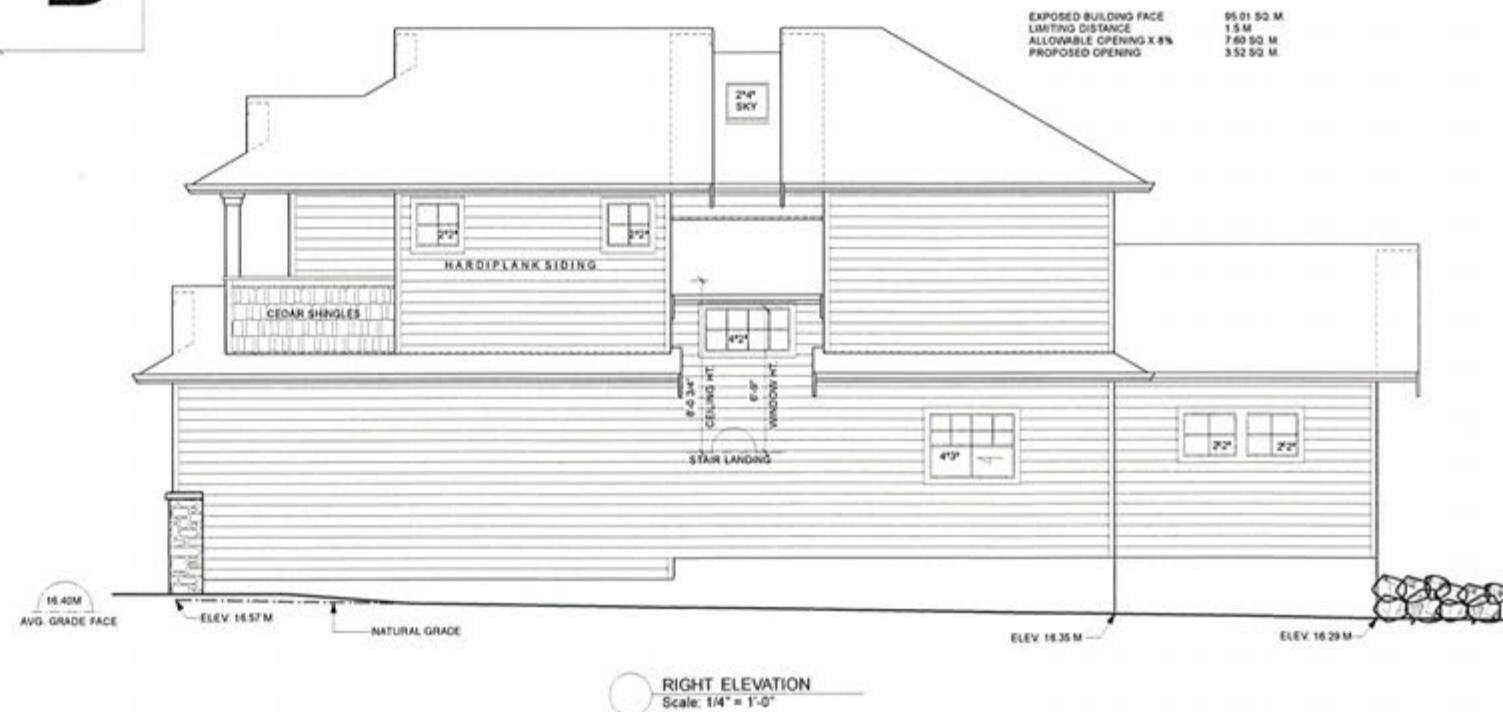
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DATE MAY 2018
DRAWN BY TMAP
CHK BY KMAR
PLAN # 1395

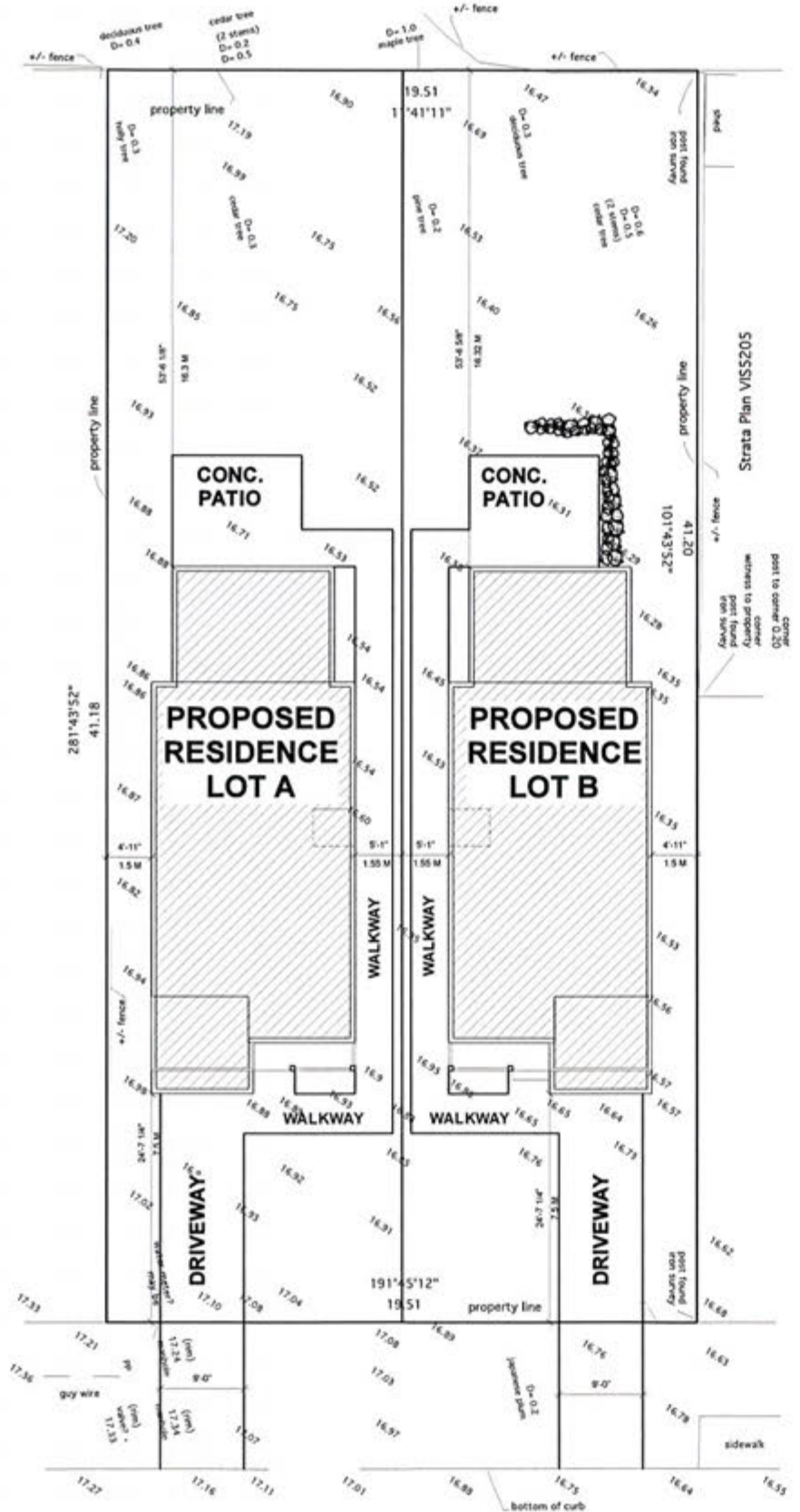
**PROPOSED RESIDENCES FOR
TUSCANY DEVELOPMENTS LTD.**

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 OF ESQUIMALT
 DEVELOPMENT SERVICES



LOT B





SITE DATA	PROPOSED	PERMITTED
ADDRESS	471 KINVER STREET	
ZONE	RD-1 ZONING	
LEGAL DESCRIPTION		
LOT	A & B	
PLAN	6016	
SECTION	11	
DISTRICT	ESQUIMALT	
SITE AREA LOT A	4324.93 SQ.FT. 401.8 SQ.M.	
SITE AREA LOT B	4324.93 SQ.FT. 401.8 SQ.M.	
TOTAL SITE AREA LOT A & B	8649.878 SQ.FT. 803.6 SQ.M.	
SITE COVERAGE LOT A	1170.25 SQ.FT. 108.71 SQ.M.	
SITE COVERAGE LOT B	1170.25 SQ.FT. 108.71 SQ.M.	
TOTAL SITE COVERAGE LOT A & B	2340.5 SQ.FT. 217.43 SQ.M. (27.0 %)	30 % MAX
FLOOR AREA LOT A	1511.604 SQ.FT. (140.43 SQ.M.)	
FLOOR AREA LOT B	1511.604 SQ.FT. (140.43 SQ.M.)	
TOTAL FLOOR AREA LOT A & B	3023.208 SQ.FT. (280.86 SQ.M.) (0.349)	0.35 MAX
SETBACKS LOT A		
FRONT	7.5 M	7.5 M MIN
REAR	16.3M	7.5 M MIN
SIDE	1.55 M (VARIANCE)	3.0 M MIN
SIDE	1.5 M	1.5 M MIN
SETBACKS LOT B		
FRONT	7.5 M	7.5 M MIN
REAR	16.32 M	7.5 M MIN
SIDE	1.55 M (VARIANCE)	3.0 M MIN
SIDE	1.5 M	1.5 M MIN
BUILDING HEIGHT LOT A	22'-3 1/8" (6.78 M)	7.3 M MAX
BUILDING HEIGHT LOT B	23'-2 1/2" (7.07 M)	7.3 M MAX
PARKING SPACES	ONE SINGLE GARAGE PER DWELLING	ONE MIN.

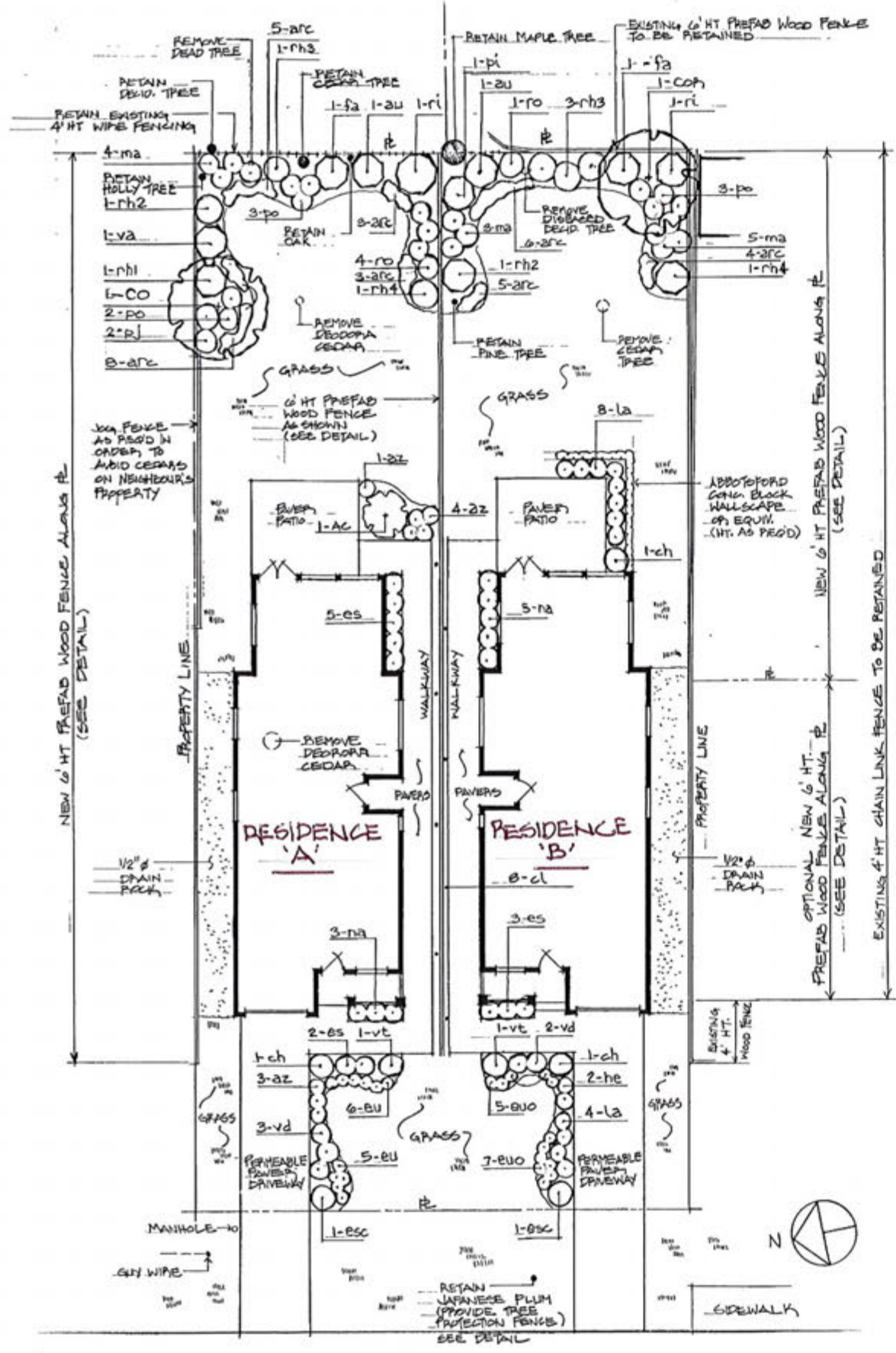
471 kinver street

SITE PLAN
Scale: 1:100
SITE PLAN BY GLEN MITCHELL LAND SURVEYING INC. W/ CHANGES BY HARTMANN DESIGN



SCALE 1/4" = 1'-0"
DATE MAY 2018
DRAWN BY TMAR
CHK BY KMAR
PLAN # 1355

PROPOSED RESIDENCES FOR
TUSCANY DEVELOPMENTS LTD.

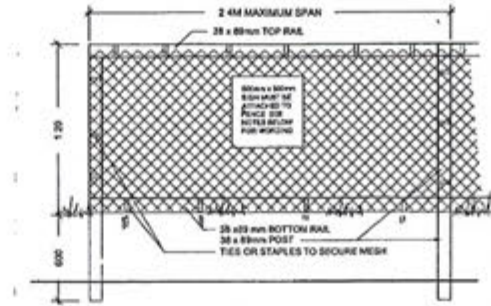


471 KINVER STREET

LANDSCAPE PLAN
SCALE: 1:100

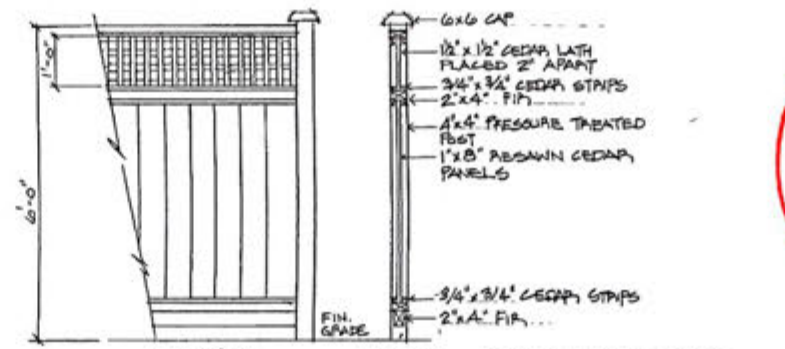
PLANT LIST					
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	TOTAL
AC	ACEPI FALMATUM DISSECTUM 'RED DRAGON'	WEeping JAPANESE MAPLE	27cm POT	AS SHN	1
AU	ALCUBA JAPONICA	JAPANESE ALCUBA	27cm POT	AS SHN	2
AZ	AZALEA JAPONICA	JAPANESE AZALEA	15cm POT	2'-0" %	8
CH	CHOISYA TERNAIA	MEXICAN MOCK ORANGE	21cm POT	AS SHN	3
CL	CLEMATIS ARMANDII	EVERGREEN CLEMATIS	15cm POT	AS SHN	8
* CO	CORNUS NUTTALLII	PACIFIC DOGWOOD	1.75M B4B	AS SHN	1
* COP	CORNUS NUTTALLII EDDIEI	VARIABLED PACIFIC WHITE DOGWOOD	1.75M B4B	AS SHN	1
ES	ESCALLONIA 'NEWPORT DWARF'	DWARF ESCALLONIA	15cm POT	2'-6" %	10
EE	ESCALLONIA EXONIENSIS 'FRABESSII'	PINK PRINCESS	21cm POT	AS SHN	2
EU	EUNYMUS FORTUNEI 'EMERALD N' GOLD'	EUNYMUS	15cm POT	1'-6" %	11
EUO	EUNYMUS FORTUNEI 'EMERALD SAETY'	EUNYMUS	15cm POT	1'-6" %	12
FA	FATSIA JAPONICA	JAPANESE ADALIA	27cm POT	AS SHN	2
HE	HEBE PINQUIFOLIA PAGEI	HEBE	15cm POT	2'-0" %	2
LA	LAVANDULA SPICA	LAVENDER	15cm POT	2'-0" %	12
* MA	MAHONIA AQUIFOLIUM	CREEPER GRAPE	21cm POT	2'-6" %	12
NA	NANDINA DOMESTICA	HEAVENLY BAMBOO	21cm POT	2'-6" %	8
PI	PINUS MUGO MUGHUS	MUGHO PINE	27cm POT	AS SHN	1
* PO	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	21cm POT	2'-6" %	8
PH1	RHODODENDRON 'BOULE DE NEIGE'	RHODODENDRON	27cm POT	AS SHN	1
PH2	RHODODENDRON 'GOMBP WATERER'	RHODODENDRON	27cm POT	AS SHN	2
* PH3	RHODODENDRON MACROPHYLLUM	PACIFIC RHODODENDRON	27cm POT	AS SHN	4
PH4	RHODODENDRON 'PJM'	RHODODENDRON	27cm POT	AS SHN	2
* PO	POSEA NUTKANA	NOOTKA POSE	21cm POT	2'-6" %	5
* PI	PIBES SANGUINEUM	PED FLOWERING CURPANT	27cm POT	AS SHN	2
* VA	VACCINIUM PAPIVICOLIUM	PED HUCKLEBERRY	21cm POT	AS SHN	1
VD	VIORNIUM DAVIDII	DAVID'S VIORNIUM	15cm POT	2'-6" %	5
VE	VIORNIUM TINUS 'SPRING BOUQUET'	SPRING BOUQUET VIORNIUM	15cm POT	AS SHN	2
* ARC	ARCTOSTAPHYLOS UVA-URSI	KINNIKINNICK	10cm POT	1'-6" %	34
RJ	PIERIS JAPONICA 'MOUNTAIN FIRE'	LILY-OF-THE-VALLEY SHRUB	21cm POT	3'-0" %	2

NOTE: * DENOTES NATIVE PLANTING



TREE PROTECTION FENCING

- NOTES
- FENCE WILL BE CONSTRUCTED USING 38 X 89 mm (2"x4") WOOD FRAME TOP, BOTTOM AND POSTS * USE ORANGE SNOW-FENCING MESH AND SECURE TO THE WOOD FRAME WITH 20" TIES OR GALVANIZED STAPLES
 - ATTACH A 500mm x 500mm SIGN WITH THE FOLLOWING WORDING WARNING-HABITAT PROTECTION AREA THIS SIGN MUST BE AFFIXED ON EVERY FENCE FACE OR AT LEAST EVERY 10 LINEAR METRES
 - * IN ROCKY AREAS, METAL POSTS (T-BAR OR REBAR) DRILLED INTO ROCK WILL BE ACCEPTED



ELEVATION SECTION
N.T.S.



- GENERAL NOTES
- ALL LANDSCAPING SHALL CONFORM TO BC SLA/BCNTA LANDSCAPE STANDARD
 - FINAL GRADES SHALL MATCH EXISTING GRADES AT PROPERTY BOUNDARY
 - ALL LANDSCAPED AREAS AT NEW RESIDENCE SHALL BE IRRIGATED WITH PROFESSIONALLY INSTALLED AUTOMATIC UNDERGROUND SYSTEM

LANDSCAPE PLAN	
RESIDENCES @ 471 KINVER ST.	ESQ.
SCALE: 1:100	DATE: JUNE 2018
DOUG MCLEAN, O.D.H. LANDSCAPE DESIGN 839 SWAN ST VICTORIA B.C. (250) 475-0723 V8X 272	



CORPORATION OF THE TOWNSHIP OF ESQUIMALT

Municipal Hall, 1229 Esquimalt Road, Esquimalt, B.C. V9A 3P1
Telephone (250) 414-7100 Fax (250) 414-7111

APC Meeting: August 21, 2018

STAFF REPORT

DATE: August 17, 2018

TO: Chair and Members of the Advisory Planning Commission

FROM: Karen Hay, Planner
Bill Brown, Director of Development Services

SUBJECT: **Rezoning Application - 939 Colville Road and 825 Lampson Street**
PID 005-752-655, Lot 1, Block 1, Section 10, Esquimalt District, Plan 6277, and;
PID 000-017-817, Lot 2, Block 1, Section 10, Esquimalt District, Plan 6277

RECOMMENDATION:

The Esquimalt Advisory Planning Commission recommends to Council that the application for rezoning, authorizing ten (10) townhouse dwelling units as sited on the survey plan prepared by Island Land Surveying Ltd. and incorporating the height and massing consistent with the architectural plans provided by T-Square Design, both stamped "Received July 6, 2018", detailing the development proposed to be located at 939 Colville Road [PID 005-752-655, Lot 1, Block 1, Section 10, Esquimalt District, Plan 6277] and 825 Lampson Street [PID 000-017-817, Lot 2, Block 1, Section 10, Esquimalt District, Plan 6277], **be forwarded to Council with a recommendation to either approve, approve with conditions, or deny the application; and provide reasons for the recommendation.**

BACKGROUND:

Purpose of the Application

The applicant is requesting a change in zoning from the current zones of RS-4 [Single Family Bed and Breakfast] and CD-90 [Comprehensive Development District No. 90], to a new Comprehensive Development District to accommodate the proposed ten (10) strata townhouse residences, to be constructed in four (4) buildings on the subject property.

The existing two houses would be demolished and the ten new dwelling units would be constructed. Should the rezoning be approved, the form and character of the buildings and landscaping would be controlled by a development permit that would be considered by Council at a future date.

Evaluation of this application should focus on issues relevant to zoning such as the appropriateness of the proposed uses, height, density, massing, proposed unit sizes, siting, setbacks, lot coverage, useable open space, parking, how the building relates to surrounding sites; and consistency with the overall direction contained within the Official Community Plan.

Context**Applicant:** Ryan Jabs, Lapis Homes Ltd.**Owners:** Ryan Jabs and Sam Hofer

Property Size: 939 Colville Rd.: [Lot 1]: Metric: 974 m² Imperial: 10484 ft²
 825 Lampson St.: [Lot 2]: Metric: 1023 m² Imperial: 11011 ft²
Total: Metric: 1997 m² Imperial: 21495 ft²

Existing Land Use: 939 Colville Rd.: Single Family Dwelling with B&B
 825 Lampson St.: Single Family Dwelling

Surrounding Land Uses:**North:** Two Family Residential [RD-3]**South:** Townhouse Residential [RM-2]**West:** Two Family Residential [RD-1]**East:** Single Family Residential [RS-1 and CD-32]

Existing Zoning: 939 Colville Rd.: Single Family Bed and Breakfast Residential [RS-4]
 825 Lampson St.: Comprehensive Development District [CD-90] [never built]

Proposed Zoning: Comprehensive Development District

Present OCP Designation: 939 Colville Rd.: Townhouse Residential
 825 Lampson St.: Low Density Residential

Proposed OCP Designation: Townhouse Residential [no change required]**Zoning**

In keeping with other townhouse projects, the proposed Comprehensive Development District zone would contain the following uses: townhouse residential, two family residential, home occupation and boarding.

Density, Lot Coverage, Siting and Setbacks: The following chart compares the setbacks, lot coverage and floor area ratio of this proposal with the requirements of the RM-3 [High Density Townhouse Residential Zone]:

	RM-3 [High Density Townhouse Residential]	Proposed CD Zone 939 Colville Road and 825 Lampson Street
Floor Area Ratio [F.A.R.]	0.60	0.69
Lot Coverage	25%	33%
Setbacks		
• Front (Colville Rd.)	7.5 m	7.3 m (6.9 m to entry)
• Rear (South)	7.5 m	3.2 m
• Side (Lampson St.)	4.5 m	3.6 m
• Side (East)	4.5 m	3.3 m

	RM-3 [High Density Townhouse Residential]	Proposed CD Zone 939 Colville Road and 825 Lampson Street
Building Height	9.0 m	Building A: 8.07 m Building B: 7.24 m Building C: 8.84 m Building D: 8.54 m
Off Street Parking	2 spaces/ dwelling unit	1.3 spaces/ dwelling unit, [16 spaces] 12 full size, 4 small car [5 dedicated as visitor 1 as a car share space]]
Usable Open Space	121.8 m ² / 1624 m ² [7.5% of the area of the parcel]	0 m ² [0 %] conforming to terms of Zoning Bylaw, 1992, No. 2050

The F.A.R. of the proposal at 0.70 is greater than the 0.60 F.A.R. permitted in the Multiple Family Residential [RM-3] [high density townhouse or low density apartment development] zone. The Official Community Plan allows for consideration of up to 0.70 F.A.R. for Townhouse Residential, these lots are in an area designated for townhouses. The proposed Lot Coverage at 33% is also greater than the maximum 25% permitted in the RM-3 zone. This proposal requires a small reduction to the front setback (0.2 m), and a 1.3 metre reduction to the rear setback requirements of the RM-3 zone. The tallest proposed building at 8.8 metres in height is below the maximum provided in the RM-3 zone.

A small accessory structure would be located in the front of the principal buildings along the Colville Road frontage. The accessory structure would house garbage, recycling and an electrical room. It measures 9.5 m x 2.7 m and is proposed to be located 3.0 metres from the Colville Road frontage.

The 'Useable Open Space'; as defined in the zoning bylaw, excludes areas used for front yards and parking, and areas with any dimension less than 6.0 metres. This proposal's provision of small private patios does not meet the 7.5 % Useable Open Space requirement contained in the RM-3 zone. There is however a park and playground space within 100 metres of this proposal.

This development will require several retaining walls, located along the south and south-east corners of the site. These walls facilitate the buildings to be lower along the Lampson Street frontage.

Parking and Maneuvering

There are four buildings proposed; two containing three dwelling units, and two containing two dwelling units each. The proposal provides for 10 resident garages; 3 visitor spaces located towards the back of the site, two visitor spaces towards the front, and one space that is being reserved for a car-share car. The parking bylaw allows for up to 50% of parking spaces to be small car space sized; this proposal has 12 full size spaces and 4 small car spaces.

The maneuvering aisle between the buildings at 7.35 m meets the requirements of Parking Bylaw 1992, No. 2011. The driveway width at 6.0 metres would provide enough space for the maneuvering of a fire truck through the proposed curves of the driveway.

There is regular bus service in the area, on Lampson Street with transit routes # 24 and #26, and about 300 metres away on Craigflower Road with route #14. The Walk Score for this area is '64 – Somewhat walkable'.

Official Community Plan

This proposal complies with the 'Townhouse Residential' "Proposed Land Use Designation" (OCP Schedule B).

The Official Community Plan supports the expansion of housing types in residential areas. The immediate neighbourhood contains a mix of single family, two-family, townhouse and multi-family housing types.

Section 5 Housing & Residential Land Use contains policies that are intended to ensure that concerns such as tree protection, parking, traffic, noise, effects on neighbouring properties, and neighbourhood character are addressed.

- Policy - Consider new townhouse residential proposals with a Floor Area Ratio of up to 0.70, and up to three storeys in height, in areas designated 'Townhouse Residential' on the "Proposed Land Use Designation Map", provided the design responds effectively to both its site and surrounding land uses.
- Policy - Support the development of a variety of housing types and designs to meet the anticipated housing needs of residents. This may include non-market and market housing options that are designed to accommodate young and multi-generational families, the local workforce, as well as middle and high income households.

5.2 Low Density Residential Redevelopment

OBJECTIVE: Strive for redevelopment and infill development that improves and enhances the appearance and livability of neighbourhoods and the community as a whole.

- Policy - Proposed redevelopment or infill within present low density residential land use designated areas should be built to high quality design and landscaping standards and respond sensitively to existing neighbourhood amenities.

5.4 Affordable Housing

OBJECTIVE: To encourage a range of housing by type, tenure and price so that people of all ages, household types, abilities and incomes have a diversity of housing choice in Esquimalt.

- Policy - Encourage the provision of missing middle housing types such as two-unit dwellings (duplexes), townhouses and small lot infill as one avenue to address housing affordability.

OCP Section 23 Multi-Family Residential Development Permit Area establishes objectives for the form and character of multi-family residential development. As the Development Permit is not being considered at this time it would be inappropriate to address many of the guidelines, with the following exceptions that are relevant to the discussion of zoning and parking issues:

23.5 Guidelines

1. The size and siting of buildings that abut existing single- and two-unit and townhouse dwellings should reflect the size and scale of adjacent development and complement the

- surrounding uses. To achieve this, height and setback restrictions may be imposed as a condition of the development permit.
2. New buildings should be designed and sited to minimize visual intrusion on to the privacy of surrounding homes and minimize the casting of shadows on to the private outdoor space of adjacent residential units.
 5. Surface parking areas in developments less than five storeys in height, will be situated away from the street and screened by berms, landscaping or solid fencing or a combination of these three.
 9. Retention and protection of trees and the natural habitat is encouraged wherever possible.
 10. Townhouses will be designed such that the habitable space of one dwelling unit abuts the habitable space of another unit and the common wall overlap between adjoining dwellings shall be at least 50 percent.
 14. Provide for building occupants to overlook public streets, parks, walkways and spaces, considering security and privacy of residents.

The property is also included in the following OCP Development Permit Areas: Development Permit Area No. 1 – Natural Environment, Development Permit Area No. 7 – Energy Conservation and Greenhouse Gas Reduction, Development Permit Area No. 8 – Water Conservation. Many of these guidelines would be addressed at the Development Permit stage but the following are relevant to the discussion of zoning and parking areas, including in particular the siting of proposed buildings.

OCP Section 18 Development Permit Area No. 1 – Natural Environment is designated for the purpose of establishing objectives for the protection of the natural environment, its ecosystems and biological diversity.

18.5.2 Natural Features - Natural features and areas to be preserved, protected, restored, and enhanced where feasible:

1. Retain existing healthy native trees, vegetation, rock outcrops and soil wherever possible.
4. Narrower manoeuvring aisles, fewer and smaller parking spaces can be considered where natural areas are being conserved.

18.5.3 Biodiversity - Landscaping features that will protect, restore and enhance biodiversity. Where feasible:

2. In residential locations plan for 'nature out front'; for new landscaping in front and exterior side yards use a variety of site-appropriate, native species; thereby contributing positively to pedestrian friendly urban streets, future greenways and habitat enhanced corridors.
9. Locate civil servicing pipes/lines under driveways or other paved areas to minimize tree root damage. (Note that the majority of trees have their roots in the top 0.6 m of the soil).
10. Design retaining wall spacing and landscape planting areas of sufficient width and depth to support plantings (eg. provide larger spaces for trees).

11. Support the daylighting of portions of the stormwater system for enhanced habitat.

18.5.5 Drainage and Erosion - Measures to control drainage and shoreline erosion.

Where it is reasonable:

1. Preserve, restore and enhance treed areas. Trees are the most effective form of absorbent landscaping due to their extensive root zones and their ability to both absorb water from the soil and intercept precipitation on leaves, needles and branches. Consider that native conifers are well adapted to local wet winters.
2. Reduce the impact of surges in stormwater on shorelines by designing on-site stormwater retention systems to contain the first 3 centimetres [1.25 inches] of precipitation on site, per precipitation event; and incorporating rainwater collection systems into roof design and landscaping.
4. Maximize the ratio of planted and pervious surfaces to unplanted surfaces, and design paved areas to direct water towards vegetated areas, to help reduce surface run off. Where paved surfaces are needed, intersperse with drought resistant vegetation and trees, to help absorb stormwater, provide shade and reduce the local heat island effect.

OCP Section 24 - Development Permit Area No. 7 – Energy Conservation and Greenhouse Gas Reduction - is designated for the purposes of energy conservation and greenhouse gas reduction.

24.5.1 Siting of buildings and structures. Where it is feasible:

1. Orient buildings to take advantage of site specific climate conditions, in terms of solar access and wind flow; design massing and solar orientation for optimum passive performance.
2. Build new developments compactly, considering the solar penetration and passive performance provided for neighbouring sites, and avoid shading adjacent to usable outdoor open spaces.
4. Provide space for pleasant pedestrian pathways between buildings.
5. Strategically site buildings to sustain and increase the community's urban forest tree canopy cover.
6. Provide space for significant landscaping including varying heights of trees, shrubs and ground covers.

24.5.2 Form and exterior design of buildings and structures. Where it is feasible:

1. Orient larger roof surfaces to the south for potential use of solar panels or photo-voltaic roofing.
2. Use roof designs that reduce heat transfer into neighbouring buildings, helping reduce the local heat island effect and the need for cooling of buildings in warmer months.

8. Add rooftop patios and gardens, particularly food producing gardens, as they can contribute to local resilience, livability, and reduction in greenhouse gas production by reducing food transportation costs.

24.5.3 Landscaping - Where it is feasible:

2. Choose open space and landscaping over dedicating space to the parking and manoeuvring of private motor vehicles.
3. Conserve native trees, shrubs and soils, thereby saving the cost of importing materials and preserving already sequestered carbon dioxide.

24.5.5 Special Features

4. Reuse of existing buildings and building materials is encouraged.

OCP Section 25 - Development Permit Area No. 8 – Water Conservation - is designated for the purpose of water conservation.

25.5.3 Landscaping – Retaining Stormwater on Site (absorbent landscaping)

Where it is feasible:

1. Preserve and restore treed areas. Trees are the most effective form of absorbent landscaping due to their extensive root zones and their ability to both absorb water from the soil and intercept precipitation on leaves, needles and branches. Consider that native conifers are well adapted to local wet winters.
3. Avoid disturbing, compacting and removing areas of natural soil, as these are naturally absorbent areas.

Comments From Other Departments

The plans for this proposal were circulated to other departments and the following comments were received by the APC submission deadline:

Building Inspection: Construct to current BC Building Code and Municipal Building Code Bylaw, 2002, No. 2538. Subject to code and bylaw review at time of building permit application.

Engineering Services: Engineering has completed a preliminary review of the proposed development at 939 Colville Road and 825 Lampson Street. The developer should be aware that they may be required to provide Works and Services up to the road centre line, at the expense of the property owner. At a minimum new curb, gutter and sidewalks along the frontage of the proposed development maybe required. The development is to have sewer, drain, catch basin and water service connections, as well as underground hydro, telephone, and cable. Additional review and comments will be provided upon receipt of detailed engineering drawings. All proposed Works and Services shall be as per Bylaw, 1997, No. 2175. It is the responsibility of the applicant to hire a qualified professional for the design and construction supervision of all Works and Services, including construction costs, engineering fees, administrative fees and as indicated in Bylaw No. 2175.

Fire Services: Driveway shall be constructed in a fashion that permits fire department access, minimum six (6) metres wide.

Parks Services: Parks staff have received and reviewed the tree cutting permit application for the removal of four trees which will require replacement with 8 new trees. Protection by tree protection fencing, set up at the drip-line to be provided for neighbouring trees prior to demolition and construction commencing.

Director of Development Services: As this proposal is situated on two lots, the lots would need to be consolidated prior to final adoption of the zoning amendment bylaw. Should this rezoning be approved, a Development Permit would be required.

Green Building Features

The applicant has completed the Esquimalt Green Building Checklist [attached].

Public Notification

As this is a Rezoning application should it proceed to a Public Hearing, a notice would be mailed to tenants and owners of properties within 100m (328ft) of the subject property. In order to satisfy the requirements of the *Local Government Act*, a notice to relevant government and institutional stakeholders within the Capital Region would be required. Three signs indicating that the two properties are under consideration for a change in zoning have been installed on the Colville Road and Lampson Street frontages. The signs would be updated to include the date, time, and location of the Public Hearing.

ALTERNATIVES:

1. Forward the application for Rezoning to Council with a **recommendation of approval including reasons for the recommendation.**
2. Forward the application for Rezoning to Council with a **recommendation of approval including specific conditions and including reasons for the recommendation.**
3. Forward the application for Rezoning to Council with a **recommendation of denial including reasons for the recommendation.**

N



850

851

936

Colville Rd

832

826

822

Lampson St

939

937

933

825

921

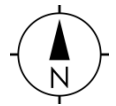
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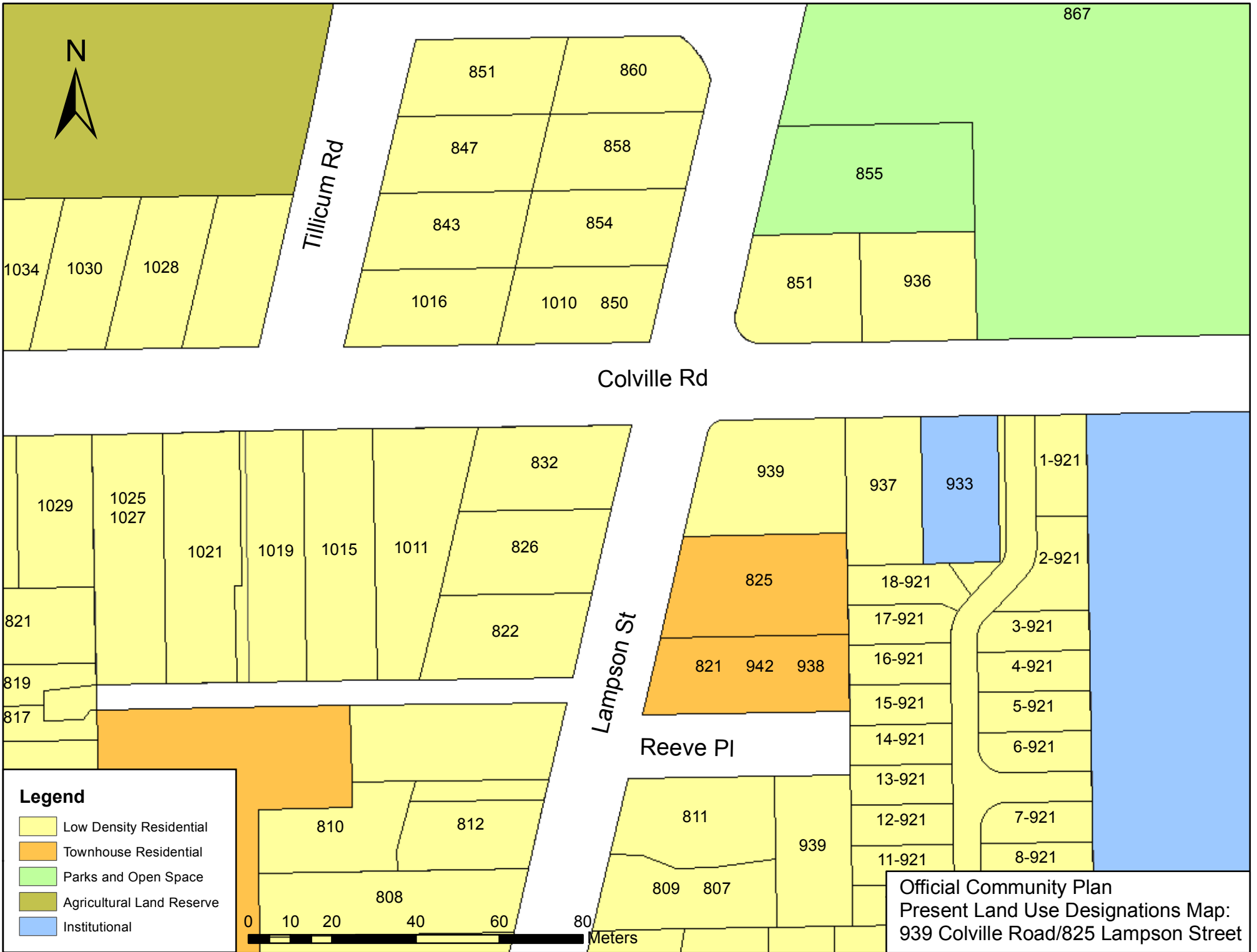
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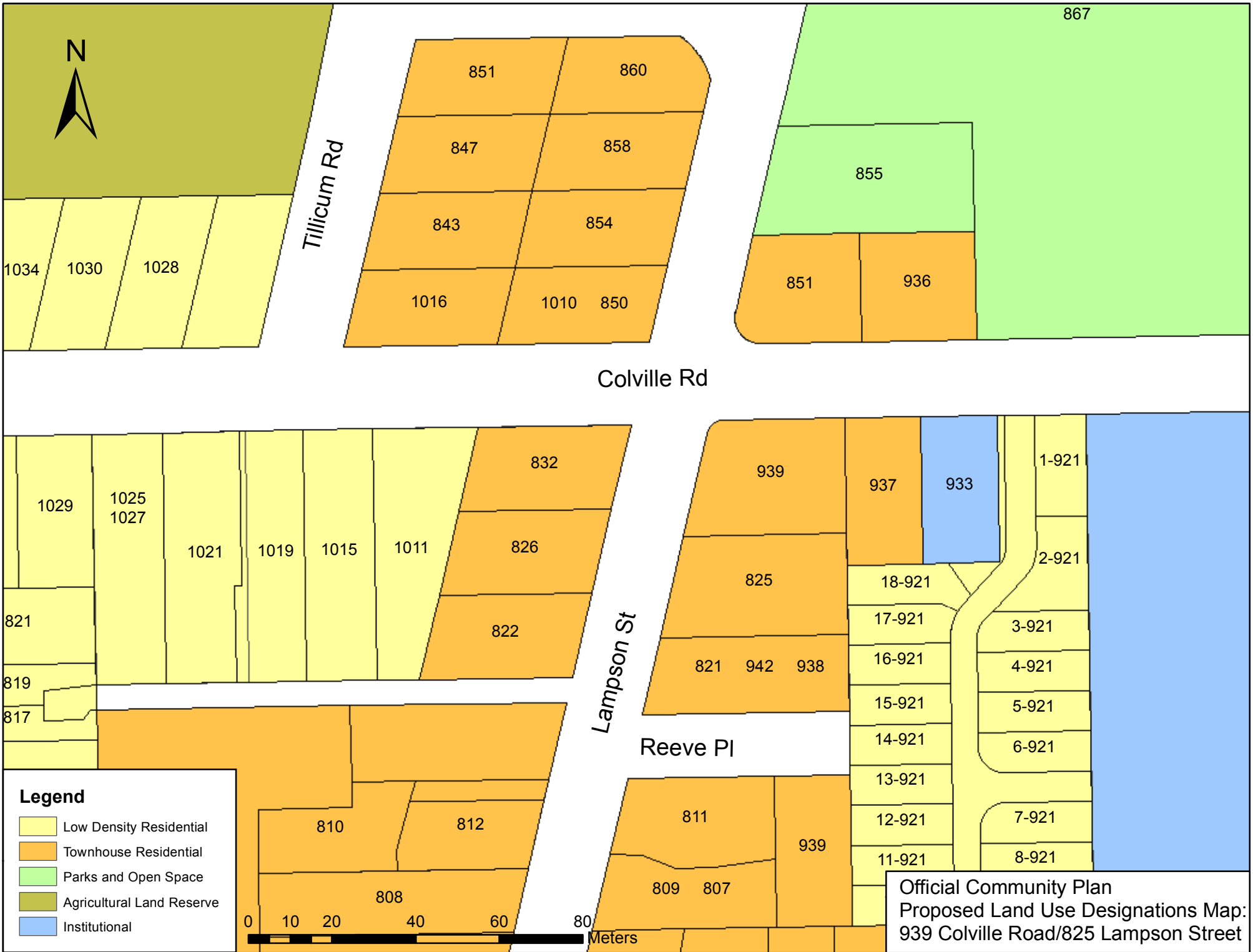
Subject Property Map:
939 Colville Road
825 Lampson Street

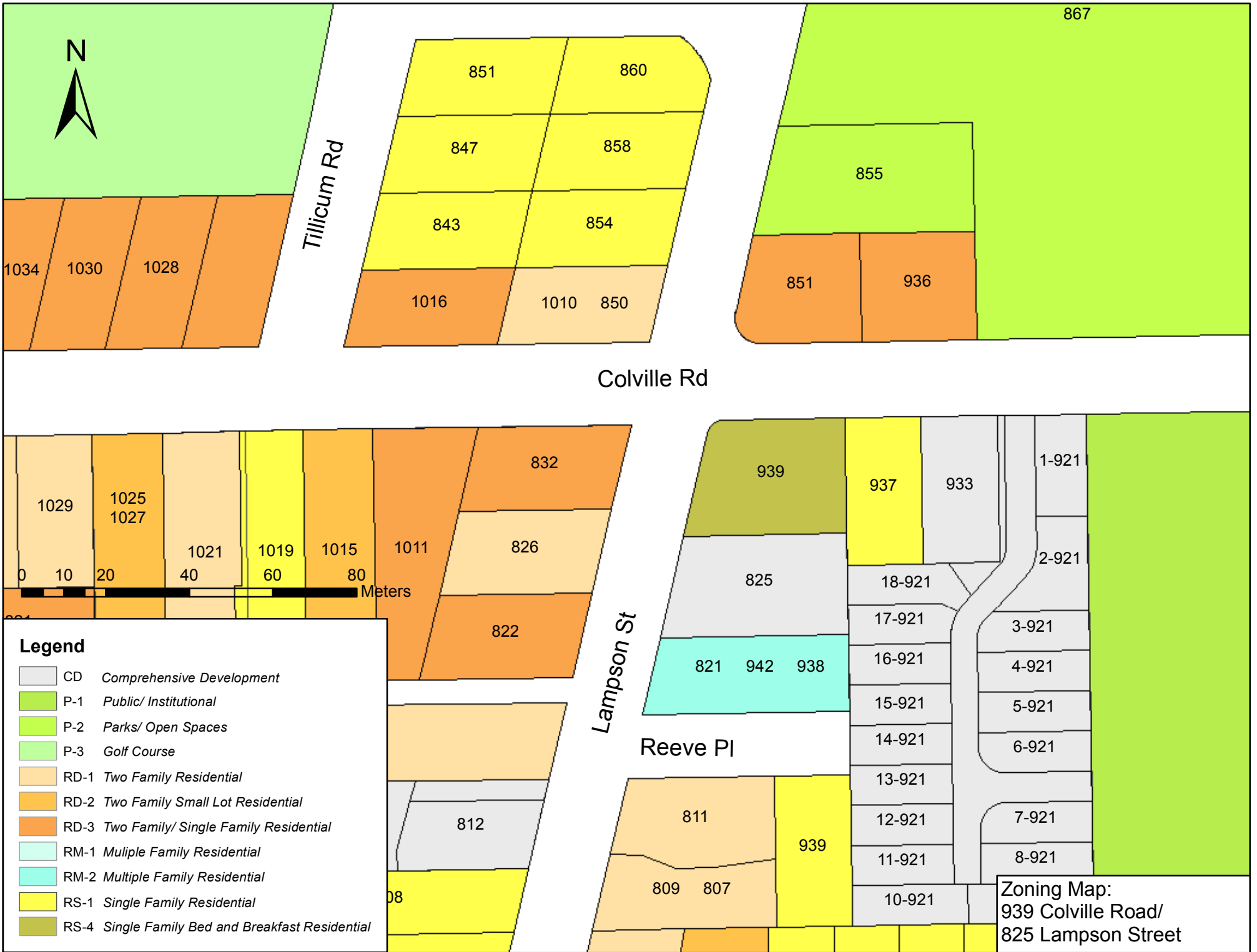
939 Colville Road and 825 Lampson Street - air photo





Official Community Plan
 Present Land Use Designations Map:
 939 Colville Road/825 Lampson Street





43. MULTIPLE FAMILY RESIDENTIAL [RM-3]

The intent of this Zone is to accommodate high density Townhouse or low density Apartment development.

(1) Permitted Uses

The following Uses and no others shall be permitted:

- (a) Townhouse Residential
- (b) Apartment Residential
- (c) Home Occupation

(2) Floor Area Ratio

The Floor Area Ratio shall not exceed 0.60.

(3) Building Height

- (a) No Principal Building shall exceed a Height of 9 metres.
- (b) No Accessory Building shall exceed a Height of 4 metres.

(4) Lot Coverage

- (a) All Principal Buildings, Accessory Buildings and Structures combined shall not cover more than 25% of the Area of a Parcel.
- (b) All Accessory Buildings and Structures combined shall not exceed 10% of the Area of a Parcel.

(5) Siting Requirements

(a) Principal Building

- (i) Front Setback: No Building shall be located within 7.5 metres of the Front Lot Line.
- (ii) Side Setback: No Building shall be located within 4.5 metres of an Interior Side Lot Line nor 3.6 metres of an Exterior Side Lot Line.
- (iii) Rear Setback: No Building shall be located within 7.5 metres of a Rear Lot Line.

(b) Accessory Building

- (i) Front Setback: No Accessory Building shall be located in front of the front face of the Principal Building.

- (ii) Side Setback: No Accessory Building shall be located within 1.5 metres of an Interior Side Lot Line nor 3.6 metres of an Exterior Side Lot Line.
- (iii) Rear Setback: No Accessory Building shall be located within 1.5 metres of a Rear Lot Line.
- (iv) Building Separation: No Accessory Building shall be located within 2.5 metres of a Principal Building.

(6) **Usable Open Space**

Usable Open Space shall be provided in an amount of not less than 7.5% of the Area of the Parcel.

(7) **Fencing**

Subject to Section 22, no fence shall exceed a Height of 1.2 metres in front of the front face of the Principal Building and 2 metres behind the front face of the Principal Building.

(8) **Off Street Parking**

Off street parking shall be provided in accordance with the requirements of Parking Bylaw, 1992, No. 2011 (as amended).

Lapis Homes Ltd.
4291 Oakfield Crescent Victoria, BC, V8X4W4
Phone 250-413-7121
ryanjabs@laphomes.com
www.laphomes.com



May 3rd, 2018

Dear Mayor and Council,

I am the developer of the proposed 10-unit townhouse development at 825 Lampson and 939 Colville, as well as the owner of a small family-run company called Lapis Homes. We recently completed the four townhouses at 521 Foster, and this is my second multi-family development proposed for Esquimalt.

I wanted to provide you with some details on my proposal, as well as to let you know that I'm available to meet with you if you'd like more information or have some specific questions about the project.

Local homes for families:

Like the homes at Foster, my expectation with this project is to bring more housing options to Esquimalt for families who want to live and work in the municipality. As a result, we've used a similar interior layout to the one we used at Foster, which appealed and worked well for the four families who bought those homes.

We've designed each unit as a three-bed, three-bath townhouse with open concept living areas, a flex room and a single car garage, which we're proposing to wire up for electric car chargers. The layout works well for families with young children, as all three bedrooms are on the top floor, sharing a large cheater-ensuite bathroom.

The first-floor flex room could be used as an office, media room or a storage area. But it also works well for families with a teenager, who may need a little more space from the rest of their family – as well as their own full bathroom.

A design for the Neighbourhood:

In addition to an interior layout that will appeal to young families, we spent considerable time coming up with a design and a landscaping plan that will improve the look of the street and will feel welcoming to the neighbourhood.

The southeast corner of Lampson and Colville is a key corner in Esquimalt, as it's the first thing people see when they come around Transfer Street and south up the hill onto Lampson.

As you can see from the 3D renderings, these homes – with the warm designer colour scheme, entrances that face Lampson and Colville, layers of landscaping that will provide colour all year, and the tree-lined yards – will create a presence on the street corner that invites people into the heart of the township.

We've also staggered the buildings to provide breaks, walkthroughs, open spaces, trees and other landscaping features throughout the property to make it more liveable for residents and neighbours.

Designing for bikes, transit and automobiles:

As I noted above, we want our development to appeal to people who are looking to stay local and to live, work and play in Esquimalt. And while we know that having a car is necessary for most families who have kids (and we're meeting this with single car garages in each unit, plus five visitor spaces), we're providing a number of alternative transportation options to get people out of their cars.

Recent Statistic Canada data shows that in the last two decades, the number of people taking their bikes to work rose nearly 90% and the number of people taking transit rose by nearly 60%. In addition, the data shows that Victoria, at 17%, has the largest percentage of people in the country who walk or cycle to work.

I want to tap into this market with our marketing efforts as this location provides a great opportunity for the growing number of people who take their bicycle to work. In fact, the commute to Naden military base on a bike is less than 10 minutes – and only a couple minutes longer than by car. And for those who might work in downtown Victoria, their commute is virtually identical by car or by bike because of the excellent connection from this location into town along the E&N and over the new bridge.

This is why we're building longer garages with storage space in each for two bicycles, as well as a bike lockup on the property for guests.

And for those that choose transit, this location is well served by BC Transit service, with major routes that connect to the entire city running down Colville, Lampson and nearby on Craigflower.

I'm also looking to reduce our buyers' desire for a second car by introducing them to car share. A 2011 study showed that households that joined a car share program cut their vehicle ownership in half. I am in discussions with MODO to purchase a vehicle for this development and provide memberships for each home.

This car will not only reduce the need for second cars for people in these 10 units but it will also provide options for people in the surrounding community and for future neighbouring developments that may want to provide car share memberships for future residents.

Featuring Green:

Vehicle traffic is one of the largest contributors to pollution across the world. We want to make it as easy as possible to help future buyers use their cars as little as possible.

As noted above, we're close to good public transit and we'll be putting in cycling storage in each unit and marketing the easy access and great connection to cycling paths. We're also in discussions with MODO to purchase and put a car share vehicle on the property and provide memberships to each unit.

As well, we're planning to wire each garage for electric car chargers so that people who purchase these units have easy access to secure charging spaces when they switch to electric.

In addition to the efforts we're taking to get buyers out of cars or into cleaner vehicles, we have engaged an energy consultant (Adapt Energy Advising) on the project and are planning to install solid-core front doors and more environmentally efficient windows (either higher end double panes, or triple panes) in the six units that run along the Lampson street frontage. This will help reduce the energy use of these buildings, as well as cut down on the sound from the street.

We will also be using more paving stones than concrete for the driveways, patios and walkways to both provide a pleasing aesthetic look, as well as to help with drainage and rainwater management. In addition, we are installing a landscape swale along the northeast corner of the lot, which is the natural low point of the development. This will capture and handle rainwater from the driveways.

And as you can see from the detailed landscaping plan, we are proposing to plant over 45 new trees on the property to provide privacy, shading and natural beauty to the project and surrounding properties. These trees will also help clean the air and water, reduce stormwater issues, and improve building energy use.

Landscaping as screening - electrical building and parking

We worked closely with our landscape designer to screen the electrical building and the recycling area, including using a natural wood pergola over the recycling area, choosing a dark colour scheme for the electrical building, as well as including a layering of trees, shrubs and other plantings, which over time will grow up to completely hide the building from the street.

We're also not just landscaping in front of the one building, which would have drawn the eye to that area. Instead, we're proposing a series of plantings along the Colville street frontage that will draw the focus away from the building itself and toward the entire garden.

We considered putting the electrical building and recycling area at the back of the site, but this would have meant moving the parking spaces there up to the front of the lot and creating more of a car-centric design.

In addition, the building and landscaping along the frontage also creates privacy for residents. I anticipate families barbequing, playing road hockey or hosting community events on the sheltered driveway.

Similarly, we've identified plants and trees along the driveway that will over time limit the visibility to the three parking spots that we have included on the Northeast corner. Once the landscaping is mature, the only car that should be easily visible from the street will be the MODO vehicle that will be parked there.

Massing and Privacy

For a pie shaped lot like 825 Lampson and 939 Colville, where the property tapers in towards the north (Colville), we needed to fit our units on the southeast side and along the Lampson street frontage so that we could accommodate the natural slope of the lot and put the driveway in the safest location possible.

By doing this, we were also able to create a people-focused street presence by orienting six entrances and gardens towards Lampson, as well as by dropping one of the floors below the grade of the street.

We also worked to break up the size and massing of our buildings as much as possible, choosing to go with two triplexes along the Lampson street frontage, and two duplexes at the southeast side of the property. This configuration reduces shading, improves how people move around the property and provides more airflow and sunlight throughout the development and onto neighbouring properties.

We're also using a layering approach with our plantings that will give more natural privacy to the neighbours along the eastern and southern side of the lot. Along the eastern property line, for example, we'll be planting a hedge of California lilacs, which will both shield the neighbouring units, and provide some colour with the blue flowers. On the south, we'll plant a row of red currant, as well as seven trees spaced out along the property.

The Official Community Plan and surrounding properties:

Both the current and the draft Official Community Plans designate these properties as townhouse residential. The property directly to the south is a three-unit townhouse, and the properties neighbouring this project to the southeast are part of an 18-unit townhouse-designated small lot development.

In addition, 825 Lampson was already approved by council in 2014 for a 9800-square foot, four unit three-floor townhouse development (approximately 2500 square feet each, including the garage), but that project was never built.

While this 10-unit development will provide a higher average number of units over two properties than the earlier project proposed for 825 Lampson, the average unit size will be much smaller, with a total building size of approximately 17,000 square feet, including garages (about 1700 square feet a unit). It'll also, as noted above, provide a people-focused orientation along both the Lampson and Colville frontage, making for a much better development.

Separately, and for additional context, I'll be bringing an application forward for smaller townhouses at the property directly to the east at 937 Colville, which will be the last single-family house in this block of Lampson and Colville.

If both projects are approved by council, this would provide a consistent, people-focused, family-oriented multi-family corner in the neighbourhood that matches the Official Community Plan's goals for the area.

Affordable Housing:

To shift tone a bit: I know what you might be thinking with the section's title, and I agree... I'm not going to suggest that these new townhouses should be considered "affordable housing." I've heard developers make that argument before. Sure, they will be more affordable than single family homes. But because of the increase in the market over the last five years, many people are priced out of this type of housing.

As a small developer, it's challenging to build affordably. But what I can do is contribute to affordable housing projects.

As I mentioned to you in an email earlier this year, out of our profits from Foster, we donated \$60,000 to the Anglican Diocese towards an affordable housing project that they're working on in Esquimalt. If this project is successful, I'll once again contribute a significant portion of profits to affordable housing in Esquimalt.

Thank you for taking the time to read through this letter and review my proposal. I look forward to discussing this project with you and with your staff in the coming months.

Take care,



Ryan Jabs
250-413-7121
ryanjabs@laphomes.com
www.laphomes.com



GREEN BUILDING CHECKLIST

The purpose of this Checklist is to make property owners and developers aware of specific green features that can be included in new developments to reduce their carbon footprints to help create a more sustainable community.

Creating walkable neighbourhoods, fostering green building technologies, making better use of our limited land base and ensuring that new development is located close to services, shops and transit are some of the means of achieving sustainability.

The Checklist which follows focuses on the use of **Green Technologies** in new buildings and major renovations. The Checklist is not a report card, it is a tool to help identify how your project can become 'greener' and to demonstrate to Council how your project will help the Township of Esquimalt meet its sustainability goals. It is not expected that each development will include all of the ideas set out in this list but Council is looking for a strong commitment to green development.

There are numerous green design standards, for example, Built Green BC; LEED ND; Living Building Challenge; Green Shores; Sustainable Sites Initiative. Esquimalt is not directing you to follow any particular standard, however, you are strongly encouraged to incorporate as many green features as possible into the design of your project .

As you review this checklist, if you have any questions please contact **Development Services at 250.414.7108** for clarification.

New development is essential to Esquimalt.
We look forward to working with you
to ensure that development is
as green and sustainable as possible.

Other documents containing references to building and site design and sustainability, which you are advised to review, include:

- Esquimalt's Official Community Plan
- Development Protocol Policy
- Esquimalt's Pedestrian Charter
- Tree Protection Bylaw No. 2664
- A Sustainable Development Strategic Plan
for the Township of Esquimalt



“One-third of Canada’s energy use goes to running our homes, offices and other buildings. The federal government’s Office of Energy Efficiency (Natural Resources Canada) reports that a corresponding one-third of our current greenhouse gas (GHG) emissions come from the built environment.”
 [Green Building and Development as a Public Good, Michael Buzzelli, CPRN Research Report June 2009]

Please answer the following questions and describe the green and innovative features of your proposed development. Depending on the size and scope of your project, some of the following points may not be applicable.

Green Building Standards		
<i>Both energy use and emissions can be reduced by changing or modifying the way we build and equip our buildings.</i>		
1	Are you building to a recognized green building standard? If yes, to what program and level?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
2	If not, have you consulted a Green Building or LEED consultant to discuss the inclusion of green features? <small>Discussed cost effective techniques I may incorporate in the build, like proper sealing and more efficient windows and doors</small>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
3	Will you be using high-performance building envelope materials, rainscreen siding, durable interior finish materials or safe to re-use materials in this project? If so, please describe them. <small>We will be using durable cement siding products.</small>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
4	What percentage of the existing building[s], if any, will be incorporated into the new building? <small>Where possible, we will use the existing fences and retaining walls, as well as rock excavated from the site.</small>	<u>0-10</u> %
5	Are you using any locally manufactured wood or stone products to reduce energy used in the transportation of construction materials? Please list any that are being used in this project. <small>We will use as much excavated material as possible and will source local wood for framing wherever possible.</small>	
6	Have you considered advanced framing techniques to help reduce construction costs and increase energy savings? <small>Will discuss with engineer and builder advanced framing techniques like spacing studs further apart and using California corners.</small>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
7	Will any wood used in this project be eco-certified or produced from sustainably managed forests? If so, by which organization? <small>Wherever possible. We will be most likely be sourcing wood locally through Sleggs.</small>	
	For which parts of the building (e.g. framing, roof, sheathing etc.)? _____	
8	Can alternatives to Chlorofluorocarbon’s and Hydro-chlorofluorocarbons which are often used in air conditioning, packaging, insulation, or solvents] be used in this project? If so, please describe these. <small>Units will not be air conditioned.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
9	List any products you are proposing that are produced using lower energy levels in manufacturing. <small>Engineered wood flooring, ceramic tiles for backsplashes and bathrooms.</small>	
10	Are you using materials which have a recycled content [e.g. roofing materials, interior doors, ceramic tiles or carpets]? <small>Will determine through source companies</small>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
11	Will any interior products [e.g. cabinets, insulation or floor sheathing] contain formaldehyde?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

Water Management

The intent of the following features is to promote water conservation, re-use water on site, and reduce storm water run-off.

Indoor Water Fixtures

12	Does your project exceed the BC Building Code requirements for public lavatory faucets and have automatic shut offs?	Yes	<input checked="" type="radio"/>	No	<input type="radio"/>
13	For commercial buildings, do flushes for urinals exceed BC Building Code requirements?	Yes	<input type="radio"/>	No	<input type="radio"/>
		N/A			
14	Does your project use dual flush toilets and do these exceed the BC Building Code requirements?	Yes	<input checked="" type="radio"/>	No	<input type="radio"/>
15	Does your project exceed the BC Building Code requirements for maximum flow rates for private showers? Will determine but we will likely use low flow showers	<input checked="" type="radio"/>	Yes	No	<input type="radio"/>
16	Does your project exceed the BC Building Code requirements for flow rates for kitchen and bathroom faucets? We will use low faucets that meet BC Code and will try to exceed	Yes	<input checked="" type="radio"/>	No	<input type="radio"/>

Storm Water

17	If your property has water frontage, are you planning to protect trees and vegetation within 60 metres of the high water mark? [Note: For properties located on the Gorge Waterway, please consult Sections 7.1.2.1 and 9.6 of the Esquimalt Official Community Plan.]	Yes	<input type="radio"/>	No	<input checked="" type="radio"/>
18	Will this project eliminate or reduce inflow and infiltration between storm water and sewer pipes from this property? We are proposing a landscape swale to slow and reduce impact on storm water system.	<input checked="" type="radio"/>	Yes	No	<input type="radio"/>
19	Will storm water run-off be collected and managed on site (rain gardens, wetlands, or ponds) or used for irrigation or re-circulating outdoor water features? If so, please describe. As shown on the landscaping plan, proposing a rain garden/swale	<input checked="" type="radio"/>	Yes	No	<input type="radio"/>
20	Have you considered storing rain water on site (rain barrels or cisterns) for future irrigation uses?	<input checked="" type="radio"/>	Yes	No	<input type="radio"/>
21	Will surface pollution into storm drains will be mitigated (oil interceptors, bio-swales)? If so, please describe. Bio-swale/rain garden should filter some water from the site.	<input checked="" type="radio"/>	Yes	No	<input type="radio"/>
22	Will this project have an engineered green roof system or has the structure been designed for a future green roof installation?	Yes	<input type="radio"/>	No	<input checked="" type="radio"/>
23	What percentage of the site will be maintained as naturally permeable surfaces?	At least 40% <input type="text"/> %			

Waste water

24	For larger projects, has Integrated Resource Management (IRM) been considered (e.g. heat recovery from waste water or onsite waste water treatment)? If so, please describe these.	Yes	<input type="radio"/>	No	<input checked="" type="radio"/>
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Natural Features/Landscaping

The way we manage the landscape can reduce water use, protect our urban forest, restore natural vegetation and help to protect the watershed and receiving bodies of water.

25	Are any healthy trees being removed? If so, how many and what species? We are proposing to remove a pine and an ornamental cherry, as well as two smaller hazelnuts and a chestnut and replacing them with approx 45 trees.	<input checked="" type="radio"/>	Yes	No	<input type="radio"/>
	Could your site design be altered to save these trees? We will be excavating near or in all of their root zones.				
	Have you consulted with our Parks Department regarding their removal? I have a permit application that will be submitted.				

26	Will this project add new trees to the site and increase our urban forest? If so, how many and what species? <small>Please see detailed landscaping design, which includes approximately 45 new trees.</small>	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
27	Are trees [existing or new] being used to provide shade in summer or to buffer winds? <small>We're proposing trees along the Lampson and Colville street frontage, along the property lines and in between buildings to provide shade, buffer winds, give some visual interest throughout the property.</small>	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
28	Will any existing native vegetation on this site be protected? If so, please describe where and how. <small>However, we will be planting some native species.</small>	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
29	Will new landscaped areas incorporate any plant species native to southern Vancouver Island? <small>We've chosen mahonia nervosa, ribes, dogwoods, ferns, vine maples, carex and walker's low catmint, and mixed them in with other non-native species to add some colour and texture to the development</small>	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
30	Will xeriscaping (i.e. the use of drought tolerant plants) be utilized in dry areas?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
31	Will high efficiency irrigation systems be installed (e.g. drip irrigation; 'smart' controls)?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
32	Have you planned to control invasive species such as Scotch broom, English ivy, Himalayan and evergreen blackberry growing on the property?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
33	Will topsoil will be protected and reused on the site?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
Energy Efficiency				
<i>Improvements in building technology will reduce energy consumption and in turn lower greenhouse gas [GHG] emissions. These improvements will also reduce future operating costs for building occupants.</i>				
34	Will the building design be certified by an independent energy auditor/analyst? If so, what will the rating be? _____	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
35	Have you considered passive solar design principles for space heating and cooling or planned for natural day lighting? <small>Engaged an energy consultant to advise on design. However, we are fairly restricted by the layout of the site, as it is pie shaped and tapers from west to east.</small>	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
36	Does the design and siting of buildings maximize exposure to natural light? What percentage of interior spaces will be illuminated by sunlight? <small>We expect 70-75 %</small>	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
37	Will heating and cooling systems be of enhanced energy efficiency (ie. geothermal, air source heat pump, solar hot water, solar air exchange, etc.). If so, please describe. _____ If you are considering a heat pump, what measures will you take to mitigate any noise associated with the pump? _____	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
38	Has the building been designed to be solar ready?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
39	Have you considered using roof mounted photovoltaic panels to convert solar energy to electricity?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
40	Do windows exceed the BC Building Code heat transfer coefficient standards? <small>We will use more energy efficient windows along Lampson street frontage</small>	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
41	Are energy efficient appliances being installed in this project? If so, please describe. <small>Energy star appliances will be used wherever possible within budget.</small>			
42	Will high efficiency light fixtures be used in this project? If so, please describe.	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
43	Will building occupants have control over thermal, ventilation and light levels?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
44	Will outdoor areas have automatic lighting [i.e. motion sensors or time set]?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
45	Will underground parking areas have automatic lighting?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A

Air Quality

The following items are intended to ensure optimal air quality for building occupants by reducing the use of products which give off gases and odours and allowing occupants control over ventilation.

46	Will ventilation systems be protected from contamination during construction and certified clean post construction?	<input checked="" type="checkbox"/> Yes	No	N/A
47	Are you using any natural, non-toxic, water soluble or low-VOC [volatile organic compound] paints, finishes or other products? If so, please describe. <u>Paints and adhesives</u>	<input checked="" type="checkbox"/> Yes	No	N/A
48	Will the building have windows that occupants can open?	<input checked="" type="checkbox"/> Yes	No	N/A
49	Will hard floor surface materials cover more than 75% of the liveable floor area?	Yes	<input checked="" type="checkbox"/> No	N/A
50	Will fresh air intakes be located away from air pollution sources?	<input checked="" type="checkbox"/> Yes	No	N/A

Solid Waste

Reuse and recycling of material reduces the impact on our landfills, lowers transportation costs, extends the life-cycle of products, and reduces the amount of natural resources used to manufacture new products.

51	Will materials be recycled during demolition of existing buildings and structures? If so, please describe. <u>We will use as much of the rock, fill and leave retaining walls where possible.</u>	<input checked="" type="checkbox"/> Yes	No	N/A
52	Will materials be recycled during the construction phase? If so, please describe. <u>Framing wood will be reused for building, as well as rock and fill from site.</u>	<input checked="" type="checkbox"/> Yes	No	N/A
53	Does your project provide enhanced waste diversion facilities i.e. on-site recycling for cardboard, bottles, cans and or recyclables or on-site composting?	Yes	No	<input checked="" type="checkbox"/> N/A
54	For new commercial development, are you providing waste and recycling receptacles for customers?	Yes	No	<input checked="" type="checkbox"/> N/A

Green Mobility

The intent is to encourage the use of sustainable transportation modes and walking to reduce our reliance on personal vehicles that burn fossil fuels which contributes to poor air quality.

55	Is pedestrian lighting provided in the pathways through parking and landscaped areas and at the entrances to your building[s]?	<input checked="" type="checkbox"/> Yes	No	N/A
56	For commercial developments, are pedestrians provided with a safe path[s] through the parking areas and across vehicles accesses?	Yes	No	<input checked="" type="checkbox"/> N/A
57	Is access provided for those with assisted mobility devices?	Yes	<input checked="" type="checkbox"/> No	N/A
58	Are accessible bike racks provided for visitors?	<input checked="" type="checkbox"/> Yes	No	N/A
59	Are secure covered bicycle parking and dedicated lockers provided for residents or employees?	<input checked="" type="checkbox"/> Yes	No	N/A
60	Does your development provide residents or employees with any of the following features to reduce personal automobile use [check all that apply]: <input type="checkbox"/> transit passes <input checked="" type="checkbox"/> car share memberships <input type="checkbox"/> shared bicycles for short term use <input type="checkbox"/> weather protected bus shelters <input checked="" type="checkbox"/> plug-ins for electric vehicles	As noted in our letter to the mayor and council, we are in discussions with Modo to put a car share vehicle on site and to provide memberships to residents, as well as to wire each garage for future electric chargers.		

Is there something unique or innovative about your project that has not been addressed by this Checklist? If so, please add extra pages to describe it.

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DEVELOPMENT SERVICES

**PROPOSED DEVELOPMENT UPON LOTS 1 & 2, BLOCK 1,
SECTION 10, ESQUIMALT DISTRICT, PLAN 6277.**



NOTE:
Proposed building positions and shapes shown are based upon digital files received from the project designer June 27th, 2018.

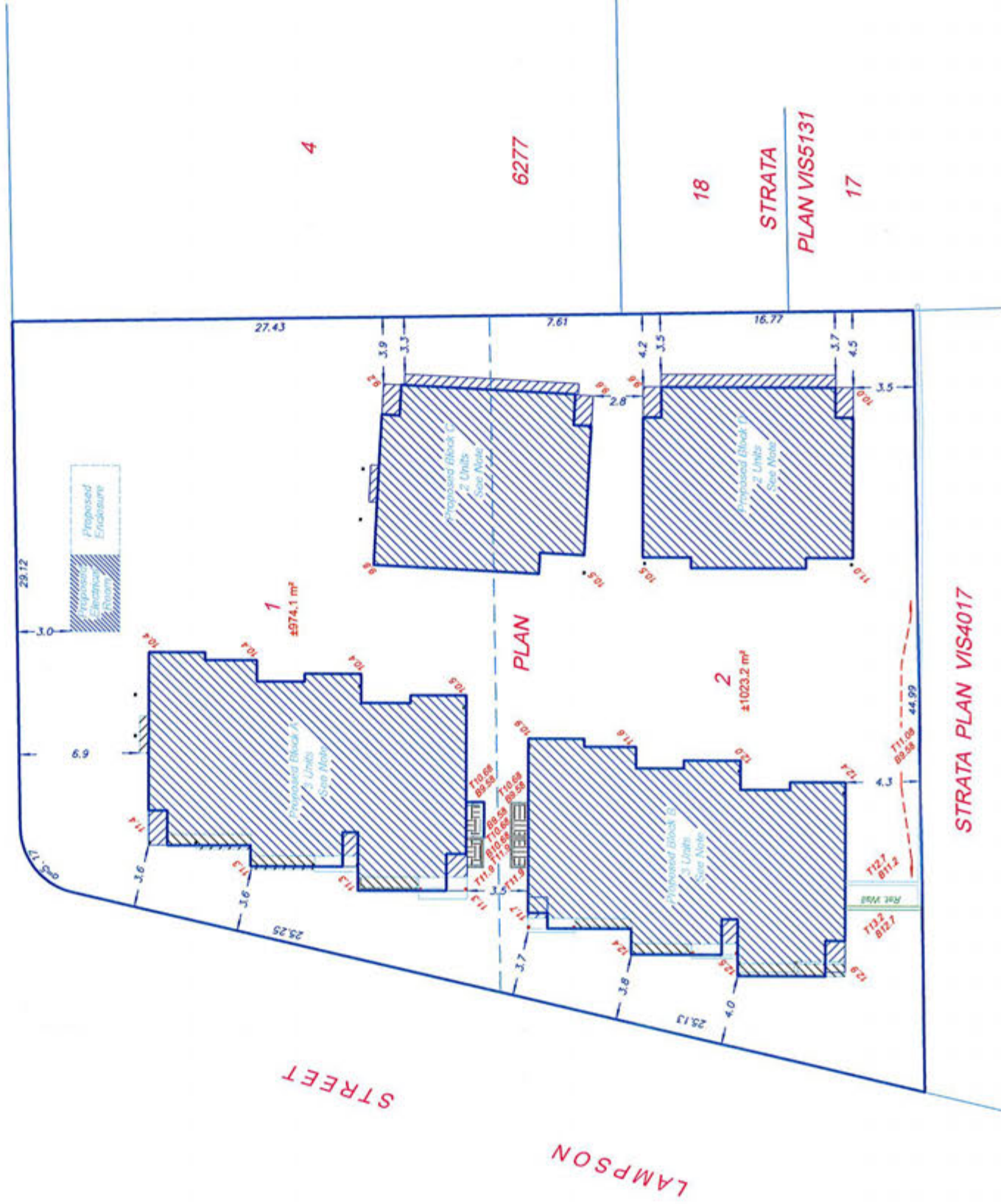
Lot dimensions, offsets, and area shown may vary upon completion of a comprehensive legal survey. Geodetic elevations shown are based upon observations to geodetic control monuments 84H0179 (Elevation= 6.162m) and 84H0253 (Elevation= 13.214m).

This plan is for building design & permit purposes only and is for the exclusive use of our client. This plan shall not be used to define property lines or property corners. Unregistered interests have not been included or considered.

LEGEND

- Denotes natural grade to geodetic datum
- Denotes proposed top of wall elevation
- Denotes proposed base of wall elevation

COLVILLE ROAD



STRATA PLAN VIS4017

STRATA
PLAN VIS5131

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File: 22-RJ-SP7

Date: July 27, 2018

Island Land Surveying Ltd.

#117-693 Hoffmann Avenue

Victoria B.C. V9B 4X1

TEL 250.475.1515 fax 250.475.1516

www.islandsurveying.ca



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T-Square Design
 T-Square Design
 2950 Lakeshore Drive
 Victoria, BC, V9B 4S5
 250-361-5411
 design@tsquare.ca

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 3. The Contractor shall work with a C.E.L.S. to obtain all necessary permits, fees, and approvals for the proposed building or construction. TSD is not responsible for any attachments with respect to obtaining, filing or processing the proposed changes with respect to obtaining, filing or processing and the Contractor shall work with C.E.L.S. prior to execution.
 4. The Contractor shall engage a Professional Engineer licensed in the Province of BC for the design and construction of all structural components and systems within the work as required by the Authority having jurisdiction. Prior to commencement of the work, the Contractor shall notify TSD of any changes to the design required by the Structural Engineer, State Manufacturer or other engineer or consultant supplier.

LAMPSON STREET RENDERING - CORNER VIEW

ENVISIONS ARCHI-MEDIA, Brian Kendrick, T-Square Design, Dave Lunt

LEGGESTONE VENEER & POST	ROOF-8P "Mytique 42"	LAP SIDING-BLDG. "B-C"	TRIM-ALL BLDG. TRIM & BS SIDING	LAP SIDING-BLDG. "A-D"	GUTTER & SOFFIT	FRONT DOOR
Natural Stone Ledgesstone features a natural weathered face, split face and heun surface finishes.	Black Shadow Fiberglass mat with a mineral-granule surface, this laminate asphalt shingle	Benjamin Moore Kendall Charcoal HC-166 LRV: 12.96	Benjamin Moore Cloud White CC-40 LRV: 87.35	Benjamin Moore Brookline Beige HC-47 LRV: 40.29	GENTEX Gutter & Soffit Snow White LRV: 89.7	Natural Cedar

Proposed Residence for:
RYAN JABS
 939 Colville Rd., Esquimalt, BC

DATE: April 26 2018
 DRAWN BY: Author
 JOB #: A26-***
 SHEET:
A500
 SHEET A500 OF 500

ISSUED FOR DP/REZONING
 May 03, 2018

\\server\Users\PUOD\PROJECTS\Tsquare_Media\339 Colville Townhomes\Media\Market Floor Plans_Corner View_Rendering\339 Colville_Townhomes_3 Unit_Bldg_A_04242018.rvt



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T-SQUARE
design consulting

T-Square
Design
T-Square Design
2900 Lakeland Drive
Victoria, BC, V8B 4S5
250-361-5411
design@t-square.ca

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2. It is the responsibility of the Contractor to verify all dimensions, elevations, and site conditions as applicable to the project and the proposed work. The Contractor shall verify the design of any existing structures or improvements identified within the drawings prior to commencement of the work. Commencement of construction or any other act shall constitute acceptance of the drawings, acceptance of the existing conditions, and release of TSD from all liability for the design and construction of the project. The Contractor shall verify the design of any existing structures or improvements identified within the drawings prior to commencement of the work. Commencement of construction or any other act shall constitute acceptance of the drawings, acceptance of the existing conditions, and release of TSD from all liability for the design and construction of the project.

3. The Contractor shall work with a E.C.S. to verify compliance with all applicable codes, regulations, and standards. The Contractor shall be responsible for any and all costs associated with obtaining permits, fees, and other costs required for the project. The Contractor shall be responsible for any and all costs associated with obtaining permits, fees, and other costs required for the project.

4. The Contractor shall engage a professional Engineer to prepare the structural drawings for the project. The Contractor shall be responsible for the design and construction of the project. The Contractor shall be responsible for the design and construction of the project.

COLVILLE ROAD RENDERING - CORNER VIEW

ENVISIONS ARCHI-MEDIA, Brian Kendrick, T-Square Design, Dave Lunt

LEDGESTONE VENEER & POST  Natural Stone Ledgestone features a natural, weathered-face, split face and heam surface finishes.	ROOF- RP "Mystique 42"  Black Shadow Fiberglass mat with a mineral-granule surface, this laminate asphalt shingle.	LAP SIDING-BLDG. "B-C"  Benjamin Moore Kendall Charcoal HC-166 LRV: 12.96	TRIM -ALL BLDG. TRIM & BS SIDING  Benjamin Moore Cloud White CC-40 LRV: 87.35	LAP SIDING-BLDG. "A-D"  Benjamin Moore Brookline Beige HC-47 LRV: 40.29	GUTTER & SOFFIT  GENTEK Gutter & Soffit Snow White LRV: 89.7	FRONT DOOR  Natural Cedar
--	--	---	---	---	--	---

Proposed Residence for:
RYAN JABS
 939 Colville Rd., Esquimalt, BC

DATE: April 26 2018
 DRAWN BY: AS
 JOB #: A16-***
 SHEET:
A501
 SHEET A501 OF 501

ISSUED FOR DP/REZONING
 May 03, 2018

ID	Qty	Common Name	Size	Comments
Ac/m	1	Crimson King Maple	15 Gal	Sub: Straight Acer palmatum
AcRS	5	Red Sunset Maple	2cm Cal B&B	Sub: Carpinus betulus 'Fastigata'
Agri	6	Paperbark Maple	8' Ht B&B	Single Trunk. Well lifted canopy. Sub: Strax japonica 'Pyrus' Capital'
Avine	4	Wine Maple	6' Ht B&B	Multi Trunk
Bilg	5	River Birch	B&B 2cm Cal	Multi trunk
Bsem	117	Common Boxwood	44x 1 Gal Balled / 89x 3.5 Gal	Lampson St solid hedge. Window well adn back units balled.
Clur	25	Bowles Variegated Sedge	1 Gal	
Cbet	2	European Hornbeam	15 Gal	Well lifted canopy for foot traffic underneath
CoEleg	12	Red Twig Dogwood	3 Gal	Alternate plants that get cutback hard every late winter
Cww	3	Dogwood 'Eddie's White Wonder'	B&B 1.5 cm Cal	
FFur	5	Purple Columnar Beech	8' Ht	
Fsyt	4	Green Columnar Beech	15 Gal	
Hjan	34	Little Lime Hardy Hydrangea	3 Gal	Lifted canopy. Standardized if available.
LonMAY	13	Shrubby Honeysuckle	1 Gal	
MaNE	22	Dwarf Oregon Grape	1 Gal	
Nep	19	Hopeta Walker's Low	1 Gal	Cut back hard after first bloom for late summer second bloom
Pmun	92	Sword Fern	1 Gal	Cut back every late winter
RKin	6	King Edward Flowering Currant	3 Gal	
TaxR	71	Upright Japanese Yew	3' Ht 16" wide min	Maintained as solid hedge
ThSMAR	45	Emerald Green Cedar	7 Gal	Unit C & D to be a solid hedge

Notes:

All building layout, survey information and setback dimensions supplied by Premium Designs and T-Square Designs. Imagine Garden Design & Landscapes working off provided information only. This drawing must not be scaled. The General Contractor shall verify all dimensions, datums and levels prior to commencement of work. All errors and omissions must be reported immediately to the Designer. This drawing is the exclusive property of the Designer and can be reproduced only with the permission of the designer, in which case the reproduction must bear the designers name. Any changes or deviations are the responsibility of the owner. All work to comply with municipal bylaws. All work to be completed to current BCSLA/BCLNA standards. Landscape Contractor to be familiar with and in possession of current Standard. Plant material, installation and maintenance to conform to BCSLA/ BCLNA standard current edition. All plant material to be purchased from commercial nurseries. All growing medium to comply to BCSLA/ BCLNA standard designation. Underground irrigation system to be installed complete with automatic rain shut-off and 365 day calendar. Irrigation materials and installation to conform, as a minimum, to BCSLA/ BCLNA Standard current edition. All irrigation piping under hard surfaces to be sleeved. All landscaped areas to be irrigated. Size and dripline of trees that are not shown, and should be verified by a surveyor and/or arborist where necessary. Arborist to install tree protection fencing for boulevard tree where necessary. Swell Environmental Consultants to design creek area if so required.



Imagine Garden Design & Landscapes
 4041 Raymond St N
 Victoria BC
 V8Z 4L1

Address: 939 COLVILLE RD

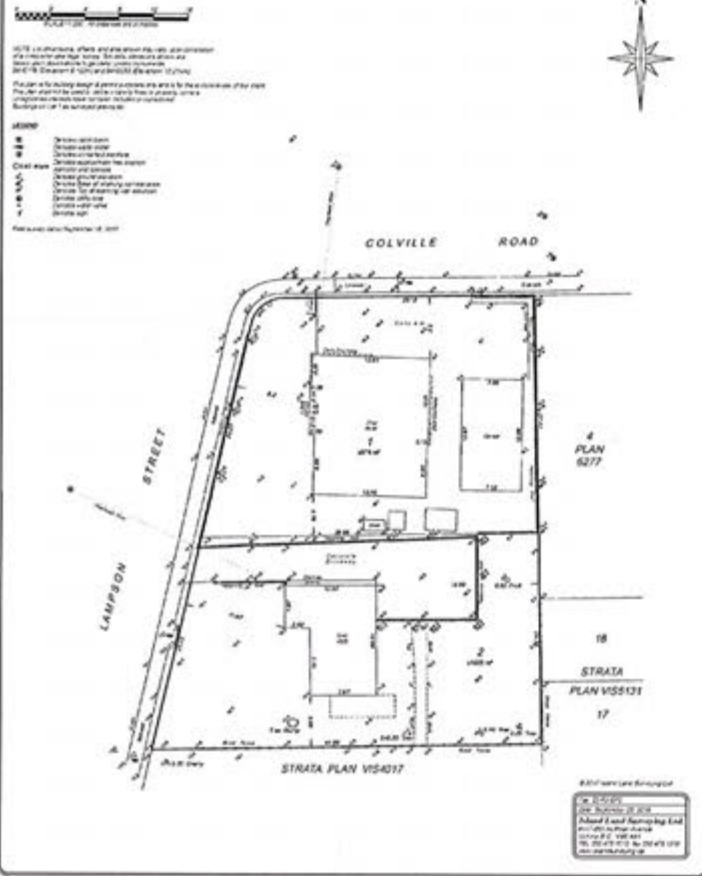
Imagine Garden Design & Landscapes
 4041 Raymond St N
 Victoria BC
 V8Z 4L1

Scale: 3/32" = 1'

Date: March 16th, 2018

Sheet No: 13.4

SITE PLAN OF LOTS 1 & 2, BLOCK 1, SECTION 10, ESQUIMALT DISTRICT, PLAN 6277.



LOT INFORMATION:

CIVIC ADDRESS	939 COLVILLE ROAD
PROPOSED ZONING	COMPREHENSIVE DEVELOPMENT
TOTAL LOT AREA	1997.00 sq.m.
ALLOWABLE LOT COVERAGE (RM-3)	25%
PROPOSED LOT COVERAGE	499.25 sq.m.
BLDG A	204.24 sq.m.
BLDG B	200.76 sq.m.
BLDG C	127.56 sq.m.
BLDG D	130.16 sq.m.
ELECTRICAL	25.98 sq.m.
TOTAL PROPOSED LOT COVERAGE	34.48%
ALLOWABLE F.A.R (RM-3)	60.00%
PROPOSED F.A.R	688.70 sq.m.
BLDG A	436.18 sq.m.
BLDG B	436.18 sq.m.
BLDG C	280.70 sq.m.
BLDG D	280.75 sq.m.
TOTAL F.A.R	71.79%
ALLOWABLE HEIGHT (RM-3)	9.0 m
PROPOSED HEIGHT	
BLDG A	8.07 m
BLDG B	7.24 m
BLDG C	8.84 m
BLDG D	8.54 m
ELECTRICAL	2.91 m
ELEVATIONS:	
GARAGES	9.58 m
LOWER FLOOR	9.78 m
MAIN FLOOR	12.44 m
ELECTRICAL	10.49 m
AVERAGE GRADE	
BLDG A	10.815 m
BLDG B	11.67 m
BLDG C	9.875 m
BLDG D	10.275 m
ELECTRICAL	9.77 m

General Notes

Dimensions provided on all drawings are metric. Contractor to verify all dimensions of building and site conditions before starting construction.

Any dimensions are to be rounded up/down to the nearest millimetre or the nearest centimetre as appropriate.

Plots to any dimensions or modifications of plots or details on site. Contractor responsible for any dimensions or modifications of plots or details on site. Contractor responsible for any dimensions or modifications of plots or details on site.

All references to the "British Columbia Building Code" (B.C.B.C.) are to current edition or published version thereof, as approved or amended from time to time by the Province of British Columbia. Any reference to a dated edition or version to be assumed to be the equivalent requirement in the most current edition. All work shall comply with the current edition of the "British Columbia Building Code". The rules and contents of that Code are hereby incorporated by reference into these drawings.

Survey and a Contractor to confirm all aspects of siting and placement of structures on lot. Designer not responsible for placement. In the event that the proposed site or existing structure does not conform to the requirements of the B.C. Building Code or any other applicable laws, it may be necessary and such services are for the owner's account.

All materials to be of best quality, complying with the applicable sections of the current C.S.A., C.S.A.B. and C.S.A.C. standards. All materials shall be used in accordance with manufacturers' printed directions, where not inconsistent with the specifications.

B.C.B.C. S2.1.10 and to be designed by a registered professional engineer or architect. Structural Engineering and/or mechanical drawings to take precedence over structural design details shown.

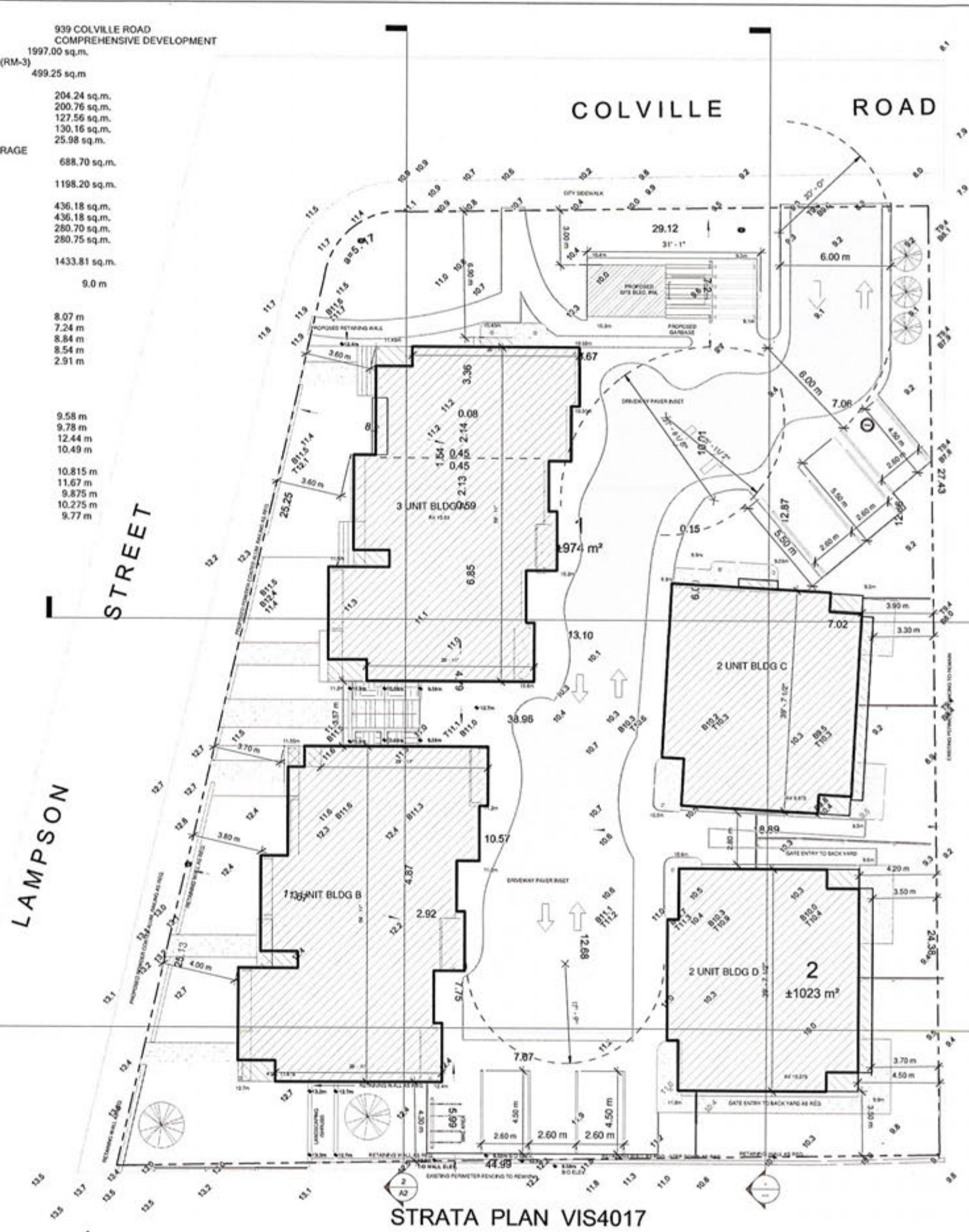
SITE NOTES & SPECIFICATIONS

THE FINAL POSITIONING OF THIS BUILDING ON LOT TO BE THE RESPONSIBILITY OF THE CONTRACTOR. BEFORE STARTING CONSTRUCTION OF THE BUILDING THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON THESE DRAWINGS AND IF ANY DISCREPANCIES ARE FOUND THEY ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE DESIGNER.

AT NO TIME SHALL THE CONTRACTOR SCALL OFF THESE DRAWINGS BUT SHALL BUILD TO DIMENSIONS SHOWN ONLY AFTER VERIFICATION. ANY DIVISIONS FROM THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

ALL TRADES TO WORK TO THEIR LATEST RESPECTIVE CODES AND BY-LAWS.

① Site Plan DWG
1" = 10'-0"



4
PLAN
6277



18
STRATA
PLAN VIS5131
17

T-SQUARE
design + consulting

T-Square
Design
T-Square Design
2950 Lakhurst Drive
Victoria, BC, V8B 4S5
250-361-5411
design@tsquare.ca

PROPOSED RESIDENCE FOR:
Mr. Ryan Jabs
939 Colville Road, Victoria, BC

DATE: April 2016
DRAWN BY: AES
JOB #: A16-***
SHEET: A1

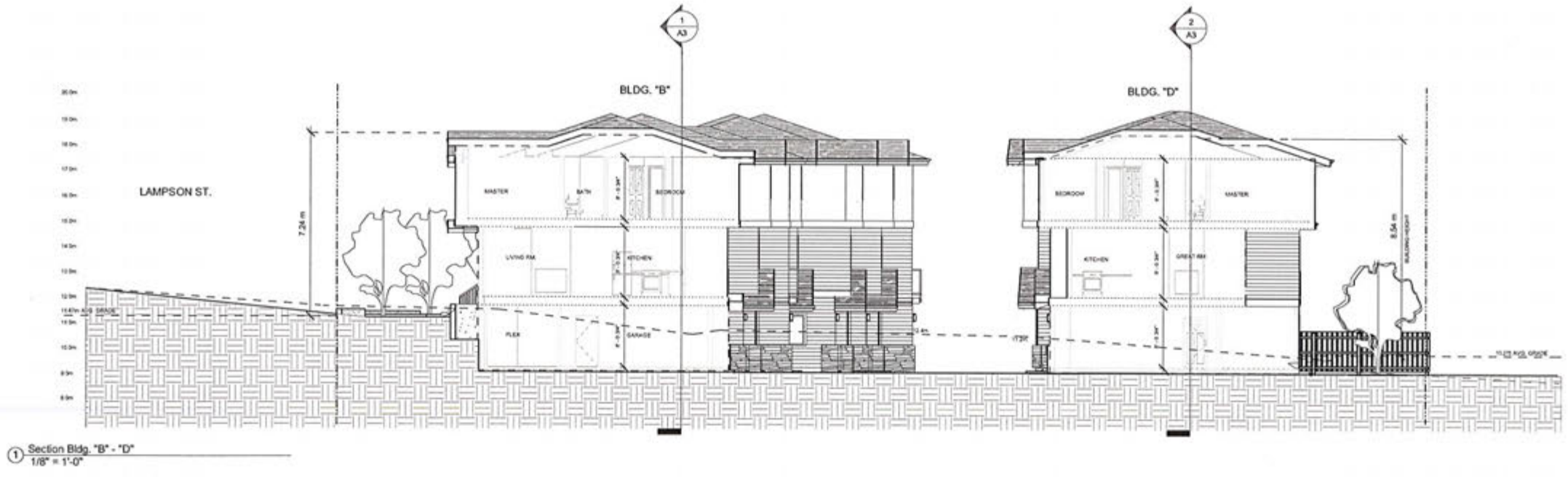
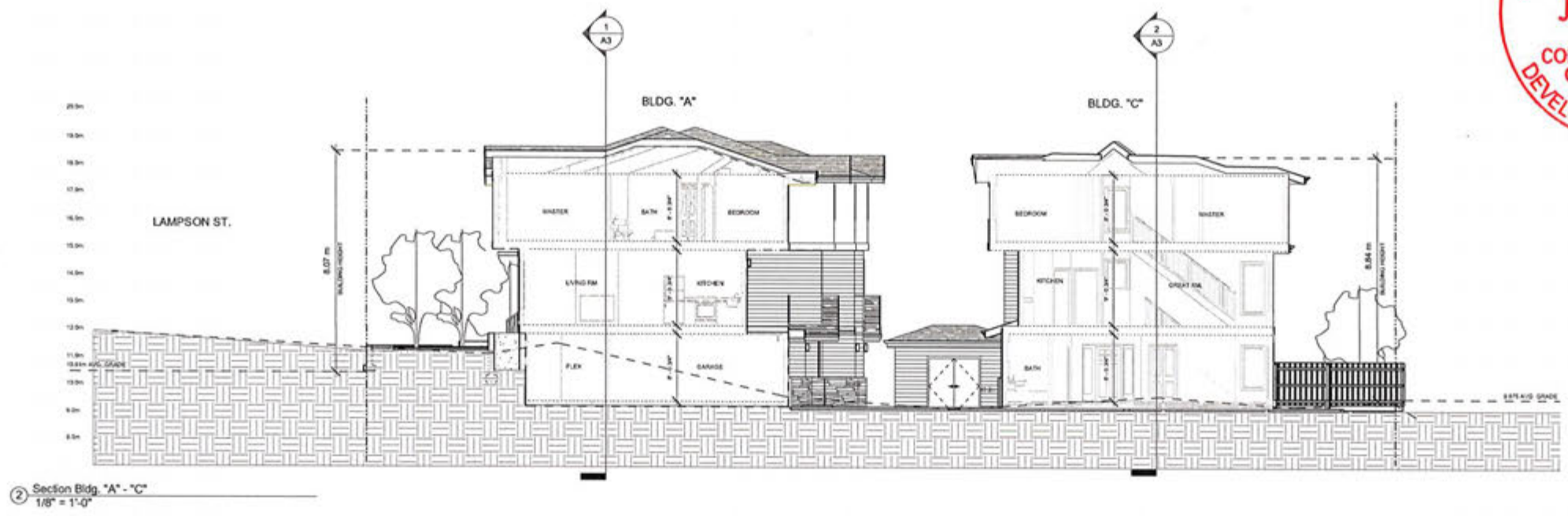
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 Design
 T-Square Designs
 2950 Lakeland Drive
 Victoria, BC, V9B 4S5
 250-561-5411
 design@tsquare.ca

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 2. It is the responsibility of the Contractor to verify all dimensions, elevations, and site conditions as applicable to the project and the proposed work. The Contractor shall notify the Designer of any errors, omissions, or discrepancies identified within the drawings prior to commencement of the work. Cost of correction of drawings or any part thereof shall be the responsibility of the Contractor, and means dimensions and elevations have been considered, verified, and are acceptable.
 3. The Contractor shall work with B.C.E.S. to ensure compliance with the provisions and regulations of the proposed building or structure on the property prior to commencing the work. TSQ will be responsible for any amendments with respect to elevations, area, or placement. Any proposed changes with respect to elevations, area, or placement shall be confirmed with B.C.E.S. prior to execution.
 4. The Contractor shall engage a Professional Engineer to review the design of all structural components and systems within the work as required by the Authority having jurisdiction. Prior to commencement of the work, the Contractor shall notify TSQ of any changes to the design required by the Structural Engineer, manufacturer or other engineered component supplier.



Proposed Residence for:

Mr. Ryan Jabs
 939 Colville Road, Victoria, BC

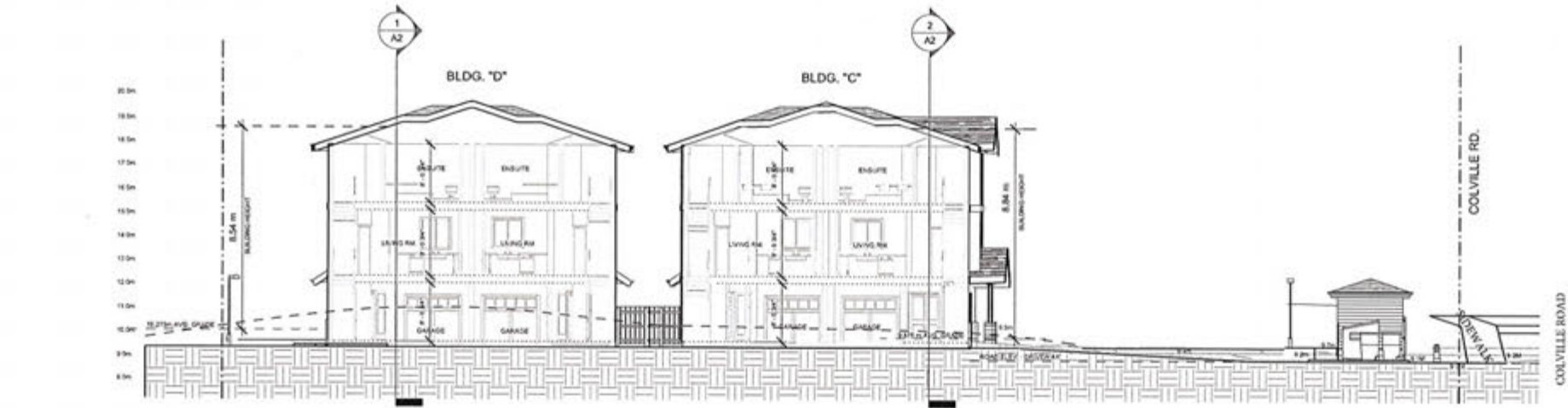
DATE: JUNE 2018
 DRAWN BY: JJS
 JOB #: A26-***
 SHEET:

A2
 SHEET A2 CB2



① Section BLDG. "A" - "B"
1/8" = 1'-0"

NOT FOR PERMIT
FOR REVIEW ONLY



② Section BLDG. "C" - "D"
1" = 10'-0"

GENERAL NOTES:
 1. All drawings, plans, models, images, specifications and other documents prepared by T-Square Design ("TSD") are the property of TSD and shall remain the property of TSD whether the work is completed or not, and TSD reserves the right to use any or all of the work prepared for this project in any other work or project.
 2. It is the responsibility of the Contractor to verify all dimensions, elevations, and conditions applicable to the project and the proposed work. The Contractor shall notify the Designer of any errors, omissions or discrepancies identified within the drawings prior to commencement of the work. Commencement of construction or any other act shall constitute acceptance of the drawings, accuracy of the existing conditions, and means, dimensions and quantities have been checked, verified and are correct.
 3. The Contractor shall work with all B.C.L.S. to verify regulatory placement, siting and location of the proposed building or structure on the property prior to commencing the work. TSD is not responsible for any encroachments with respect to structure, siting or placement. Any proposed change with respect to location, siting or placement shall be confirmed with a B.C.L.S. prior to construction.
 4. The Contractor shall engage a Professional Engineer licensed in the Province of BC for the design and verification of all structural components and systems when the work is required by the Authority having jurisdiction. Prior to commencement of the work, the Contractor shall notify TSD of any changes to the design, materials, the Structural Engineer, trade manufacture or other engineering component supplier.

Proposed Residence for :

Mr. Ryan Jabs
939 Colville Road, Victoria, BC



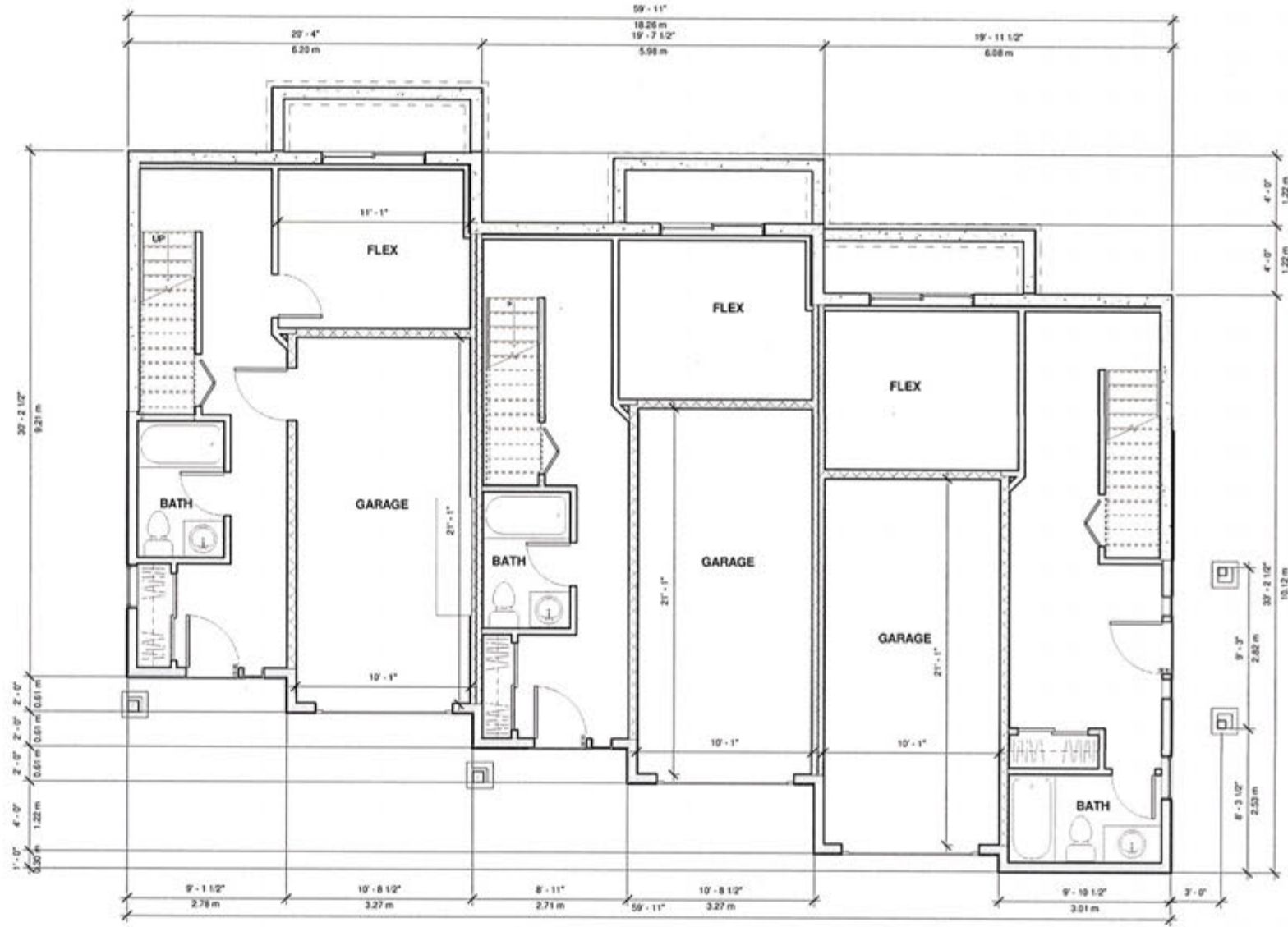
DATE: JUNE 2018
DRAWN BY: MS
JOB #: A16-***

SHEET:
A3
SHEET A3 OF 1

SITE NOTES & SPECIFICATIONS

THE FINAL POSITIONING OF THIS BUILDING ON LOT TO BE THE RESPONSIBILITY OF THE CONTRACTOR, BEFORE STARTING CONSTRUCTION OF THE BUILDING THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON THESE DRAWINGS AND IF ANY DISCREPANCIES ARE FOUND THEY ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE DESIGNER.

AT NO TIME SHALL THE CONTRACTOR SCALL OFF THESE DRAWINGS BUT SHALL BUILD TO DIMENSIONS SHOWN ONLY AFTER VERIFICATION. ANY DIVIATIONS FROM THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL TRADES TO WORK TO THEIR LATEST RESPECTIVE CODES AND BY-LAWS.



LOWER FLOOR PLAN
 -GAR 150.73 SF (13.92m²)
 -BATH 40.74 SF (3.77m²)
 -FLEX 150.28 SF (13.87m²)

① GROUND FLOOR BLDG A
 1/4" = 1'-0"

General Notes

Dimensions provided shall take preference over scale. Contractor to verify all dimensions of Building Designer and Contractor to verify prior to work commencement. Any discrepancies are to be reported immediately. Any notes elsewhere on the plans shall prevail over the general notes (see provisions). Prior to any alterations or modifications of plans or details on the Contracting, (alterations) or (homework) must contact the Building Designer to confirm Building Code requirements and/or current accuracy and compliance. If in doubt, contact the Building Designer. All references to the British Columbia Building Code (B.C.B.C.) are to the current edition or published version thereof, as approved by municipal order by the Municipality of British Columbia. Any reference to a local edition or version is to be assumed for the equivalent requirements in the local current edition. All work shall comply with the current edition of the "British Columbia Building Code" the rules and customs of best trade practice to be associated by individual tradespersons, well equipped and adequately supervised. Survey and/or Contractor to confirm all aspects of siting and placement of structure or building. Designer not responsible for placement. In the event that the proposed work or existing structure does not conform to the requirements of the B.C. Building Code or engineering, any necessary and/or such services are for the owner's account. All materials to be of best quality, conforming with the applicable sections of the current C.S.A., C.S.A.S. and B.C.B.C. standards. All materials shall be used exactly according to manufacturer's printed directions, which are associated with the specifications. No other permitted or other materials shall be used without the approval of the Building Designer. All work shall be to the satisfaction of the Building Designer. Structural engineering and trade manufacturer designs to be provided for all structural design details.



VENTILATION TO BE DESIGNED BY HVAC
 IN ACCORDANCE TO BCRC 2012 (9.32)

T-SQUARE
 design consulting

T-Square
 Design
 T-Square Designs
 2950 Lakeshore Drive
 Victoria, BC V8B 4S5
 250-261-5411
 design@tsquare.ca

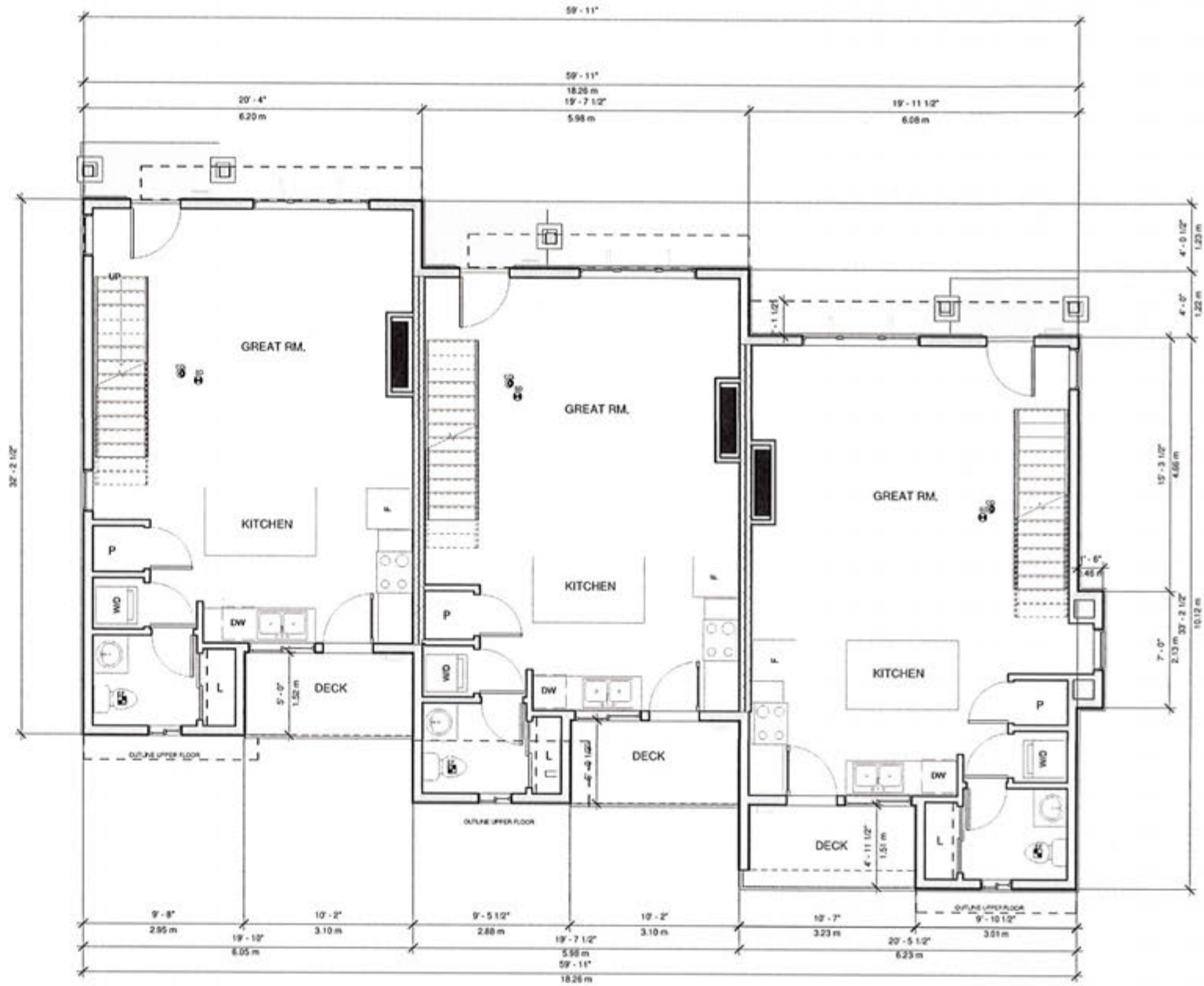
RYAN JABS - BLDG "A"
 939 Colville Rd., Esquimalt, BC

Proposed Residence for :

DATE: April 26 2018
 DRAWN BY: AS
 JOB #: A26-***
 SHEET:

A1
 SHEET A1 01

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MAIN FLOOR PLAN
 1850.46 SF (171.90 ms)
 F.A.R. 1740.59 SF (161.70 ms)

① MAIN FLOOR BLDG. A
 1/4" = 1'-0"



T-Square Design
 T-Square Designs
 2950 Lakeland Drive
 Victoria, BC, V8B 4S5
 250-361-5411
 design@t-square.ca

NOTES:

1. All drawings, notes, specifications and other documents prepared by T-Square Design ("TSD") and used in connection with this project are the property of TSD and shall remain the property of TSD whether the work is completed or not, and TSD reserves the right to reuse them and in the work associated therewith, and they shall not be used for any other work or project.

2. It is the responsibility of the Contractor to verify the accuracy of the drawings, dimensions, and site conditions as applicable to the project and the proposed work. The Contractor shall notify the Designer of any errors, omissions or discrepancies identified within the drawings prior to commencement of the work. Commencement of construction or any other third party's reliance on the drawings, independent of the designer, and any dimensions and specifications have been verified, and the Contractor shall work with a C.L.S. to verify correct placement, size and location of the proposed building or structure on the property prior to commencing the work. TSD is not responsible for any inaccuracies with respect to location, size or placement. Any proposed changes will require the Contractor to obtain approval from the Professional Engineer licensed in the Province of BC for the design and the review of all structural elements and systems within the work as required by the Authority having jurisdiction. In the event of any changes to the design, the Contractor shall notify TSD of any changes in the design required by the Authority having jurisdiction or other manufacturer or other approved component supplier.

Proposed Residence for:

"A"

RYAN JABS - BLDG

939 Colville Rd., Esquimalt, BC

DATE: April 26 2018

DRAWN BY: AS

JOB #: A16-***

SHEET:

SHEET A2



UPPER FLOOR PLAN
 2041.28 SF (189.63 ms)
 F.A.R 1931.29 SF (129.41 ms)

① THIRD FLOOR BLDG. A
 1/4" = 1'-0"



T-Square Design
 T-Square Design
 2950 Lakeshore Drive
 Victoria, BC V8S 4S5
 250-361-5411

GENERAL NOTES:
 1. All drawings, plans, models, designs, specifications and other documents prepared by T-Square Design ("TSD") and used in connection with the project are intended to be used for the work shown on them. No part of such documents and the property of TSD whether the work is completed or not, and TSD reserves the right to reuse any and all the work shown on them, and this shall not be construed as a license to copy or use the work shown on them for any other work or project.
 2. It is the responsibility of the Contractor to verify the design of any structure, equipment or other equipment identified within the drawings prior to commencement of the work. Commencement of construction or any other act of construction in reliance on the drawings, equipment or other equipment, and means of construction and installation, shall be considered to be an acknowledgment and acceptance of the design and equipment as shown on the drawings and as specified.
 3. The Contractor shall comply with all applicable laws, codes, regulations, standards, and other requirements of the project, including but not limited to, the Building Code of Canada, the Building Code of British Columbia, and the Building Code of the Province of BC for the design and construction of the project.
 4. The Contractor shall be responsible for any and all costs of any nature, including but not limited to, the cost of any and all materials, labor, and other costs, including but not limited to, the cost of any and all permits, fees, and charges, including but not limited to, the cost of any and all professional fees, including but not limited to, the cost of any and all engineering, architectural, and other professional fees.
 5. The Contractor shall be responsible for any and all damages, including but not limited to, the cost of any and all materials, labor, and other costs, including but not limited to, the cost of any and all permits, fees, and charges, including but not limited to, the cost of any and all professional fees, including but not limited to, the cost of any and all engineering, architectural, and other professional fees.
 6. The Contractor shall be responsible for any and all damages, including but not limited to, the cost of any and all materials, labor, and other costs, including but not limited to, the cost of any and all permits, fees, and charges, including but not limited to, the cost of any and all professional fees, including but not limited to, the cost of any and all engineering, architectural, and other professional fees.

Proposed Residence for :
RYAN JABS - BLDG "A"
 939 Colville Rd., Esquimalt, BC



DATE: April 26 2018
 DRAWN BY: Author
 JOB #: A26-***
 SHEET:
A3
 SHEET A3 CR3



① Front (East) Elevation
1/4" = 1'-0"



② Right (South) Elevation
1/4" = 1'-0"



T-Square Design
T-Square Design
2950 Lakhurst Drive
Victoria, BC, V8B 4S5
250-361-5411

DESIGNER'S NOTE:
This drawing, along with all other drawings and documents prepared by T-Square Design ("TSD") and used in connection with the project are the property of TSD. It is the responsibility of the Contractor to verify all dimensions, elevations, and site conditions as applicable to the project and the proposed work. The Contractor shall verify the design prior to commencement of the work. Construction of any part thereof constitutes acceptance of the drawings, acceptance of the existing conditions, and means dimensions and elevations have been considered, verified and are acceptable.
The Contractor shall work with a C.E.C. to verify, confirm, obtain, sign and submit the proposed building or structure on the project prior to commencing the work. TSD is not responsible for any structural work with respect to elevations, sign or placement. Any proposed changes with respect to elevations, sign or placement shall be confirmed with a C.E.C. prior to submission. The Contractor shall engage a Professional Engineer licensed in the Province of BC for the design and final review of all structural components and systems with the work as required by the Building, Planning and Inspection Department in connection with the work. The Contractor shall verify TSD of any charges for the design and final review of the Professional Engineer, trade manufacturer or other engineer or consultant submit.

Proposed Residence for:
RYAN JABS - BLDG "A"
939 Colville Rd., Esquimalt, BC

DATE: April 26 2018
DRAWN BY: AJL_PUD
JOB#: A16-***
SHEET:

A4
SHEET A4 OF 4



1 Rear (West) Elevation
1/4" = 1'-0"



2 Left (North) Elevation
1/4" = 1'-0"



T-Square Design
T-Square Designs
2950 Lakeshore Drive
Victoria, BC, V8B 4S5
250-361-5411

design@tsquare.ca

DISCLAIMER:
This drawing, plan, section, elevation, or other document is the property of T-Square Design ("TSD") and is intended for use only in connection with the project and the property of TSD. It is not to be used for any other work or project. It is the responsibility of the Contractor to verify all dimensions, elevations, and other information as applicable to the project and the proposed work. The Contractor shall verify the design of any work, materials, or dimensions identified within the drawing prior to commencement of the work. Confirmation of completion of any part of the work constitutes acceptance of the drawing, acceptance of the existing conditions, and means dimensions and elevations have been considered, verified, and are acceptable. The Contractor shall work with a P.E. to verify, compliance, placement, and elevation of the proposed building or structure on the property prior to commencing the work. TSD is not responsible for any construction work subject to elevation, size or placement. Any proposed changes with respect to elevation, size or placement shall be confirmed with a P.E. prior to execution. The Contractor shall engage a Professional Engineer to verify the design and field review of all structural components and systems with the work required by the building being submitted. Prior to commencement of the work, the Contractor shall verify that any changes to the design required by the Structural Engineer, manufacturer or other engineering consultant apply.

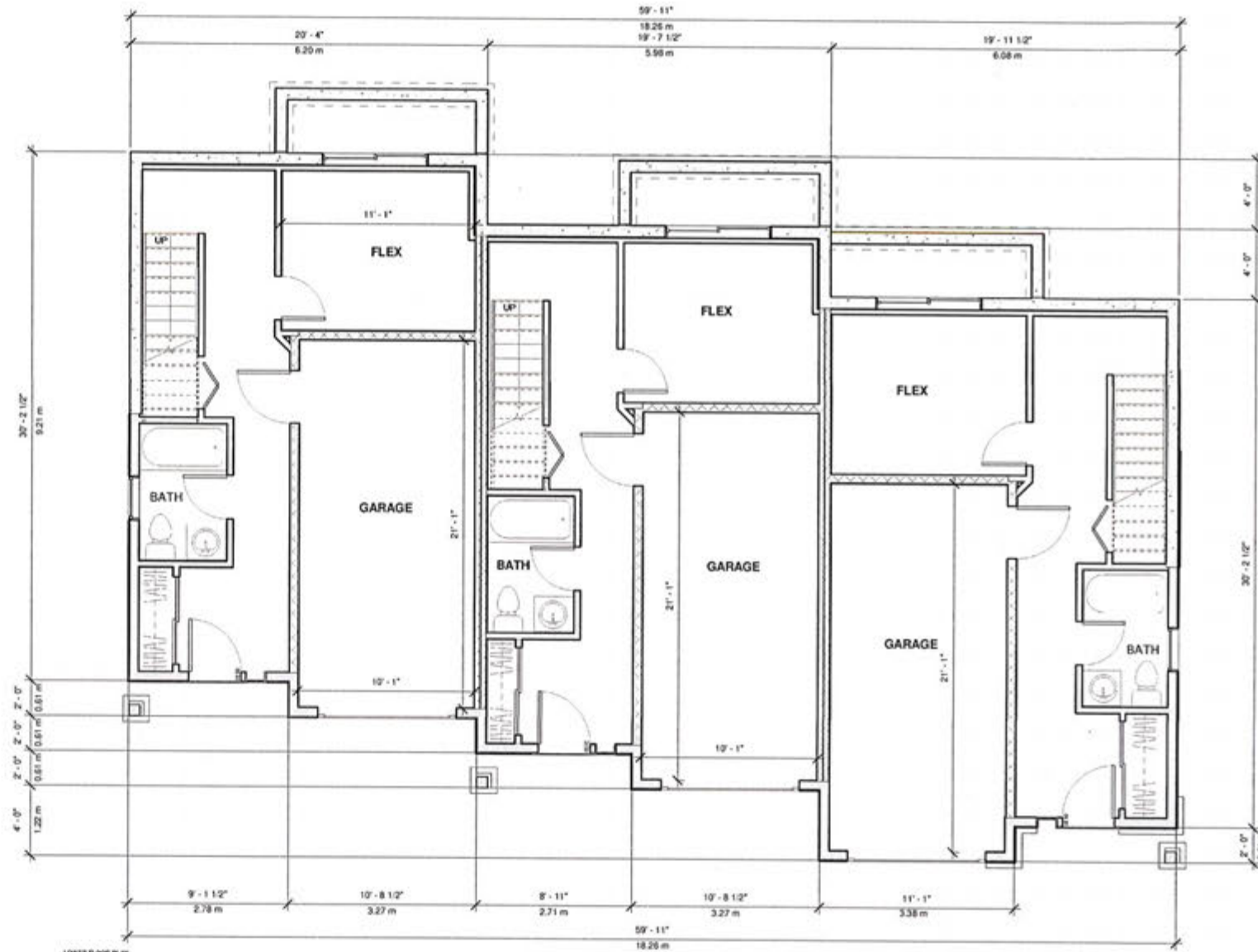
Proposed Residence for:
RYAN JABS - BLDG "A"
939 Colville Rd., Esquimalt, BC

DATE: April 26 2018
DRAWN BY: ASJ
JOB #: A16-***
SHEET:
A5
SHEET AS OKS

SITE NOTES & SPECIFICATIONS

THE FINAL POSITIONING OF THIS BUILDING ON LOT TO BE THE RESPONSIBILITY OF THE CONTRACTOR, BEFORE STARTING CONSTRUCTION OF THE BUILDING THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON THESE DRAWINGS AND IF ANY DISCREPANCIES ARE FOUND THEY ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE DESIGNER.

AT NO TIME SHALL THE CONTRACTOR SCALL OFF THESE DRAWINGS BUT SHALL BUILD TO DIMENSIONS SHOWN ONLY AFTER VERIFICATION. ANY DIVIATIONS FROM THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL TRADES TO WORK TO THEIR LATEST RESPECTIVE CODES AND BY-LAWS.



LOBBY FLOOR PLAN
 1:1/4" = 1'-0"
 -GAR 40' x 14' (12.20m)
 -BATH 10' x 7' (3.05m)

1 GROUND FLOOR BLDG. A
 1/4" = 1'-0"

General Notes

- Dimensions provided shall take preference over scale. Contractor to verify all dimensions of Building Designer and Client. All dimensions are to be confirmed prior to work commencement. Any discrepancies are to be reported immediately. Any notes attached to the plans shall prevail over the general notes on these drawings.
- Refer to any drawings or specifications of plans or details on site. Contractor to verify all dimensions and quantities of work shown on drawings. All work shall comply with the current Building Code of the Province of British Columbia. All trades and contractors to be employed by the contractor shall be licensed and qualified in their respective trades.
- Contractor to verify all aspects of site and placement of structure with Building Designer and Client. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
- All materials to be of best quality, complying with the applicable sections of the current B.C.A., C.O.B.S. and B.C.S.C. specifications. All materials shall be used in accordance with the manufacturer's printed directions, where not inconsistent with the specifications. No substitutions or changes shall be made without the written approval of the Building Designer. All work shall be designed to comply with the current Building Code of the Province of British Columbia. All trades and contractors to be employed by the contractor shall be licensed and qualified in their respective trades.

T-SQUARE
 design + consulting
 T-Square
 Design
 T-Square Design
 2950 Lakeshore Drive
 Victoria, BC, V8B 4S5
 250-361-5411
 design@tsquare.ca

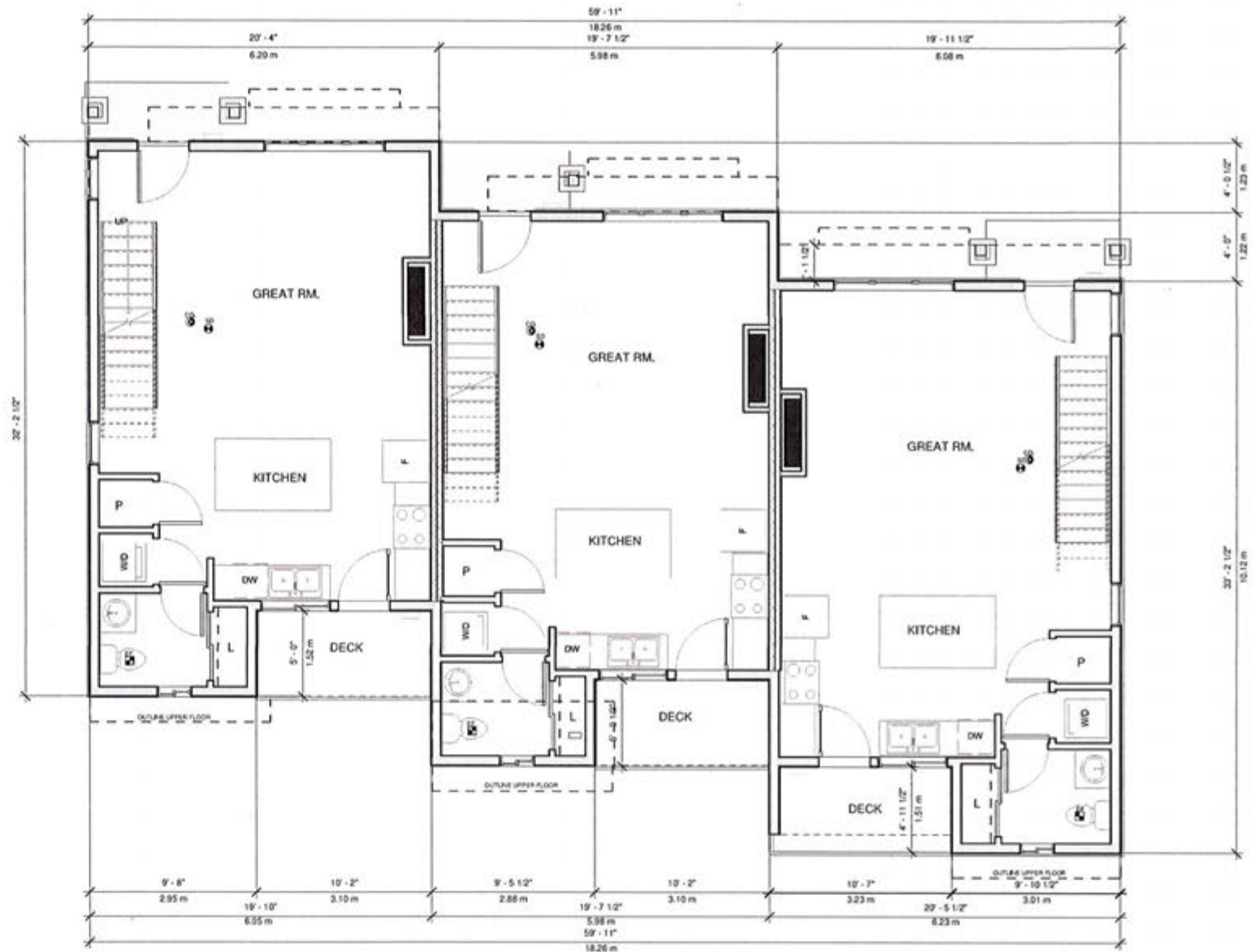
GENERAL NOTES
 1. All drawings, plans, models, designs, specifications and other documents prepared by T-Square Design ("TSD") and made available to the client are the property of TSD and shall remain the property of TSD whether the work is completed or not, and TSD reserves the right to use any or all of the work for any other work or project.
 2. It is the responsibility of the Contractor to verify all dimensions, elevations, and the conditions as applicable to the project and the proposed work. The Contractor shall verify the design of any items, conditions or discrepancies identified within the drawings prior to commencement of the work. Commencement of construction or any part thereof shall be acceptance of the drawings, acceptance of the existing conditions, and means dimensions and elevations have been considered, verified and are acceptable.
 3. The Contractor shall work with a B.C.S.C. licensed professional engineer, using and following the design of the proposed building or structure on the property prior to commencing the work. TSD is not responsible for any amendments with respect to structure, site or placement. Any proposed changes with respect to structure, site or placement shall be confirmed with a B.C.S.C. professional engineer.
 4. The Contractor shall engage a Professional Engineer, licensed in the Province of BC, for the design and verification of all structural components and systems within the work as required by the Authority Having Jurisdiction. Prior to commencement of the work, the Contractor shall verify, 100% of any changes to the design, including the structural design, from manufacturer or other engineering component supplier.



Proposed Residence for:
RYAN JABS - BLDG "B"
 939 Colville Rd., Esquimalt, BC

DATE: April 26 2018
 DRAWN BY: AS
 JOB#: A26-***
 SHEET:
A1
 SHEET A3 OF 1

VENTILATION TO BE DESIGNED BY HVAC IN ACCORDANCE TO BCBC 2012 (9.32)



MAIN FLOOR PLAN
 1850.46 SF (171.90 ms)
 F.A.R 1740.59 SF (161.70 ms)

① MAIN FLOOR BLDG. A
 1/4" = 1'-0"



T-Square Design
 T-Square Design
 2950 Lakeland Drive
 Victoria, BC, V8B 4S5
 250-361-5411

design@tsquare.ca

GENERAL NOTES
 1. All drawings, plans, sections, elevations, and other documents prepared by T-Square Design "TSD" and under contract with the proponent are the property of TSD and shall remain the property of TSD until the work is completed in full, and TSD reserves the right to reuse any or all of the work prepared by TSD for any other work or project.
 2. It is the responsibility of the Contractor to verify all dimensions, elevations, and other conditions as applicable to the project and the proposed work. The Contractor shall notify the Designer of any errors, omissions, or discrepancies identified within the drawings prior to commencement of the work. Commencement of construction or any other work shall constitute acceptance of the drawings, and approval of the existing conditions, and means, dimensions and elevations have been considered, verified and are acceptable.
 3. The Contractor shall work with a B.C.L.S. to verify compliance with all applicable codes and regulations of the proposed building or structure on the property prior to commencing the work. TSD will not be responsible for any attachments with respect to dimensions, using or placement. Any proposed changes with respect to sections, using or placement shall be coordinated with B.C.L.S. prior to construction.
 4. The Contractor shall engage a Professional Engineer to provide the Professional Engineer's Certificate (P.E.C.) for the design and full review of all structural components and systems within the work as required by the Authority Having Jurisdiction. Prior to commencement of the work, the Contractor shall notify TSD of any changes to the design required by the Structural Engineer, from high-pressure or other engineered component supplier.



Proposed Residence for:

RYAN JABS - BLDG "B"
 939 Colville Rd., Esquimalt, BC

DATE: Apr 26 2018
DRAWN BY: MS
JOB #: A26-***
SHEET:
A2
SHEET A2 OF 2



UPPER FLOOR PLAN
 2041.26 SF (189.63 ms)
 F.A.R. 1931.29 SF (129.41 ms)

① **THIRD FLOOR BLDG. A**
 1/4" = 1'-0"



T-Square Design
 T-Square Designs
 2950 Labouret Drive
 Victoria, BC, V8B 4S5
 250-361-5411

design@tsquare.ca

GENERAL NOTES

- All drawings, plans, models, designs, specifications and other documents prepared by T-Square Design ("TSD") are the property of TSD and shall remain the property of TSD. No part of this work is to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of TSD.
- It is the responsibility of the Contractor to verify the accuracy of the drawings and specifications prior to commencement of the work. The Contractor shall notify the Designer of any errors, omissions or discrepancies identified within the drawings prior to commencement of the work. The Contractor shall not be held responsible for any errors or omissions in the drawings, or any other work or project.
- The Contractor shall work with a C.E.L.S. Licensed Professional Engineer, who is responsible for the structural design and construction of the proposed building or structure. The Contractor shall be responsible for any arrangements with respect to the design, construction, and maintenance of the building or structure, and shall ensure that all work is done in accordance with the applicable laws and regulations of the Province of British Columbia.
- The Contractor shall engage a Professional Engineer licensed in the Province of British Columbia to review and certify all structural components and systems within the work as required by the Authority Having Jurisdiction. Prior to commencement of the work, the Contractor shall notify the Structural Engineer of any changes to the design required by the Structural Engineer, or any other engineering component under the design.

Proposed Residence for:
RYAN JABS - BLDG "B"
 939 Colville Rd., Esquimalt, BC



DATE: April 26 2018
 DRAWN BY: Author
 JOB #: A26-***
 SHEET:

A3
 SHEET A3 OF 3



1 Front (East) Elevation
1/4" = 1'-0"



2 Right (South) Elevation
1/4" = 1'-0"



GENERAL NOTES

- All drawings, plans, sections, details, specifications and other documents prepared by T-Square Design "TSQ" and used in connection with this project are the property of T-Square Design and shall remain the property of TSQ whether the work is completed or not, and TSQ reserves the right to use any or all of the work shown on these drawings for any other work or project.
- It is the responsibility of the Contractor to verify all dimensions, elevations, and site conditions as applicable to the project and the proposed work. The Contractor shall verify the location of any trees, utilities, or obstructions identified within the drawings prior to commencement of the work. Commencement of construction or any other work shall constitute acceptance of the drawings, site conditions, and all other conditions, and means dimensions and elevations have been considered, verified and are acceptable.
- The Contractor shall work with all existing and proposed structures, utilities, and other works on the property prior to commencing the work. TSQ is not responsible for any interference with existing or proposed structures, utilities, or other works. Any proposed changes with respect to structure, site or other works shall be approved in writing by TSQ prior to construction.
- The Contractor shall engage a Professional Engineer licensed in the Province of BC for the design and construction of all structural components and systems within the work as required by the Authority having jurisdiction. Prior to commencement of work, the Contractor shall notify TSQ of any changes to the design requirements, the Structural Engineer, design manufacturer or other engineering component supplier.

Proposed Residence for :

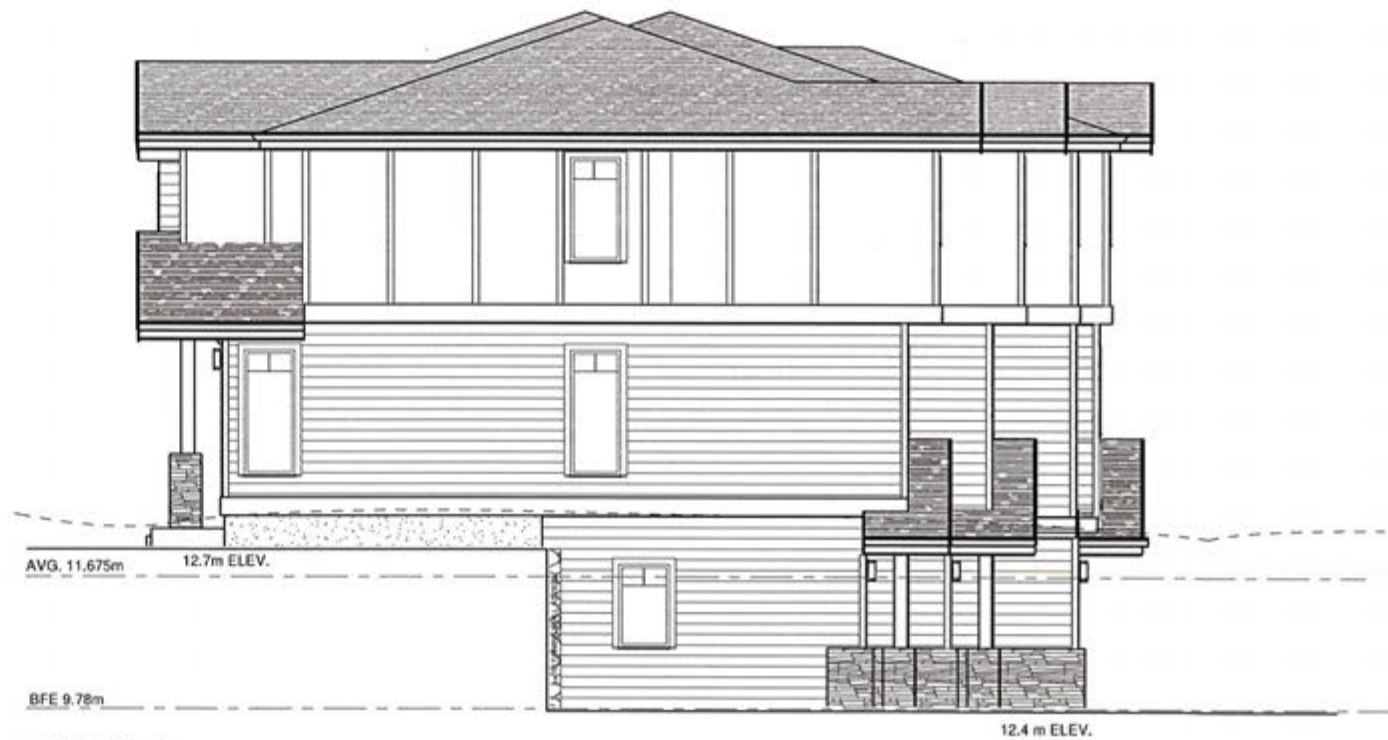
RYAN JABS - BLDG "B"
939 Colville Rd., Esquimalt, BC

DATE: April 26 2018
DRAWN BY: AJS_PJD
JOB #: A16-***
SHEET:

A4
SHEET A4 01A



① Rear (West) Elevation
1/4" = 1'-0"



② Left (North) Elevation
1/4" = 1'-0"



T-Square Design
T-Square Designs
2950 Lakehurst Drive
Victoria, BC, V8B 4S5
250-361-5411
design@tsquare.ca

GENERAL NOTES:
1. All drawings, plans, models, designs, specifications and other documents prepared by T-Square Design ("TSD") are to be used in accordance with the project and instruments of service for the work shown herein (the "Work") and as such are not to be used for any other work or project.
2. It is the responsibility of the Contractor to verify all dimensions, elevations, and site conditions as applicable to the project and the proposed work. The Contractor shall notify the Designer of any errors, omissions or discrepancies identified within the drawings prior to commencement of the work. Commencement of construction or any other act constituting acceptance of the drawings, acceptance of the existing conditions, and final dimensions and elevations have been considered, verified and are acceptable.
3. The Contractor shall work with a B.C. Licensed Structural Engineer, design and construct the proposed building or structure on the property prior to commencing the work. TSD is not responsible for any structural errors with respect to structure, design or placement.
4. Any structural changes will require an approval, design or placement shall be confirmed with a B.C. Licensed Structural Engineer.
5. The Contractor shall engage a Professional Engineer licensed in the Province of BC for the design and final review of all structural components and systems within the work as required by the Authority Having Jurisdiction. Prior to commencement of the work, the Contractor shall notify TSD of any changes to the design required by the structural engineer, from manufacturer or other engineered component supplier.

Proposed Residence for :

RYAN JABS - BLDG "B"
939 Colville Rd., Esquimalt, BC

DATE: April 26 2018
DRAWN BY: JAS
JOB #: A16-***
SHEET:

A5
SHEET 05 OF 05

SITE NOTES & SPECIFICATIONS

THE FINAL POSITIONING OF THIS BUILDING ON LOT TO BE THE RESPONSIBILITY OF THE CONTRACTOR. BEFORE STARTING CONSTRUCTION OF THE BUILDING THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON THESE DRAWINGS AND IF ANY DISCREPANCIES ARE FOUND THEY ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE DESIGNER.

AT NO TIME SHALL THE CONTRACTOR SCALL OFF THESE DRAWINGS BUT SHALL BUILD TO DIMENSIONS SHOWN ONLY AFTER VERIFICATION. ANY DIVIATIONS FROM THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL TRADES TO WORK TO THEIR LATEST RESPECTIVE CODES AND BY-LAWS.

General Notes

Dimensions provided shall take preference over scale. Contractor to verify all dimensions of Building Design and Construction drawings prior to work commencement. Any discrepancies are to be reported immediately. Any noted dimensions on the plans that exceed the requirements stated in the general notes take precedence. Prior to any alterations or modifications of plans or details, the Contractor(s), Subcontractor(s) or tradesperson(s) must obtain the Building Designer's written Building Code requirements and to change accounts and addresses of the plan.

All references to the "British Columbia Building Code" (B.C.B.C.) are to current edition or published minor amendments, as approved by ministerial order by the Province of British Columbia. Any reference to a listed edition or version is to be applied for the equivalent requirement in the most current edition. All work shall comply with the current edition of the "British Columbia Building Code" for rules and sections of trade practice to be executed by all tradespersons will require and adequately supervised.

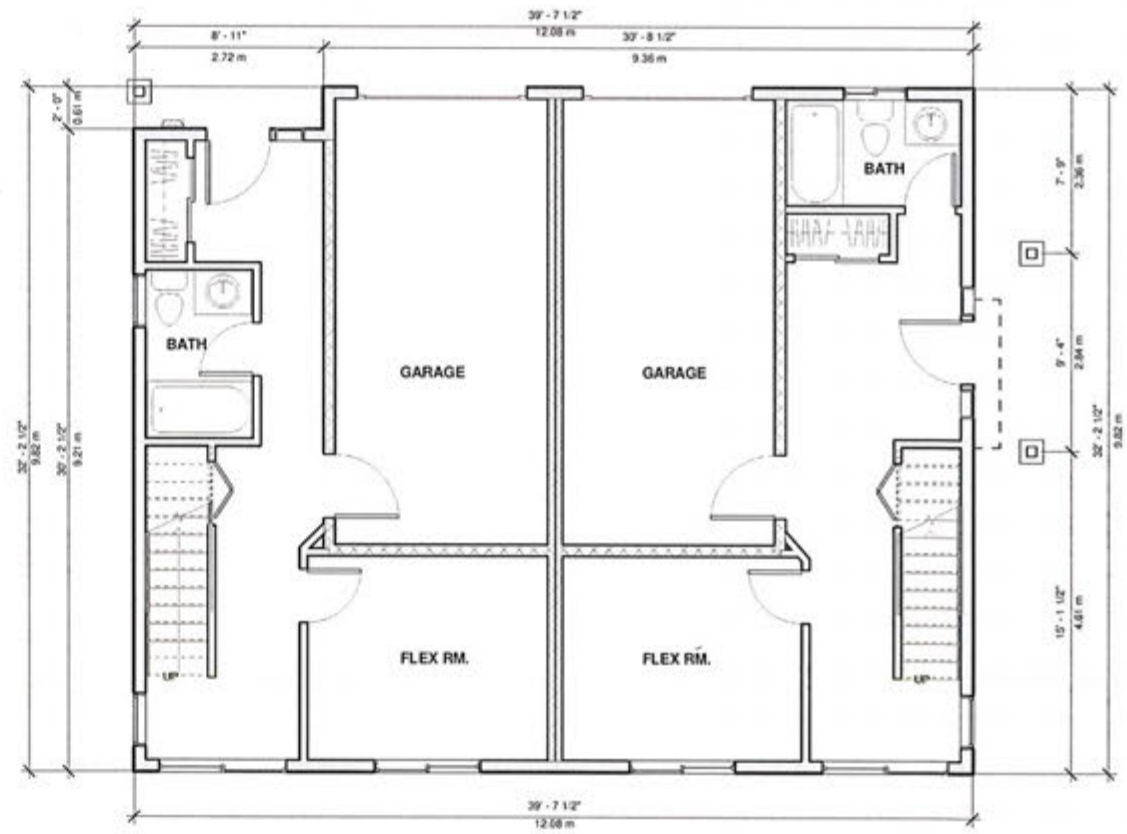
Structural Engineer/Contractor to verify all aspects of siting and placement of structure on lot. Designer not responsible for placement. It is the owner's responsibility to ensure existing structure does not contain in the requirements of the B.C. Building Code or equivalent(s) may be hazardous and such removal are for the owner's account.

All materials to be of best quality, complying with the applicable sections of the current C.S.A., C.S.B.E. and B.C.S.C. standards. All materials shall be used strictly according to manufacturers printed directions, where not inconsistent with the specifications, no B.C. or provincial model when specifically to comply with B.C.S.C. 2.2.13, and to be designed by structural engineer unless noted elsewhere. Structural Engineering and Trade Manufacture drawings to be prepared and all structural design shall comply with.



T-Square
Design
T-Square Design
2950 Lakeshore Drive
Victoria, BC, V8B 4S5
250-361-5411
design@tsquare.ca

GENERAL NOTES
1. All drawings, plans, models, designs, specifications and/or documents prepared by T-Square Design "TSD" are made in accordance with the project and instruments of service for the work shown on them (the "Work") and as such are and remain the property of TSD whether the work is executed or not, and TSD reserves the right to inform and the work executed from them, and they shall not be used for any other work or project.
2. It is the responsibility of the Contractor to verify all dimensions, elevations, and site conditions as applicable to the project and the proposed work. The Contractor shall verify the design of any items, structures or components identified within the drawings prior to commencement of the work. Commencement of construction or any part thereof constitutes acceptance of the drawings, acceptance of the existing site conditions, and that all dimensions and structures have been inspected, verified and are acceptable.
3. The Contractor shall comply with all B.C.S.C. work and/or placement, siting and production of the proposed building or structures on the property prior to commencing the work. TSD will be responsible for any encroachments with respect to location, siting or placement. Any proposed changes will require a professional Engineer licensed in the Province of BC for the design and/or review of all structural components and systems within the work as required by the Authority Having Jurisdiction. Prior to commencement of the work, the Contractor shall notify TSD of any changes to the design required by the Authority Having Jurisdiction, and manufacture of other engineered components as such.



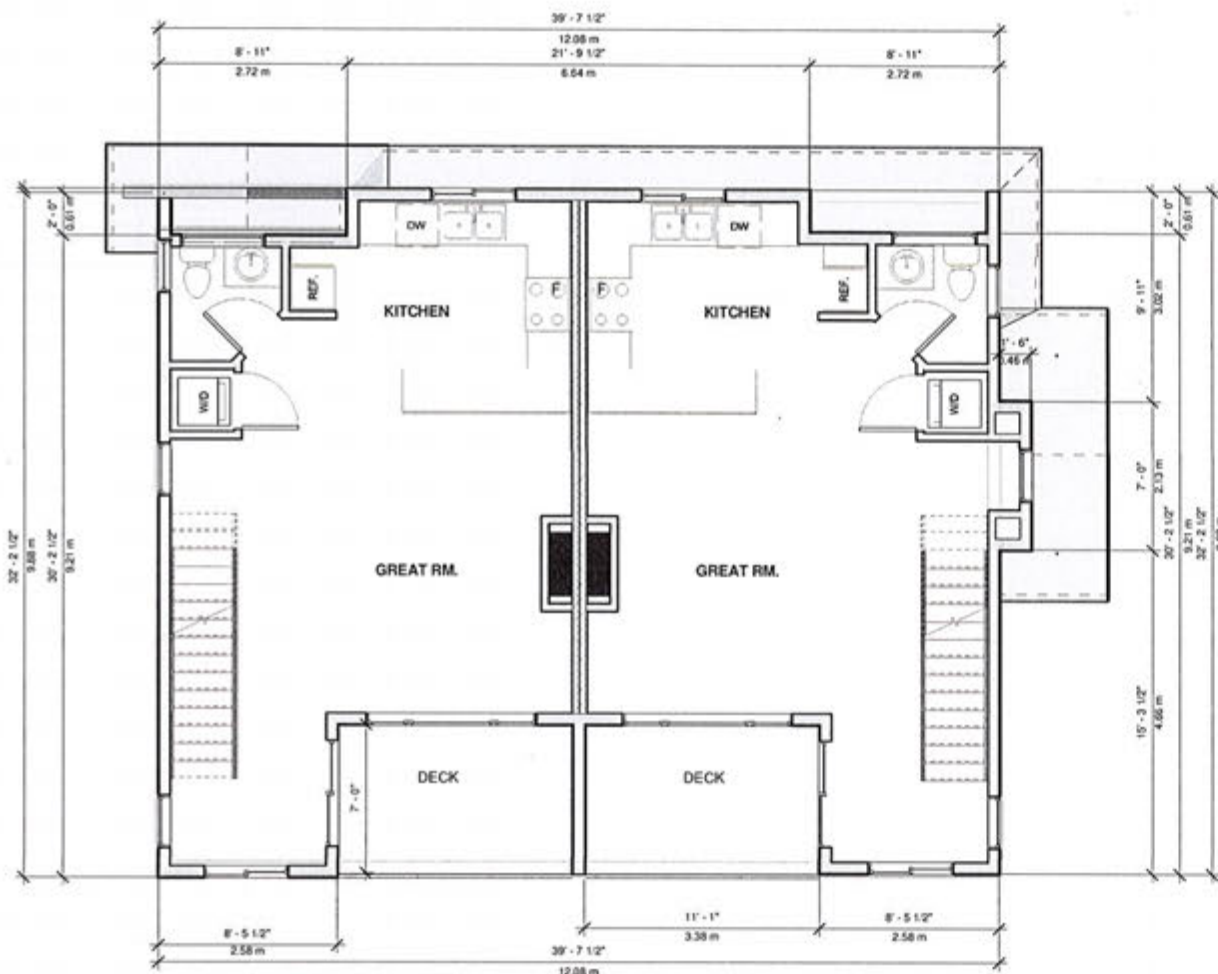
LOWER FLOOR PLAN
LFE - 833.24 SF (77.40 ms)
GAR - 425.17 SF (39.49 ms)
F.A.R - 744.07 SF (69.12 ms)

① Grnd. Floor Plan Bldg. C
1/4" = 1'-0"

VENTILATION TO BE DESIGNED BY HVAC
IN ACCORDANCE TO BCBC 2012 (8.32)

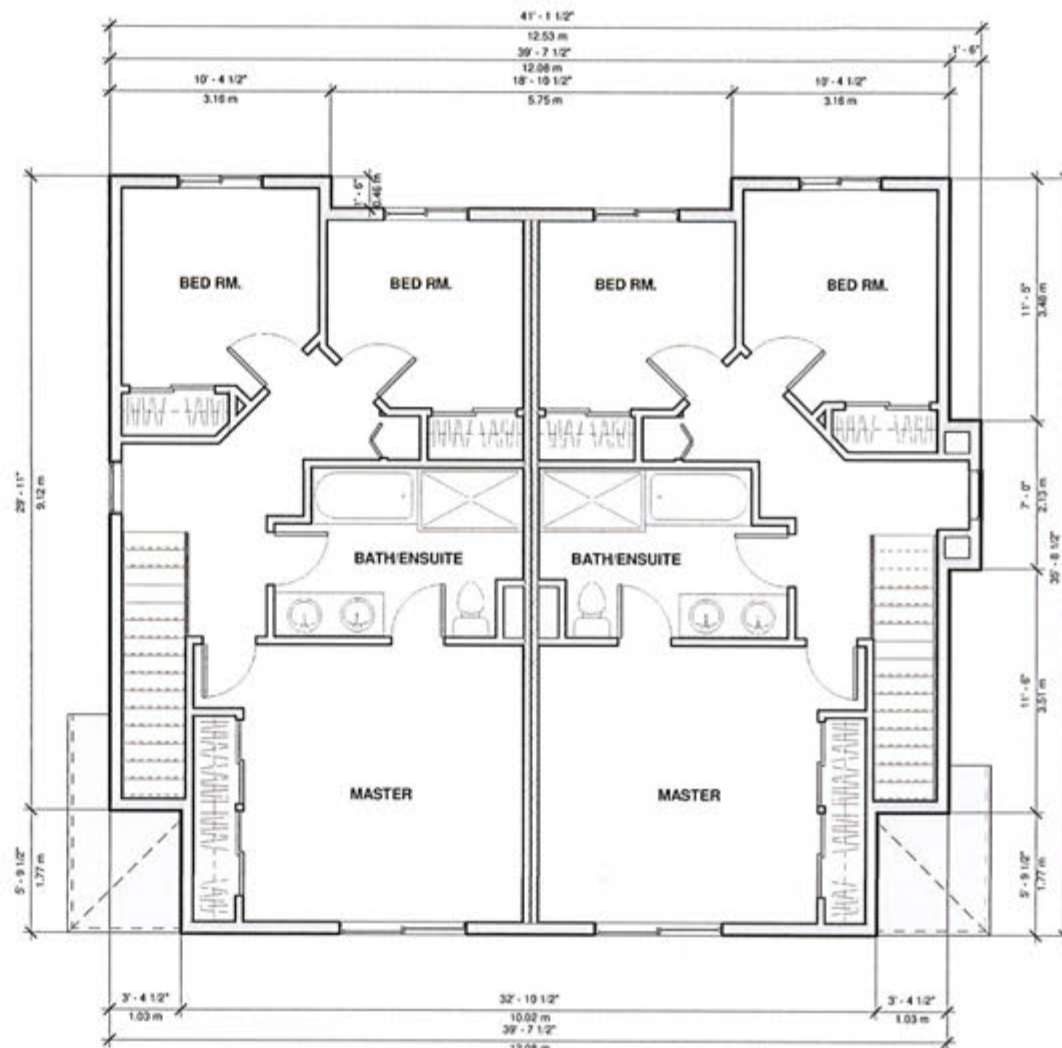
Proposed Residence for:
RYAN JABS - BLDC "C"
939 Colville Rd., Esquimalt, BC

DATE: 04/27/2018
DRAWN BY: AS
JOB #: A16-***
SHEET:
A1
SHEET A1 OF 1



MAIN FLOOR
 108.63 SF (100.48sm)
 F.A.R. 1004.80 SF 93.34sm

① MAIN FLOOR PLAN BLDG. C
 1/4" = 1'-0"



UPPER FLOOR
 1347.53 SF (125.18ms)
 F.A.R. 1272.70 SF (118.29ms)

② THIRD FLOOR BLDG. C
 1/4" = 1'-0"



T-Square Design
 T-Square Design
 2955 Leifhurst Drive
 Victoria, BC, V8B 4S5
 250-361-5411

design@tsquare.ca

GENERAL NOTES:
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 2. It is the responsibility of the Contractor to verify all dimensions, elevations, and annotations as applicable to the project and the proposed work. The Contractor shall verify the Design of any errors, omissions, or discrepancies identified in the drawing prior to commencement of the work. Confirmation of completion of the work and the final acceptable completion of the drawing, acceptance of the existing conditions, and final dimensions and elevations have been considered, verified and are acceptable.
 3. The Contractor shall work with T.S.D. to verify all dimensions, elevations, and annotations of the proposed building or structure on the property prior to commencing the work. TSD will not be responsible for any discrepancies with respect to elevation, utility placement, fire protection design, etc. with respect to the work as shown on the drawing.
 4. The Contractor shall engage a Professional Engineer licensed in the Province of BC for the design and review of all structural components and systems for the work as required by the Authority Having Jurisdiction. The design and review of the work shall be the responsibility of the Professional Engineer. The Professional Engineer shall verify the design and review of the work as required by the Authority Having Jurisdiction. The Professional Engineer shall verify the design and review of the work as required by the Authority Having Jurisdiction.



Proposed Residence for:

RYAN JABS - BLDG "C"
 939 Colville Rd., Esquimalt, BC

DATE: 04/27/2018
 DRAWN BY: AS
 JOB #: A16-***

SHEET:
A2
 SHEET A2 UR2



1 Rear (East) Elevation
1/4" = 1'-0"



2 Right (South) Elevation
1/4" = 1'-0"



T-Square Design
T-Square Design
2950 Lakhurst Drive
Victoria, BC, V8B 4S5
250-361-5411
design@tsquare.ca

GENERAL NOTES:
1. All drawings, plans, models, designs, specifications and other documents prepared by T-Square Design ("TSD") are made in accordance with the professional standards of service for the work shown on these drawings and such are not to be construed as a guarantee of performance or liability. TSD reserves the right to modify or amend the drawings without notice and without liability. The Contractor shall be responsible for any other work or project. 2. It is the responsibility of the Contractor to verify all dimensions, elevations, and site conditions as applicable to the project and the proposed work. The Contractor shall verify the Designer of any errors, omissions or discrepancies identified within the drawings prior to commencement of the work. Such omissions or discrepancies in any part thereof constitute acceptance of the drawings, conditions of the existing conditions, and such dimensions and elevations have been ascertained, verified and are acceptable. 3. The Contractor shall work with a C.L.S. to verify all structural dimensions, siting and location of the proposed building or structures on the property prior to commencing the work. TSD is not responsible for any inaccuracies with respect to location, siting or placement. Any proposed changes with respect to location, siting or placement shall be confirmed with a C.L.S. prior to construction. 4. The Contractor shall engage a Professional Engineer to verify the Province of BC for the design and full review of all structural components and systems within the work as required by the Authority Having Jurisdiction. Prior to commencement of the work, the Contractor shall notify TSD of any changes to the design requested by the Structural Engineer, from manufacture or other engineered components supplier.

Proposed Residence for:
RYAN JABS - BLDC "C"
939 Colville Rd., Esquimalt, BC

DATE: 04/27/2018
DRAWN BY: MS
JOB #: A16-***
SHEET:
A3
SHEET A3 OF 3



① Front (West) Elevation
1/4" = 1'-0"



② Left (North) Elevation
1/4" = 1'-0"



T-Square Design
T-Square Designs
2900 Lakeshore Drive
Victoria, BC, V8B 4S5
250-361-5411
design@tsquare.ca

GENERAL NOTES:
1. All drawings, plans, sections, elevations, and other documents prepared by T-Square Design ("TSD") and under revision with the project are instruments of service for the work of professional design services only and shall not be used for any other work or project.
2. It is the responsibility of the Contractor to verify all dimensions, elevations, and other conditions as applicable to the project and the proposed work. The Contractor shall notify the Designer of any errors, omissions or discrepancies identified within the drawings prior to commencement of the work. Subsequent to commencement of the work, the Contractor shall be responsible for any amendments with respect to elevation, using or placement of any proposed changes with respect to elevation, which shall be confirmed with a B.C.S. prior to installation.
3. The Contractor shall engage a Professional Engineer (P.E.) in the Province of BC for the design and final review of all structural components and systems within the work as required by the Authority Having Jurisdiction. It is the responsibility of the Contractor to notify TSD of any changes to the design, including but not limited to changes in materials, dimensions or other engineering component number.

Proposed Residence for:
RYAN JABS - BLDC "C"
939 Colville Rd., Esquimalt, BC

DATE: 04/27/2018
DRAWN BY: JAS
JOB #: A16.***
SHEET:

A4
SHEET A4 OF 04

SITE NOTES & SPECIFICATIONS

THE FINAL POSITIONING OF THIS BUILDING ON LOT TO BE THE RESPONSIBILITY OF THE CONTRACTOR. BEFORE STARTING CONSTRUCTION OF THE BUILDING THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON THESE DRAWINGS AND IF ANY DISCREPANCIES ARE FOUND THEY ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE DESIGNER.

AT NO TIME SHALL THE CONTRACTOR SCALL OFF THESE DRAWINGS BUT SHALL BUILD TO DIMENSIONS SHOWN ONLY AFTER VERIFICATION. ANY DIVIATIONS FROM THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL TRADES TO WORK TO THEIR LATEST RESPECTIVE CODES AND BY-LAWS.



T-Square Design
T-Square Design
2950 Lakeland Drive
Victoria, BC, V8B 4S5
250-361-9411

design@tsquare.ca

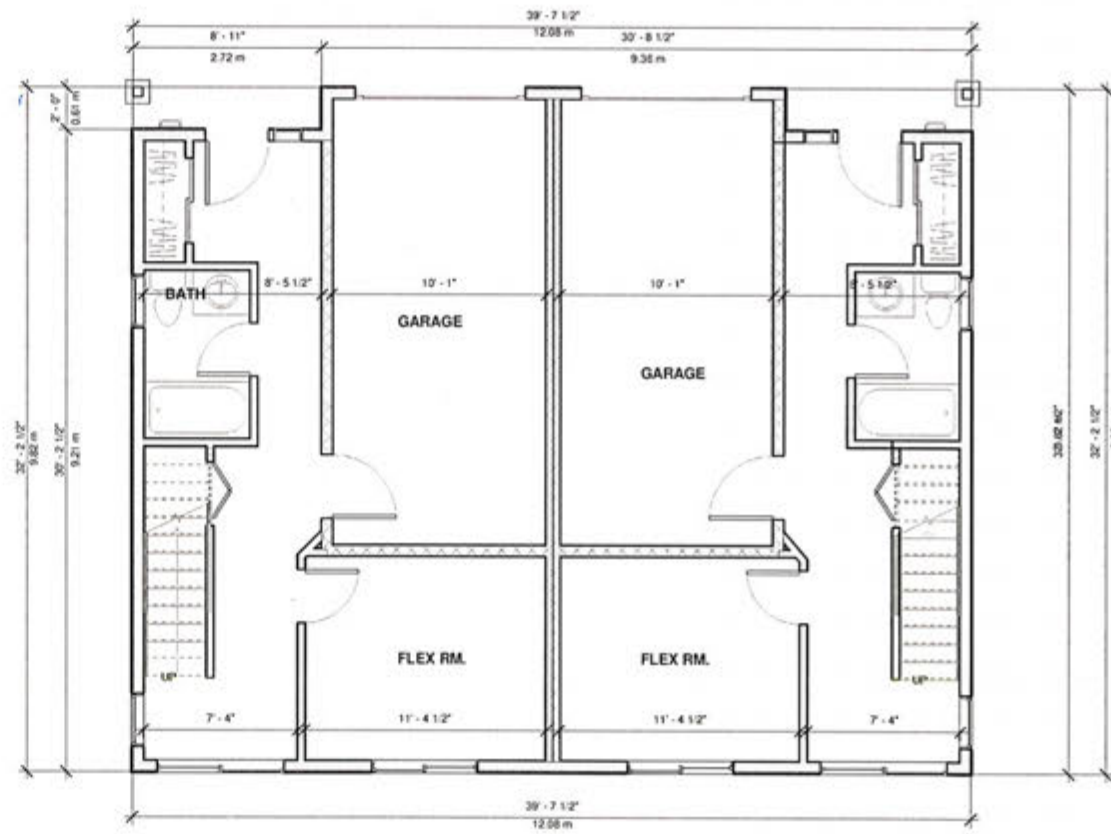
GENERAL NOTES
1. All drawings, plans, models, designs, specifications and other documents prepared by T-Square Design "TSD" are issued in accordance with the printed instructions of service for the work shown on them (the "Work") and such are not to be used for any other purpose. The work is provided as is, and TSD makes no warranty, expressed or implied, as to the accuracy of the information or the results to be obtained therefrom, and shall not be held responsible for any other work or project.
2. It is the responsibility of the Contractor to verify all dimensions, elevations, and site conditions as applicable to the project and the proposed work. The Contractor shall notify the Designer of any errors, omissions or discrepancies identified on the drawings prior to commencement of the work. Commencement of construction or any part thereof constitutes acceptance of the drawings, acceptance of the existing conditions, and that all dimensions and elevations have been confirmed, verified and are acceptable.
3. The Contractor shall work with a B.C. Licensed Professional Engineer, and shall be responsible for any and all costs associated with the design, engineering, and other services required for the project. The Contractor shall engage a Professional Engineer licensed in the Province of BC for the design and seal of all structural components and systems within the work as required by the Authority Having Jurisdiction. Prior to commencement of the work, the Contractor shall notify TSD of any changes to the design required by the structural engineer, manufacturer or other engineering component supplier.

General Notes

Dimensions provided shall take precedence over work. Contractor to verify all dimensions of Building Designer and Consultant's drawings prior to work commencement. Any discrepancies are to be reported immediately. Any notes elsewhere on the plans shall prevail over the dimensions stated in the general notes. The Contractor shall be responsible for any alterations or modifications of plans or details on site. Contractor's interpretation of dimensions or notes shall be subject to the Building Designer's written confirmation. All work shall comply with the current edition of the "British Columbia Building Code" the rules and regulations of local trade practice to be followed by all tradespersons, all equipment and materials supplied.

Reference to the "British Columbia Building Code" (B.C.B.C.) is to the current edition or published version if any, as approved by reference order by the Province of British Columbia. Any reference to a code edition or version is to be assumed to be the equivalent requirement in the current code edition. All work shall comply with the current edition of the "British Columbia Building Code" the rules and regulations of local trade practice to be followed by all tradespersons, all equipment and materials supplied.

Surveyor and Contractor to confirm all aspects of siting and placement of structure or building. Designer not responsible for placement, if the owner has the professional or building authority to place the structure on the site. The Contractor shall be responsible for all aspects of siting and placement of structure or building. All materials shall be used in accordance with the manufacturer's printed directions, where no directions with the specifications are provided, the manufacturer's printed directions shall apply. All work shall comply with B.C.B.C. 6.2.1.5, and to be designed by a structural engineer unless noted otherwise. Structural Engineering and Trade Manufacturers' drawings to take precedence over structural design details on this.



LOWER FLOOR PLAN
LFE - 633.24 SF (77.40 ms)
GAR - 425.17 SF (39.49 ms)
F.A.R - 744.07 SF (69.12 ms)

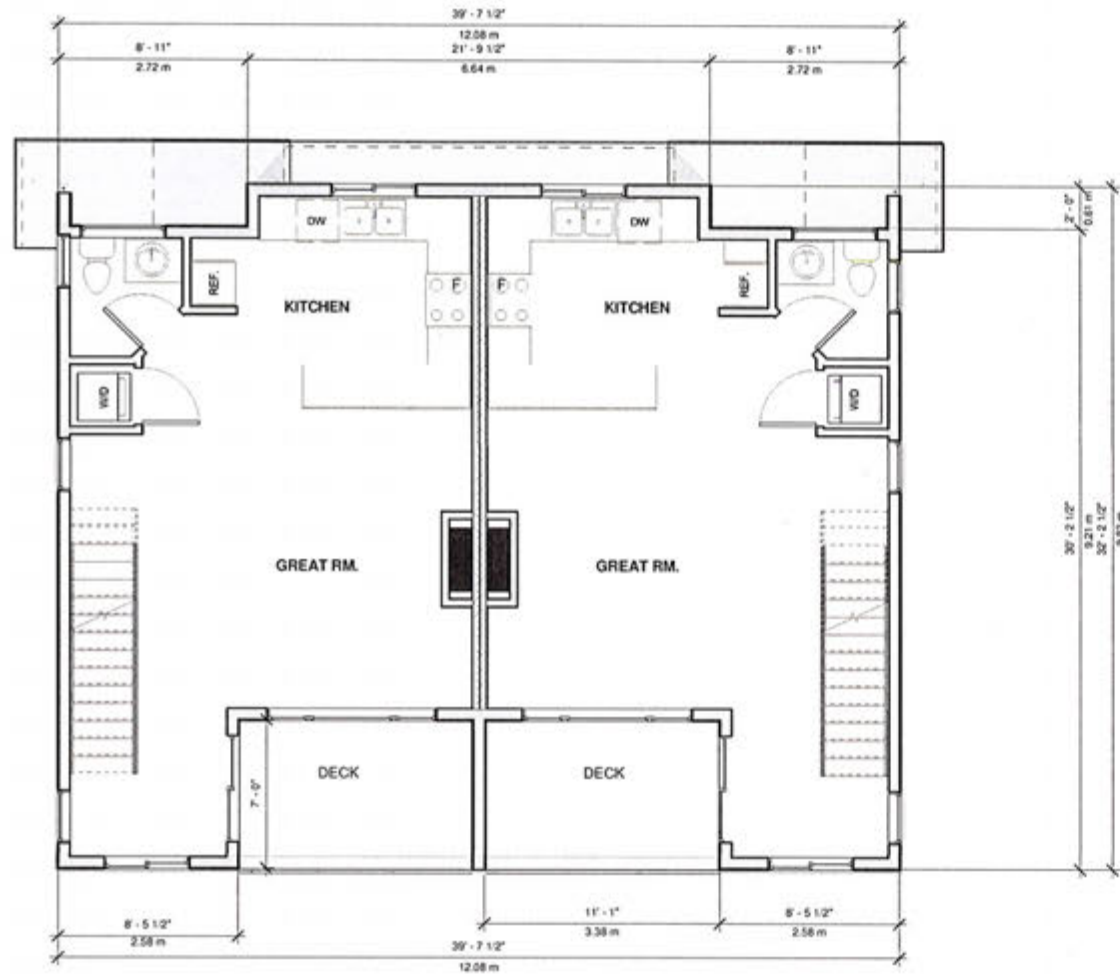
1 Grnd. Floor Plan Bldg. C
1/4" = 1'-0"

VENTILATION TO BE DESIGNED BY HVAC
IN ACCORDANCE TO BCBC 2012 (9.32)

Proposed Residence for :

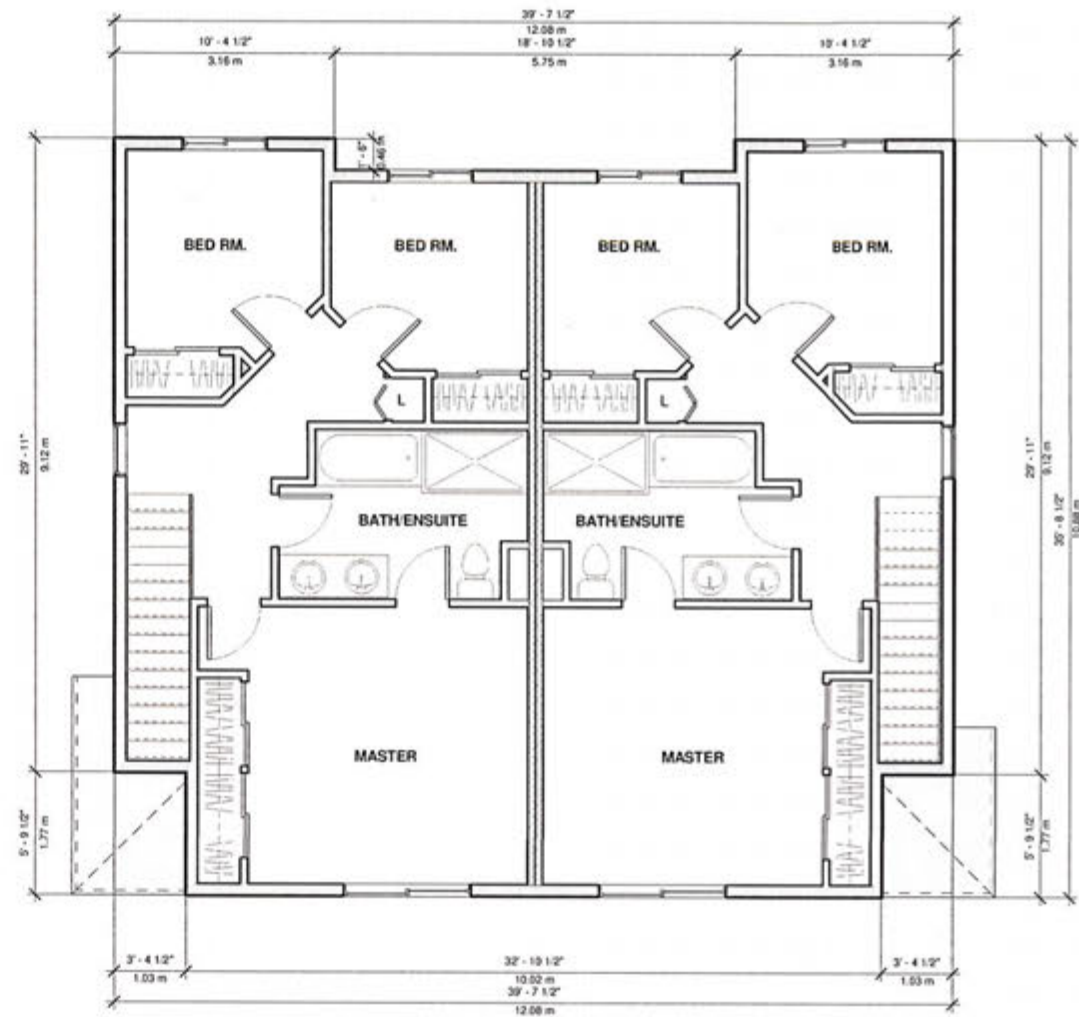
RYAN JABS - BLDG "D"
939 Colville Rd., Esquimalt, BC

DATE:	Apr 8 2016
DRAWN BY:	AS
JOB#:	A26-***
SHEET:	A1



MAIN FLOOR
108.63 SF (100.48sm)
F.A.R. 1004.80 SF 93.34sm

① MAIN FLOOR PLAN BLDG. C
1/4" = 1'-0"



UPPER FLOOR
1347.53 SF (125.18sm)
F.A.R. 1272.70 SF (118.29sm)

② THIRD FLOOR BLDG. C
1/4" = 1'-0"



T-Square Design
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2950 Lakeland Drive
Victoria, BC, V8B 4S5
250-361-5411

design@tsquare.ca

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2. It is the responsibility of the Contractor to verify all dimensions, elevations, and/or conditions as applicable to the project and the proposed work. The Contractor shall notify the Designer of any errors, omissions or discrepancies identified within the drawings prior to commencement of the work. Commencement of work shall constitute acceptance of the drawings, conditions, and specifications, and any dimensions and conditions have been verified, verified before execution.
3. The Contractor shall comply with all applicable laws, codes, and regulations, and shall obtain all necessary permits, approvals, and/or licenses for the proposed work. The Contractor shall be responsible for any and all costs associated with the proposed work, including but not limited to, design fees, professional fees, and/or other costs.
4. The Contractor shall engage a Professional Engineer licensed in the Province of BC, to verify design and/or construction of all structural components and systems within the work as required by the Authority having jurisdiction. It is the responsibility of the Contractor to ensure that the design and/or construction of all structural components and systems within the work is in accordance with the design and/or construction requirements of the Authority having jurisdiction.



Proposed Residence for:

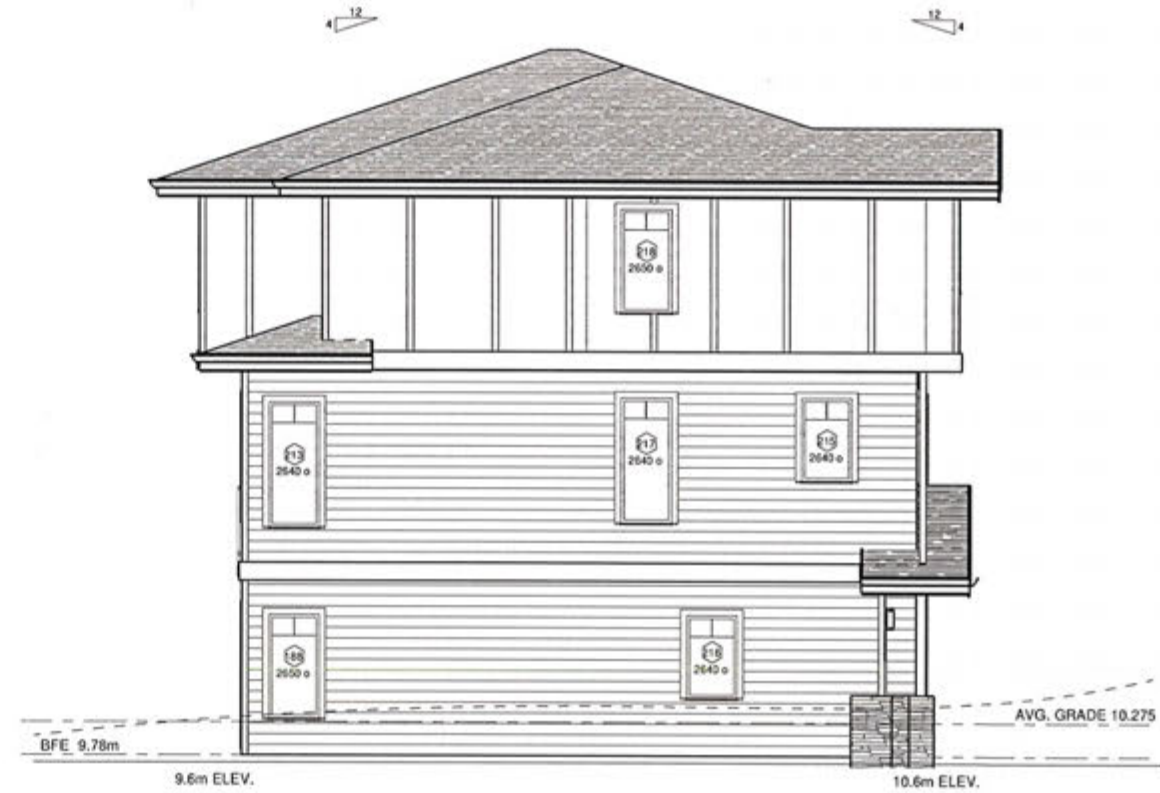
RYAN JABS - BLDG "D"
939 Colville Rd., Esquimalt, BC

DATE: April 2016
DRAWN BY: AS
JOB #: A16-***
SHEET:

A2
SHEET A2 OF 2



1 Rear (East) Elevation
1/4" = 1'-0"



2 Right (North) Elevation
1/4" = 1'-0"

RECEIVED
JUL 06 2018
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OF ESQUIMALT
DEVELOPMENT SERVICES



T-Square Design
2950 Lakeland Drive
Victoria, BC, V8B 4S5
250-361-5411

GENERAL NOTES:
1. All drawings, plans, notes, etc., shall be read in conjunction with the project and the contract documents.
2. The Contractor shall be responsible for any other work or items not shown on these drawings.
3. It is the responsibility of the Contractor to verify all dimensions, elevations, and materials as applicable to the project and the proposed work. The Contractor shall notify the Designer of any errors, omissions or discrepancies identified within the drawings prior to commencement of the work. Commencement of construction or any other work shall constitute acceptance of the drawings, acceptance of the existing conditions, and any dimensions and elevations have been confirmed, verified and are accurate.
4. The Contractor shall comply with all applicable laws, codes, and regulations. The Contractor shall be responsible for any permits required for the proposed work. The Contractor shall be responsible for any inspections with respect to installation, siting or placement of any proposed changes with respect to installation, siting or placement shall be performed with B.C.C.S. prior to installation.
5. The Contractor shall engage a Professional Engineer licensed in the Province of BC for the design and construction of all structural components and systems within the work as required by the Authority having jurisdiction. Prior to commencement of the work, the contractor shall notify the Authority of the design and construction of the proposed work.
6. The Contractor shall be responsible for any other work or items not shown on these drawings.

Proposed Residence for:
RYAN JABS - BLDG "D"
939 Colville Rd., Esquimalt, BC

DATE: April 2016
DRAWN BY: AIG_PJD
JOB #: A16-***
SHEET:
A3
SHEET A3 043

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1 Front (West) Elevation
1/4" = 1'-0"



2 Left (South) Elevation
1/4" = 1'-0"



T-Square Design
T-Square Design
2955 Lakeshore Drive
Victoria, BC, V8B 4S5
250-361-5411

design@tsquare.ca

GENERAL NOTES:
 1. All drawings, plans, notes, specifications and other documents prepared by T-Square Design "TSQ" and made available with the project are the property of T-Square Design. It is the responsibility of the client to ensure that the work is done in accordance with the project and to ensure the project is completed in accordance with the project. The client shall be responsible for any errors, omissions or discrepancies identified in the drawings prior to commencement of the work. Commencement of construction or any other action shall constitute acceptance of the drawings, acceptance of the existing conditions, and any dimensions and elevations have been considered, verified and accepted.
 2. The contractor shall work with a B.C.S. to verify correct placement, size and location of the proposed building or structures on the property prior to commencing the work. The contractor shall be responsible for any interference with existing or proposed structures, siting or placement of any proposed changes with respect to elevation, siting or placement shall be confirmed with B.C.S. prior to construction.
 3. The contractor shall engage a Professional Engineer licensed in the Province of B.C. for the design and preparation of all structural components and systems within the work as required by the authority having jurisdiction prior to commencement of the work. The contractor shall notify T-Square Design of any changes to the design or construction of the proposed structure or other engineering component.

Proposed Residence for:
RYAN JABS - BLDG "D"
 939 Colville Rd., Esquimalt, BC

DATE: April 2016
 DRAWN BY: MS
 JOB#: A16.***
 SHEET:

A4
 SHEET A4 094

