



## CORPORATION OF THE TOWNSHIP OF ESQUIMALT

### ADVISORY PLANNING COMMISSION AGENDA TUESDAY OCTOBER 16, 2018 7:00 P.M. WURTELE ROOM, MUNICIPAL HALL

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- I. CALL TO ORDER
- II. LATE ITEMS
- III. ADOPTION OF AGENDA
- IV. ADOPTION OF MINUTES – September 25, 2018
- V. STAFF REPORTS

- 1) **Official Community Plan Amendment and Rezoning**  
**636 and 640 Drake Street**  
**PID 002-923-157, Lot 2 of Suburban Lot 50 and 41, Esquimalt District, Plan 25565, and;**  
**PID 002-923-211, Lot 3 of Suburban Lot 41, Esquimalt District, Plan 25565**

#### **Purpose of Application:**

The applicant is requesting a change in the Official Community Plan - Land Use Designation from the current OCP designation 'Low Density Residential' to 'Townhouse Residential', and a change in zoning from the current RD-1 [Two Family Residential] zone to a Comprehensive Development zone [CD], to accommodate the proposed eight strata townhouse residences, to be constructed in three buildings on the subject property.

The existing two duplexes would be demolished and eight new dwelling units would be constructed. Should the rezoning be approved, the form and character of the buildings and landscaping would be controlled by a development permit that would be considered by Council at a future date.

**Evaluation of this application should focus on issues relevant to zoning such as the appropriateness of the proposed height, density and massing, proposed unit sizes, siting, setbacks, lot coverage, useable open space, how the building relates to adjacent and surrounding sites and whether the proposed uses are appropriate and consistent with the overall direction contained within the Official Community Plan.**

#### **Recommendation:**

The **Esquimalt Advisory Planning Commission recommends to Council** that the application for an Official Community Plan Amendment and Rezoning for eight (8) Townhouse type dwelling units built in three buildings, sited in accordance with the surveyor's plan prepared by Powell and Associates stamped "Received June 1, 2018 and incorporating the height and massing consistent with the architectural plans provided by Burrows Holdings Ltd. and Dimma Pacific Properties Ltd., stamped "Received September 27, 2018", to be located at 636 and 640 Drake Street [PID 002-923-157, Lot 2 of Suburban Lot 50 and 41, Esquimalt District, Plan 25565 and PID 002-923-211, Lot 3 of Suburban Lot 41, Esquimalt District, Plan 25565] be forwarded to Council with a **recommendation to either approve, approve with conditions, or deny the application; and provide reasons for the chosen recommendation.**

2) REZONING APPLICATION

1198 Munro Street

[PID 005-455-031, Lot 1, Section 11, Esquimalt District, Plan 44436]

**Purpose of the Application:**

The applicant is requesting a change in zoning from the current RD-3 zone [Two Family/Single Family Residential] to a Comprehensive Development District zone [CD] to enable an additional house on the property. The existing house on the property will not be removed; however the existing garage will be removed to construct a new single family dwelling with a rooftop deck. Should the rezoning be approved, the form and character of the building and landscaping would be controlled by a development permit that would be considered by Council at a future date.

**Evaluation of this application should focus on issues relevant to zoning such as the appropriateness of the proposed uses, height, density, massing, proposed unit sizes, siting, setbacks, lot coverage, useable open space, parking, how the building relates to surrounding sites; and consistency with the overall direction contained within the Official Community Plan.**

**Recommendation:**

The Esquimalt Advisory Planning Commission recommends to Council that the application for rezoning, which would be required in order to subdivide the existing lot into two residential lots in accordance with Proposed Subdivision Survey prepared by Wey Mayenburg Land Surveying Inc. stamped “Received September 17, 2018” and be consistent with the architectural plans provided by Villamar Design stamped “Received September 17, 2018” for the proposed development to be located at 1198 Munro Street [PID 005-455-031, Lot 1, Section 11, Esquimalt District, Plan 44436] be forwarded to Council with a **recommendation to either approve, approve with conditions, or deny the application; and provide reasons for the chosen recommendation.**

3) TEMPORARY USE PERMIT

1237 Esquimalt Road

PID: 006-386-423, Lot 273 VIP2854 Subsidy Lot 40 Esquimalt District Plan, Lot 274 Plan VIP2854 Subsidy Lot 40 Esquimalt Land District

**Purpose of the Application:**

The purpose of this Temporary Use Permit is to allow the site at 1237 Esquimalt Road be temporarily used as a parking lot. The proposed parking lot will have 26 parking stalls and will include one parking stall for persons with disabilities which will be paved for easy access and maneuvering. There will also be a parking space suitable for a food truck no larger than 18 foot long, to be located at the south east corner of the site. In addition there will be 2 planters to be added along the north lot line of the property and 2 at each end of the middle lane of parking stalls for a total 6 planters on the property.

**Recommendation:**

The Esquimalt Advisory Planning Commission recommends to Council that the application for a Temporary Use Permit authorizing the site at 1237 Esquimalt Road [PID: 006-386-423, Lot 273 VIP2854 Subsidy Lot 40 Esquimalt District Plan, Lot 274 Plan VIP2854 Subsidy Lot 40 Esquimalt Land District] be temporarily used as a parking lot, be forwarded to Council with a recommendation to either **approve, approve with additional conditions or deny the application; and provide reasons for chosen recommendations.**

**VI. NEXT REGULAR MEETING**

Tuesday, November 20, 2018

**VII. ADJOURNMENT**



## CORPORATION OF THE TOWNSHIP OF ESQUIMALT

### ADVISORY PLANNING COMMISSION MINUTES OF SEPTEMBER 25, 2018 ESQUIMALT COUNCIL CHAMBERS

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<b>PRESENT:</b>	Ken Armour Michael Angrove Fil Ferri	Duncan Cavens Helen Edley
<b>ABSENT:</b>	Graeme Dempster and Marie Fidoe,	
<b>STAFF:</b>	Bill Brown, Director of Development Services, Staff Liaison Janany Nagulan, Planner	
<b>COUNCIL LIAISONS:</b>	Councillor Beth Burton-Krahn	

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#### I. CALL TO ORDER

Ken Armour, Chair, called the Advisory Planning Commission meeting to order at 7:02 p.m.

#### II. LATE ITEMS

There were no late items.

#### III. APPROVAL OF THE AGENDA

Moved by Fil Ferri, seconded by Duncan Cavens: That the agenda be approved as circulated.  
**Carried Unanimously**

#### IV. ADOPTION OF MINUTES

Moved by Mike Angrove seconded by Duncan Cavens: That the minutes of the APC meeting, August 21, 2018 be adopted as circulated. **Carried Unanimously**

#### V. STAFF REPORTS

##### 1) DEVELOPMENT PERMIT 485 Head Street

In attendance: Deborah Douez, one of the owners; Steve Corcoran (Power of Attorney for Elizabeth Corcoran, one of the owners on title) and Jim Kerr (architect).

##### **Commission comments and questions included (*response in italics*):**

- The Commission invited the applicants and the architect to the podium. Deborah Douez provided an overview of the application. She is looking for a small building to do art work in. She hopes to have it integrated into the garden through a continuum of indoor and outdoor space. The doors will be able to slide out of the way to incorporate more outdoor space into the indoor space. Jim Kerr stated that it will be 12 feet high, have metal cladding and shingle siding with colours meant to blend into the environment.
- Are any trees being removed? *A Bay Laurel is being removed – it is more of a big bush.*
- What is there now? *Planted beds.*

**RECOMMENDATION:**

Moved by Fil Ferri, seconded by Mike Armour: The Esquimalt Advisory Planning Commission recommends to Council that the application for a Development Permit , authorizing construction of an accessory building to be used as an art studio as per architectural plans prepared by James Kerr Architect, stamped “Received August 24, 2018” and BC Land Surveyor Site Plan prepared by Glen Mitchell Land Surveying Inc. “Received August 30, 2018”, for the property located at 485 Head Street [PID: 002 – 376-059, Lot A, Section 11, Esquimalt District, Plan 26678] **be forwarded to Council with a recommendation by the Esquimalt Advisory Planning Commission to approve;** as the proposed development is a good fit for the neighbourhood and a good use of the land.  
**Carried Unanimously**

**2) DEVELOPMENT PERMIT and DEVELOPMENT VARIANCE PERMIT  
955 Craigflower Road**

In attendance: Ovidiu Jacob, Field Consultant for 7-11.

**Commission comments and questions included (*response in italics*):**

- The commission invited the representative for the owner to the podium. Ovidiu Jacob gave an overview of the project stating that 7-11 is a licenced retailer with Imperial Oil. Approximately 2000 properties in Canada are going through a similar process.
- Is anything being added? *The “wave” will be added.*
- Is anything being done outside the covered area? *Everything is being done under the covered area on the existing pumps.*
- Why did the number of signs increase to 10? *Because there are many small signs. Imperial Oil is redoing its image across Canada.*

**RECOMMENDATION:**

Moved by Duncan Cavens, seconded by Fil Ferri: That the Esquimalt Advisory Planning Commission recommends to Council that the application for a Development Permit and Development Variance Permit permitting multiple rebranding signs for the existing Esso gas station consistent with plans stamped “Received May 9, 2018” and Site Plans prepared by Fuel Marketing Asset Management – Engineering Services stamped “Received May 9, 2018” and to include the following variance for the property at 955 Craigflower Road [PID 018-042-104, Lot A, Section 10, Esquimalt District, Plan VIP55645] **be forwarded to Council with a recommendation by the Esquimalt Advisory Planning Commission to approve as the impact of the proposed signage is minimal;**

**Sign Regulation Bylaw, 1996, No. 2252, 6.1 (i) – Prohibitions:** To increase the requirement of no more than 3 types of signs on a site to allow no more than 4 types of signs on the site, specifically for signage around the existing gas pumps;

**Sign Regulation Bylaw, 1996, No. 2252, 9.8.1 –Freestanding Signs - Number Permitted:** To increase the requirement to allow the number of free standing signs on site from 1 to 2 freestanding signs, specially to be located beside existing gas pumps;

**Sign Regulation Bylaw, 1996, No. 2252, 9.8.2 (a) – Freestanding Signs- Location:** A 15 metre decrease to the requirement, to allow for freestanding signs to be located within 30 metre of residential zone, specifically for signs to be located beside existing gas pumps;

**Sign Regulation Bylaw, 1996, No. 2252, 9.8.2 (c) – Freestanding Signs- Location:** To be exempt from the requirement that all freestanding signs shall be sited in a landscaped area to be at least equal in size to the Sign Area;

**Sign Regulation Bylaw, 1996, No. 2252, 9.12.1 – Projecting Signs – Number Permitted:** To allow the number of projecting signs from only one per business on a premise, to ten projecting signs per business specifically to be located near existing gas pumps; and

**Sign Regulation Bylaw, 1996, No. 2252, 9.12.4 (a) – Projecting Signs- Sign Placement Area:** To decrease the minimum placement distance above ground from 2.75m to 1.2m above ground specifically for those signs to be located near the existing gas pumps.

**VI. NEXT REGULAR MEETING**

Tuesday, October 16, 2018

**VII. ADJOURNMENT**

The meeting adjourned 7:18 p.m.

CERTIFIED CORRECT

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CHAIR, ADVISORY PLANNING COMMISSION  
THIS 16<sup>th</sup> DAY OF OCTOBER 2018

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ANJA NURVO, CORPORATE OFFICER



# CORPORATION OF THE TOWNSHIP OF ESQUIMALT

Municipal Hall, 1229 Esquimalt Road, Esquimalt, B.C. V9A 3P1  
Telephone (250) 414-7100 Fax (250) 414-7111

APC Meeting: October 16, 2018

## STAFF REPORT

**DATE:** October 12, 2018

**TO:** Chair and Members of the Advisory Planning Commission

**FROM:** Karen Hay, Planner  
Bill Brown, Director of Development Services

**SUBJECT: Official Community Plan Amendment and Rezoning  
636 and 640 Drake Street**  
PID 002-923-157, Lot 2 of Suburban Lot 50 and 41, Esquimalt District, Plan 25565, and;  
PID 002-923-211, Lot 3 of Suburban Lot 41, Esquimalt District, Plan 25565

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### RECOMMENDATION:

The **Esquimalt Advisory Planning Commission recommends to Council** that the application for an Official Community Plan Amendment and Rezoning for eight (8) Townhouse type dwelling units built in three buildings, sited in accordance with the surveyor's plan prepared by Powell and Associates stamped "Received June 1, 2018 and incorporating the height and massing consistent with the architectural plans provided by Burrows Holdings Ltd. and Dimma Pacific Properties Ltd., stamped "Received September 27, 2018", to be located at 636 and 640 Drake Street [PID 002-923-157, Lot 2 of Suburban Lot 50 and 41, Esquimalt District, Plan 25565 and PID 002-923-211, Lot 3 of Suburban Lot 41, Esquimalt District, Plan 25565] be forwarded to Council with a **recommendation to either approve, approve with conditions, or deny the application; and provide reasons for the chosen recommendation.**

### BACKGROUND:

#### Purpose of the Application

The applicant is requesting a change in the Official Community Plan - Land Use Designation from the current OCP designation 'Low Density Residential' to 'Townhouse Residential', and a change in zoning from the current RD-1 [Two Family Residential] zone to a Comprehensive Development zone [CD], to accommodate the proposed eight strata townhouse residences, to be constructed in three buildings on the subject property.

The existing two duplexes would be demolished and eight new dwelling units would be constructed. Should the rezoning be approved, the form and character of the buildings and landscaping would be controlled by a development permit that would be considered by Council at a future date.

**Evaluation of this application should focus on issues relevant to zoning such as the appropriateness of the proposed height, density and massing, proposed unit sizes, siting, setbacks, lot coverage, useable open space, how the building relates to adjacent**

**and surrounding sites and whether the proposed uses are appropriate and consistent with the overall direction contained within the Official Community Plan.**

### Context

**Applicant:** Jim Burrows, Burrows Holdings Ltd. and Dimma Pacific Properties Ltd.

**Owners:** Jim Burrows, Burrows Holdings Ltd., Inc. No. 459190; and  
Chris Travis, Dimma Pacific Properties Ltd.

**Property Size:** 636 Drake Ave.: [Lot 3]: Metric: 843.0 m<sup>2</sup> Imperial: 9074.0 ft<sup>2</sup>  
640 Drake Ave.: [Lot 2]: Metric: 784.0 m<sup>2</sup> Imperial: 8438.9 ft<sup>2</sup>  
Total: Metric: 1627.0 m<sup>2</sup> Imperial: 17512.9 ft<sup>2</sup>

**Existing Land Use:** 636 Drake St.: Two Family Dwelling  
640 Drake St.: Two Family Dwelling

### **Surrounding Land Uses:**

**North:** Single Family Residential  
**South:** Single Family Residential  
**West:** Single Family Residential  
**East:** Single Family Residential

**Existing Zoning:** 636 Drake St.: Two Family Dwelling  
640 Drake St.: Two Family Dwelling

**Proposed Zoning:** CD [Comprehensive Development District]

**Existing OCP Designation:** Low Density Residential [amendment required]

**Proposed OCP Designation:** Townhouse Residential

### Zoning

In keeping with other townhouse projects, the proposed Comprehensive Development District zone would contain the following uses: townhouse residential, two family residential, home occupation and boarding.

**Density, Lot Coverage, Siting and Setbacks:** The following chart compares the setbacks, lot coverage and floor area ratio of this proposal with the requirements of the RM-3 [High Density Townhouse Residential Zone]:

	<b>RM-3</b> [High Density Townhouse Residential]	<b>Proposed CD Zone</b> <b>636 &amp; 640 Drake Street</b>
<b>Floor Area Ratio [F.A.R.]</b>	0.60	0.63
<b>Lot Coverage</b>	25%	29%
<b>Setbacks</b>		
• <b>Front</b>	7.5 m	6.0 m
• <b>Rear</b>	7.5 m	6.2 m
• <b>Side (South)</b>	4.5 m	4.0 m (3.0 m to decks)



	<b>RM-3</b> [High Density Townhouse Residential]	<b>Proposed CD Zone</b> <b>636 &amp; 640 Drake Street</b>
• <b>Side (North)</b>	4.5 m	4.0 m (3.5 m to decks)
<b>Building Height</b>	9.0 m	9.0 m
<b>Off Street Parking</b>	2 spaces/ dwelling unit	1.5 spaces/ dwelling unit, [12 spaces] 12 full size [4 dedicated as visitor]
<b>Usable Open Space</b>	121.8 m <sup>2</sup> / 1624 m <sup>2</sup> [7.5% of the area of the parcel]	127 m <sup>2</sup> [7.8 %] conforming to terms of Zoning Bylaw, 1992, No. 2050

The F.A.R. of the proposal at 0.63 is greater than the 0.60 F.A.R. permitted in the Multiple Family Residential [RM-3] [high density townhouse or low density apartment development] zone. The Official Community Plan allows for consideration of up to 0.70 F.A.R. for Townhouses, in areas designated for Townhouse Residential. The proposed Lot Coverage at 29% is greater than the maximum 25% permitted in the RM-3 zone.

This proposal requires a 1.3 metre reduction to the front and a 1.5 metre reduction to the rear setback requirements of the RM-3 zone. Drake Street is a skinny street with wide boulevards, where the majority of buildings appear to be located back from the roadway.

The 'Useable Open Space'; as defined in the zoning bylaw, excludes areas used for front yards and parking, and areas with any dimension less than 6.0 metres. This proposal's provision of 127 m<sup>2</sup> [1367 ft<sup>2</sup>] [7.8% Useable Open Space] meets the 7.5 % Useable Open Space requirement contained in the RM-3 zone; plus each unit is provided with a small private outdoor space measuring at least 6 metres by 4 metres in area.

The height of the tallest proposed building at 9.0 metres equals the 9.0 metre maximum provided in the RM-3 zone.

The proposal provides for 8 parking spaces in resident garages, with 3 visitor spaces located towards the back of the site and one visitor spaces located between the two, two-unit buildings. The parking bylaw allows for up to 50% of parking spaces to be small car spaces, this proposal has all full size spaces. The manoeuvring aisle between the buildings is over an existing right of way, meets the parking bylaw width requirements, and would provide adequate room for a fire truck to access the property.

The size of this development would warrant the use of a private contractor to pick up garbage, kitchen scraps and recycling, so a containment system will be provided to house the various bins for the 8 dwelling units.

### **Official Community Plan**

This proposal requires an amendment to the Proposed Land Use Designation for the subject properties, from "Low Density Residential" to "Townhouse Residential".

The Official Community Plan supports the expansion of housing types in residential areas. The immediate neighbourhood contains a mix of single family and two-family housing types.

Section 5 Housing & Residential Land Use contains policies that are intended to ensure that concerns such as tree protection, parking, traffic, noise, effects on neighbouring properties, and neighbourhood character are addressed.

- Policy - Consider new townhouse residential proposals with a Floor Area Ratio of up to 0.70, and up to three storeys in height, in areas designated Townhouse Residential on the “Proposed Land Use Designation Map,” provided the design responds effectively to both its site and surrounding land uses.
- Policy - Support the development of a variety of housing types and designs to meet the anticipated housing needs of residents. This may include non-market and market housing options that are designed to accommodate young and multi-generational families, the local workforce, as well as middle and high income households.

#### 5.2 Low Density Residential Redevelopment

OBJECTIVE: Strive for redevelopment and infill development that improves and enhances the appearance and livability of neighbourhoods and the community as a whole.

- Policy - Proposed redevelopment or infill within present low density residential land use designated areas should be built to high quality design and landscaping standards and respond sensitively to existing neighbourhood amenities.

#### 5.4 Affordable Housing

OBJECTIVE: To encourage a range of housing by type, tenure and price so that people of all ages, household types, abilities and incomes have a diversity of housing choice in Esquimalt.

- Policy - Encourage the provision of missing middle housing types such as two-unit dwellings (duplexes), townhouses and small lot infill as one avenue to address housing affordability.

OCP Section 23 Development Permit Area No. 6 Multi-Unit Residential provides guidelines for the form and character of multi-family residential developments; encouraging high quality construction that is in character with the existing residential neighbourhood. As the Development Permit is not being considered at this time it would be inappropriate to address many of these guidelines, with the following exceptions that are relevant to the discussion of zoning and parking issues.

23.5.1. The size and siting of buildings that abut existing single- and two-unit and townhouse dwellings should reflect the size and scale of adjacent development and complement the surrounding uses. To achieve this, height and setback restrictions may be imposed as a condition of the development permit.

23.5.2. New buildings should be designed and sited to minimize visual intrusion on to the privacy of surrounding homes and minimize the casting of shadows on to the private outdoor space of adjacent residential units.

23.5.5. Surface parking areas in developments less than five storeys in height, will be situated away from the street and screened by berms, landscaping or solid fencing or a combination of these three.

23.5.9. Retention and protection of trees and the natural habitat is encouraged wherever possible.

23.5.10. Townhouses will be designed such that the habitable space of one dwelling unit abuts the habitable space of another unit and the common wall overlap between adjoining dwellings shall be at least 50 percent.

23.5.14. Provide for building occupants to overlook public streets, parks, walkways and spaces, considering security and privacy of residents.

The property is also included in the following OCP Development Permit Areas: Development Permit Area No. 1 – Natural Environment, Development Permit Area No. 7 – Energy Conservation and Greenhouse Gas Reduction, Development Permit Area No. 8 – Water Conservation. Many of these guidelines would be addressed at the Development Permit stage but the following are relevant to the discussion of zoning and parking areas, including in particular the siting of proposed buildings.

#### OCP Section 18 Development Permit Area No. 1 – Natural Environment

##### 18.5.2 Natural Features

Natural features and areas to be preserved, protected, restored, and enhanced where feasible:

1. Retain existing healthy native trees, vegetation, rock outcrops and soil wherever possible.
4. Narrower manoeuvring aisles, fewer and smaller parking spaces can be considered where natural areas are being conserved.

##### 18.5.5 Drainage and Erosion

Measures to control drainage and shoreline erosion. Where it is reasonable:

1. Preserve, restore and enhance treed areas. Trees are the most effective form of absorbent landscaping due to their extensive root zones and their ability to both absorb water from the soil and intercept precipitation on leaves, needles and branches. Consider that native conifers are well adapted to local wet winters.
2. Reduce the impact of surges in stormwater on shorelines by designing on-site stormwater retention systems to contain the first 3 centimetres [1.25 inches] of precipitation on site, per precipitation event; and incorporating rainwater collection systems into roof design and landscaping.
4. Maximize the ratio of planted and pervious surfaces to unplanted surfaces, and design paved areas to direct water towards vegetated areas, to help reduce surface run off. Where paved surfaces are needed, intersperse with drought resistant vegetation and trees, to help absorb stormwater, provide shade and reduce the local heat island effect.

#### OCP Section 24 - Development Permit Area No. 7 – Energy Conservation and Greenhouse Gas Reduction

24.5.1 Siting of buildings and structures. Where it is feasible:

1. Orient buildings to take advantage of site specific climate conditions, in terms of solar access and wind flow; design massing and solar orientation for optimum passive performance.

2. Build new developments compactly, considering the solar penetration and passive performance provided for neighbouring sites, and avoid shading adjacent to usable outdoor open spaces.

4. Provide space for pleasant pedestrian pathways between buildings.

5. Strategically site buildings to sustain and increase the community's urban forest tree canopy cover.

6. Provide space for significant landscaping including varying heights of trees, shrubs and ground covers.

24.5.2 Form and exterior design of buildings and structures. Where it is feasible:

1. Orient larger roof surfaces to the south for potential use of solar panels or photo-voltaic roofing.

2. Use roof designs that reduce heat transfer into neighbouring buildings, helping reduce the local heat island effect and the need for cooling of buildings in warmer months.

8. Add rooftop patios and gardens, particularly food producing gardens, as they can contribute to local resilience, livability, and reduction in greenhouse gas production by reducing food transportation costs.

24.5.3 Landscaping - Where it is feasible:

2. Choose open space and landscaping over dedicating space to the parking and manoeuvring of private motor vehicles.

3. Conserve native trees, shrubs and soils, thereby saving the cost of importing materials and preserving already sequestered carbon dioxide.

24.5.5 Special Features

4. Reuse of existing buildings and building materials is encouraged.

#### OCP Section 25 - Development Permit Area No. 8 – Water Conservation

25.5.3 Landscaping – Retaining Stormwater on Site (absorbent landscaping) Where it is feasible:

1. Preserve and restore treed areas. Trees are the most effective form of absorbent landscaping due to their extensive root zones and their ability to both absorb water from the soil and intercept precipitation on leaves, needles and branches. Consider that native conifers are well adapted to local wet winters.

3. Avoid disturbing, compacting and removing areas of natural soil, as these are naturally absorbent areas.

#### **Green Building Features**

The applicant has completed the Esquimalt Green Building Checklist [attached].

**Comments From Other Departments**

The plans for this proposal were circulated to other departments and the following comments were received:

**Building Inspection:** Subject to code and bylaw review at time of building permit application.

**Engineering Services:** Engineering has completed a preliminary review of the proposed development at 636 and 640 Drake Street. The developer should be aware that they may be required to provide Works and Services up to the road centre line, at the expense of the property owner. At a minimum new curb, and gutter along the frontage of the proposed development. The development is to have sewer, drain, catch basin and water service connections, as well as underground hydro, telephone, and cable. Additional review and comments will be provided upon receipt of detailed engineering drawings. All proposed Works and Services shall be as per Bylaw, 1997, No. 2175. It is the responsibility of the applicant to hire a qualified professional for the design and construction supervision of all Works and Services, including construction costs, engineering fees, administrative fees and as indicated in Bylaw No. 2175.

**Fire Services:** Sprinklers will be required for this building as per Building Regulation Bylaw 2017, No. 2899. Driveway shall be constructed in a fashion that permits fire department access.

**Parks Services:** Comments as per Talbot and Mackenzie report; retain and protect trees as per tree protection bylaw. Apply for removals through the Parks department.

**Director of Development Services:** As this proposal is situated on two lots, the lots would need to be consolidated. Should this rezoning be approved, a Development Permit would be required.

**Design Review Committee Recommendation**

At its regular meeting held Wednesday, July 11, 2018 the Esquimalt Design Review Committee recommended that the application for a rezoning and OCP amendment, authorizing eight (8) townhouse dwelling units as sited on the survey plans prepared by Powell and Associates stamped "Received June 1, 2018 and incorporating the height and massing consistent with the architectural plans provided by Burrows Holdings Ltd. and Dimma Pacific Properties Ltd., stamped "Received April 17, 2018", detailing the development proposed to be located at 636 and 640 Drake Avenue [PID 002-923-157, Lot 2 of Suburban Lot 50 and 41, Esquimalt District, Plan 25565 and PID 002-923-211, Lot 3 of Suburban Lot 41, Esquimalt District, Plan 25565], be forwarded to Council with a recommendation for approval with the following conditions:

- That the proposal for the site more closely meet the current RM-3 Zone, including:
  - A reduction in FAR and lot coverage and
  - An increase in the useable open space

The reason: To add flexibility in the design while delivering housing that meets the Townhouse form.

**Note:** After meeting with the Esquimalt Design Review Committee and speaking with staff the applicant has redesigned the project reducing the size of the buildings. The number of units has remained the same but four of the units are smaller, with an equal mix of two and three bedroom units. The footprint of the buildings is also slightly smaller, allowing for additional open space on the property.

**Public Notification**

As this is an Official Community Plan Amendment and Rezoning application should it proceed to a Public Hearing, a notice would be mailed to tenants and owners of properties within 100m (328ft) of the subject property. In order to satisfy the requirements of the *Local Government Act*, a notice to relevant government and institutional stakeholders within the Capital Region would be required. Two signs indicating that the two properties are under consideration for a change in zoning have been installed on the Drake Street frontage. The signs would be updated to include the date, time, and location of the Public Hearing.

**ALTERNATIVES:**

1. Forward the application for OCP Amendment and Rezoning to Council with a **recommendation of approval including reasons for the recommendation.**
2. Forward the application for OCP Amendment and Rezoning to Council with a **recommendation of approval including specific conditions and including reasons for the recommendation.**
3. Forward the application for OCP Amendment and Rezoning to Council with a **recommendation of denial including reasons for the recommendation.**

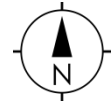


Drake Ave

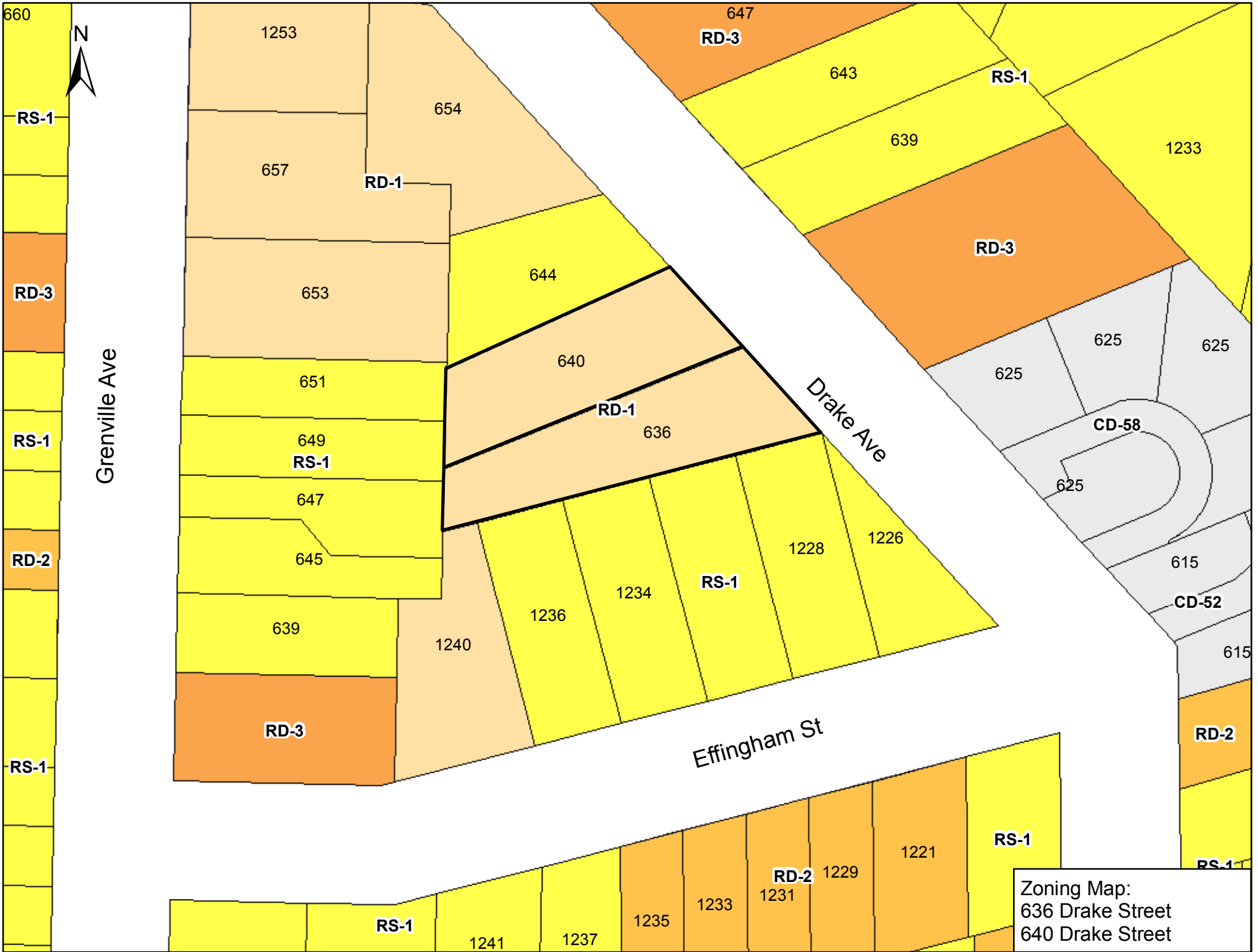
Effingham St

Subject Property Map:  
636 Drake Street  
640 Drake Street

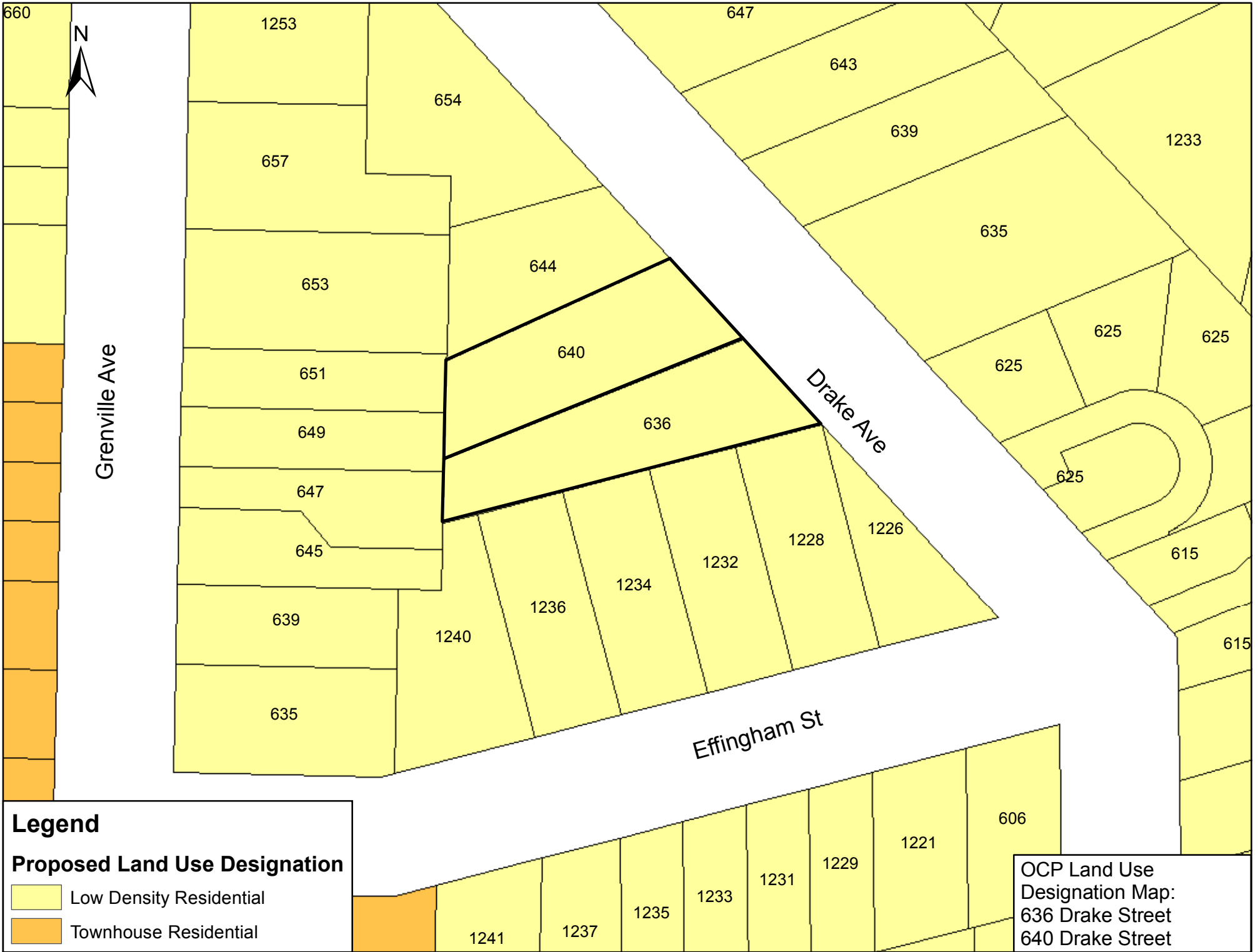
636 – 640 Drake Street - air photo







Zoning Map:  
 636 Drake Street  
 640 Drake Street



660



Grenville Ave

1253

647

654

643

657

639

1233

653

644

635

651

640

625

625

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636

625

Drake Ave

647

1226

645

1228

625

615

639

1236

1234

1232

615

635

1240

Effingham St

**Legend**

**Proposed Land Use Designation**

- Low Density Residential
- Townhouse Residential

OCP Land Use Designation Map:  
 636 Drake Street  
 640 Drake Street

1241

1237

1235

1233

1231

1229

1221

606

**43. MULTIPLE FAMILY RESIDENTIAL [RM-3]**

The intent of this Zone is to accommodate high density Townhouse or low density Apartment development.

**(1) Permitted Uses**

The following Uses and no others shall be permitted:

- (a) Townhouse Residential
- (b) Apartment Residential
- (c) Home Occupation

**(2) Floor Area Ratio**

The Floor Area Ratio shall not exceed 0.60.

**(3) Building Height**

- (a) No Principal Building shall exceed a Height of 9 metres.
- (b) No Accessory Building shall exceed a Height of 4 metres.

**(4) Lot Coverage**

- (a) All Principal Buildings, Accessory Buildings and Structures combined shall not cover more than 25% of the Area of a Parcel.
- (b) All Accessory Buildings and Structures combined shall not exceed 10% of the Area of a Parcel.

**(5) Siting Requirements**

**(a) Principal Building**

- (i) Front Setback: No Building shall be located within 7.5 metres of the Front Lot Line.
- (ii) Side Setback: No Building shall be located within 4.5 metres of an Interior Side Lot Line nor 3.6 metres of an Exterior Side Lot Line.
- (iii) Rear Setback: No Building shall be located within 7.5 metres of a Rear Lot Line.

**(b) Accessory Building**

- (i) Front Setback: No Accessory Building shall be located in front of the front face of the Principal Building.

- (ii) Side Setback: No Accessory Building shall be located within 1.5 metres of an Interior Side Lot Line nor 3.6 metres of an Exterior Side Lot Line.
- (iii) Rear Setback: No Accessory Building shall be located within 1.5 metres of a Rear Lot Line.
- (iv) Building Separation: No Accessory Building shall be located within 2.5 metres of a Principal Building.

(6) **Usable Open Space**

Usable Open Space shall be provided in an amount of not less than 7.5% of the Area of the Parcel.

(7) **Fencing**

Subject to Section 22, no fence shall exceed a Height of 1.2 metres in front of the front face of the Principal Building and 2 metres behind the front face of the Principal Building.

(8) **Off Street Parking**

Off street parking shall be provided in accordance with the requirements of Parking Bylaw, 1992, No. 2011 (as amended).

ROBERTS HEIGHTS  
c/o #1-1702 Quadra Street  
Victoria, BC V8W 2L8  
Tel. 250-388-9904  
Fax. 250-385-9902



September 2018

Mayor Barbara Desjardins and Councilors  
1229 Esquimalt Road,  
Esquimalt BC  
V9A 3P1

Dear Mayor and Council;

Re: 636-638 and 640-642 Drake Ave, Esquimalt, BC - Roberts Heights (site)

We are happy to bring to Esquimalt our proposal in an effort to help grow and improve the community. We are pleased after consultation to advance our plans to develop the site of 636-638 and 640-642 Drake Ave. This site has a number of characteristics that provide some great opportunities for those in the area.

We have worked with the Esquimalt staff to develop the building to fit and be welcoming to all for many years to come.

The two units that face onto Drake Ave have new entries to enhance and fit into the surrounding neighbourhood. The front entries of the two units have been centered and are open with front porch entries, making them inviting to the street and area. The unit's windows are facing Drake Ave, therefore obtaining a single family appearance home and further privacy to the neighbouring properties. The top floor exterior is board and batten to minimize the height and the exterior colors are now softer light shades.

The new official community plan (OCP) has changed the landscape for builders and homeowners alike and sets the stage for development through many decades. It recognizes that Esquimalt is running out of usable land for residences and notes that density is necessary to keep housing affordable for families in the Esquimalt area. This policy will help to mitigate the urban sprawl that forces young families further and further out of Esquimalt. We will increase the density of the site, while maintaining the detached dwelling look that is present and also new along the street.

Therefore, our proposal seeks to fit well in the overall feel of the neighbourhood. This site is large enough to accommodate townhome units and is providing sufficient parking for those living there. Going forward with this will complete the streetscape and stay in character with the surrounding neighbourhood. We will be moving and/or recycling the existing structures and materials as much as possible. Bicycle storage and EV charging will be incorporated in the units.

The landscape of Esquimalt is constantly changing and must keep pace with growth if it is to remain among the most vibrant and desirable areas. Home-ownership encourages pride in one's neighbourhood and a true sense of place for the new residents.

This proposal is one that we feel has a positive impact on the community. It has great access to downtown Esquimalt, parks, the new Esquimalt Town Square, Recreation Centre, Esquimalt Plaza and surrounding shops and coffee shops, schools and on route to post secondary schools. The new Esquimalt Town Square will feature a public square and a through-block art walk, as well as the proposed relocation of the Esquimalt Library. Great walk ability and bicycle and transit are nearby. Access to downtown Victoria and the Western Communities as well as up island are also easily accessible.

After careful consideration and consultation with neighbours and Esquimalt Planning department 8 units will fit best into the site with good green space and the required parking on site has been met. We have lowered the SFR to have 4 units with 2 bedrooms and 4 units with 3 bedrooms. We believe having single car garages will attract families with a lower demand on parking as well the two bedroom units will house smaller families.

We have also had the Community Meeting on June 8, 2018. The plans were described at the meeting. We appreciated the positive responses and comments

Houses to the side of Building A are screened to a good extent by neighbouring trees. Fencing will be provided with professional landscaping. Each unit will be fenced with natural good neighbour products. The units will be sold to residents whom wish to be near all amenities. The strata will decide if a unit can be a rental but this will not change the green space of which is proposed. The green space gives privacy to the neighbours. All property management will be addressed by the strata.

Parking requirements have been met / exceeded the Esquimalt regulation and a bicycle rack will be on site with additional bike storage in many units. This location, includes walking and bicycling distance to all amenities and BC Transit within a few blocks. There is also residential parking available on Drake Ave.

Page 3

September 2018

Re: 636-638 and 640-642 Drake Ave, Esquimalt BC – Roberts Heights

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In accordance with Green Building Indicators, these will be incorporated into the development. For example, concrete fiber hardy plank will be used for the exterior siding. Appropriate documentation has been submitted.

The project will be managed by experience builders whom have been involved in many projects.

If you have any questions please contact us. Thank you.

We sincerely hope for your support.

Yours truly,  
Robert Heights  
Chris Travis and Jim Burrows

/tc



## GREEN BUILDING CHECKLIST

The purpose of this Checklist is to make property owners and developers aware of specific green features that can be included in new developments to reduce their carbon footprints to help create a more sustainable community.

Creating walkable neighbourhoods, fostering green building technologies, making better use of our limited land base and ensuring that new development is located close to services, shops and transit are some of the means of achieving sustainability.

The Checklist which follows focuses on the use of **Green Technologies** in new buildings and major renovations. The Checklist is not a report card, it is a tool to help identify how your project can become 'greener' and to demonstrate to Council how your project will help the Township of Esquimalt meet its sustainability goals. It is not expected that each development will include all of the ideas set out in this list but Council is looking for a strong commitment to green development.

There are numerous green design standards, for example, Built Green BC; LEED ND; Living Building Challenge; Green Shores; Sustainable Sites Initiative. Esquimalt is not directing you to follow any particular standard, however, you are strongly encouraged to incorporate as many green features as possible into the design of your project.

As you review this checklist, if you have any questions please contact **Development Services** at 250.414.7108 for clarification.

**New development is essential to Esquimalt.  
We look forward to working with you  
to ensure that development is  
as green and sustainable as possible.**

Other documents containing references to building and site design and sustainability, which you are advised to review, include:

- Esquimalt's Official Community Plan
- Development Protocol Policy
- Esquimalt's Pedestrian Charter
- Tree Protection Bylaw No. 2664
- A Sustainable Development Strategic Plan for the Township of Esquimalt





"One-third of Canada's energy use goes to running our homes, offices and other buildings. The federal government's Office of Energy Efficiency (Natural Resources Canada) reports that a corresponding one-third of our current greenhouse gas (GHG) emissions come from the built environment."  
 [Green Building and Development as a Public Good, Michael Buzzelli, CPRN Research Report June 2009]

Please answer the following questions and describe the green and innovative features of your proposed development. Depending on the size and scope of your project, some of the following points may not be applicable.

### Green Building Standards

Both energy use and emissions can be reduced by changing or modifying the way we build and equip our buildings.

- 1 Are you building to a recognized green building standard? Yes  No   
 If yes, to what program and level?
- 2 If not, have you consulted a Green Building or LEED consultant to discuss the inclusion of green features? Yes  No
- 3 Will you be using high-performance building envelope materials, rainscreen siding, durable interior finish materials or safe to re-use materials in this project?  Yes  No  
 If so, please describe them.
- 4 What percentage of the existing building[s], if any, will be incorporated into the new building? 0 %
- 5 Are you using any locally manufactured wood or stone products to reduce energy used in the transportation of construction materials? Please list any that are being used in this project.  
Stone manufactured in abbotsford.
- 6 Have you considered advanced framing techniques to help reduce construction costs and increase energy savings?  Yes  No
- 7 Will any wood used in this project be eco-certified or produced from sustainably managed forests? If so, by which organization? No  
 For which parts of the building (e.g. framing, roof, sheathing etc.)? Possibly Roof Sheathing
- 8 Can alternatives to Chlorofluorocarbons and Hydro-chlorofluorocarbons which are often used in air conditioning, packaging, insulation, or solvents] be used in this project? If so, please describe these.  Yes  No
- 9 List any products you are proposing that are produced using lower energy levels in manufacturing.
- 10 Are you using materials which have a recycled content [e.g. roofing materials, interior doors, ceramic tiles or carpets]? Yes  No
- 11 Will any interior products [e.g. cabinets, insulation or floor sheathing] contain formaldehyde? Yes  No

## Water Management

The intent of the following features is to promote water conservation, re-use water on site, and reduce storm water run-off.

### Indoor Water Fixtures

- |    |  |                                  |                       |    |                                  |
|----|--|----------------------------------|-----------------------|----|----------------------------------|
| 12 | Does your project exceed the BC Building Code requirements for public lavatory faucets and have automatic shut offs? | Yes                              | <input type="radio"/> | No | <input checked="" type="radio"/> |
| 13 | For commercial buildings, do flushes for urinals exceed BC Building Code requirements?                               | Yes                              | <input type="radio"/> | No | <input checked="" type="radio"/> |
| 14 | Does your project use dual flush toilets and do these exceed the BC Building Code requirements?                      | <input checked="" type="radio"/> | Yes                   | No | <input type="radio"/>            |
| 15 | Does your project exceed the BC Building Code requirements for maximum flow rates for private showers?               | Yes                              | <input type="radio"/> | No | <input checked="" type="radio"/> |
| 16 | Does your project exceed the BC Building Code requirements for flow rates for kitchen and bathroom faucets?          | Yes                              | <input type="radio"/> | No | <input checked="" type="radio"/> |

### Storm Water

- |    |  |                                  |                       |    |                                  |     |
|----|--|----------------------------------|-----------------------|----|----------------------------------|-----|
| 17 | If your property has water frontage, are you planning to protect trees and vegetation within 60 metres of the high water mark? [Note: For properties located on the Gorge Waterway, please consult Sections 7.1.2.1 and 9.6 of the Esquimalt Official Community Plan.] | Yes                              | <input type="radio"/> | No | <input checked="" type="radio"/> | N/A |
| 18 | Will this project eliminate or reduce inflow and infiltration between storm water and sewer pipes from this property?  | <input checked="" type="radio"/> | Yes                   | No | <input type="radio"/>            | N/A |
| 19 | Will storm water run-off be collected and managed on site (rain gardens, wetlands, or ponds) or used for irrigation or re-circulating outdoor water features? If so, please describe. _____  | Yes                              | <input type="radio"/> | No | <input checked="" type="radio"/> | N/A |
| 20 | Have you considered storing rain water on site (rain barrels or cisterns) for future irrigation uses?  | <input checked="" type="radio"/> | Yes                   | No | <input type="radio"/>            | N/A |
| 21 | Will surface pollution into storm drains will be mitigated (oil interceptors, bio-swales)? If so, please describe. _____   | Yes                              | <input type="radio"/> | No | <input checked="" type="radio"/> | N/A |
| 22 | Will this project have an engineered green roof system or has the structure been designed for a future green roof installation?  | Yes                              | <input type="radio"/> | No | <input type="radio"/>            | N/A |
| 23 | What percentage of the site will be maintained as naturally permeable surfaces?  |                                  |                       |    | <u>20</u>                        | %   |

### Waste water

- |    |  |     |                       |    |                                  |     |
|----|--|-----|-----------------------|----|----------------------------------|-----|
| 24 | For larger projects, has Integrated Resource Management (IRM) been considered (e.g. heat recovery from waste water or onsite waste water treatment)? If so, please describe these. _____ | Yes | <input type="radio"/> | No | <input checked="" type="radio"/> | N/A |
|----|--|-----|-----------------------|----|----------------------------------|-----|

## Natural Features/Landscaping

The way we manage the landscape can reduce water use, protect our urban forest, restore natural vegetation and help to protect the watershed and receiving bodies of water.

- |    |  |     |                       |    |                       |                 |
|----|--|-----|-----------------------|----|-----------------------|-----------------|
| 25 | Are any healthy trees being removed? If so, how many and what species?<br><u>possibly 1 Fir.</u> | Yes | <input type="radio"/> | No | <input type="radio"/> | N/A             |
|    | Could your site design be altered to save these trees?   |     |                       |    |                       |                 |
|    | Have you consulted with our Parks Department regarding their removal?                            |     |                       |    |                       | <u>not yet.</u> |

- |    |   |                                      |                                     |     |
|----|---|--------------------------------------|-------------------------------------|-----|
| 26 | Will this project add new trees to the site and increase our urban forest?<br>If so, how many and what species? <u>Landscape Plan</u>       | <input checked="" type="radio"/> Yes | No                                  | N/A |
| 27 | Are trees [existing or new] being used to provide shade in summer or to buffer winds?   | <input checked="" type="radio"/> Yes | No                                  | N/A |
| 28 | Will any existing native vegetation on this site be protected?<br>If so, please describe where and how. <u>under arborist supervision</u>   | Yes                                  | No                                  | N/A |
| 29 | Will new landscaped areas incorporate any plant species native to southern Vancouver Island?  | <input checked="" type="radio"/> Yes | No                                  | N/A |
| 30 | Will xeriscaping (i.e. the use of drought tolerant plants) be utilized in dry areas?  | <input checked="" type="radio"/> Yes | No                                  | N/A |
| 31 | Will high efficiency irrigation systems be installed (e.g. drip irrigation; 'smart' controls)?  | <input checked="" type="radio"/> Yes | No                                  | N/A |
| 32 | Have you planned to control invasive species such as Scotch broom, English ivy, Himalayan and evergreen blackberry growing on the property? | Yes                                  | <input checked="" type="radio"/> No | N/A |
| 33 | Will topsoil will be protected and reused on the site?  | Yes                                  | <input checked="" type="radio"/> No | N/A |

### Energy Efficiency

*Improvements in building technology will reduce energy consumption and in turn lower greenhouse gas [GHG] emissions. These improvements will also reduce future operating costs for building occupants.*

- |    |   |                                      |                                     |                                      |
|----|---|--------------------------------------|-------------------------------------|--------------------------------------|
| 34 | Will the building design be certified by an independent energy auditor/analyst?<br>If so, what will the rating be? _____  | Yes                                  | <input checked="" type="radio"/> No | N/A                                  |
| 35 | Have you considered passive solar design principles for space heating and cooling or planned for natural daylighting?   | <input checked="" type="radio"/> Yes | No                                  | N/A                                  |
| 36 | Does the design and siting of buildings maximize exposure to natural light?<br>What percentage of interior spaces will be illuminated by sunlight? <u>10</u> %  | Yes                                  | No                                  | N/A                                  |
| 37 | Will heating and cooling systems be of enhanced energy efficiency (ie. geothermal, air source heat pump, solar hot water, solar air exchange, etc.).<br>If so, please describe. <u>Heat Pump</u><br>If you are considering a heat pump, what measures will you take to mitigate any noise associated with the pump? <u>Quiet units + Proper placement</u> | <input checked="" type="radio"/> Yes | No                                  | N/A                                  |
| 38 | Has the building been designed to be solar ready?   | <input checked="" type="radio"/> Yes | No                                  | N/A                                  |
| 39 | Have you considered using roof mounted photovoltaic panels to convert solar energy to electricity?  | <input checked="" type="radio"/> Yes | No                                  | N/A                                  |
| 40 | Do windows exceed the BC Building Code heat transfer coefficient standards?   | <input checked="" type="radio"/> Yes | No                                  | N/A                                  |
| 41 | Are energy efficient appliances being installed in this project?<br>If so, please describe. <u>energy Star</u>  |                                      |                                     |                                      |
| 42 | Will high efficiency light fixtures be used in this project?<br>If so, please describe.   | <input checked="" type="radio"/> Yes | No                                  | N/A                                  |
| 43 | Will building occupants have control over thermal, ventilation and light levels?  | <input checked="" type="radio"/> Yes | No                                  | N/A                                  |
| 44 | Will outdoor areas have automatic lighting [i.e. motion sensors or time set]?   | <input checked="" type="radio"/> Yes | No                                  | N/A                                  |
| 45 | Will underground parking areas have automatic lighting?   | Yes                                  | No                                  | <input checked="" type="radio"/> N/A |

**Air Quality**

The following items are intended to ensure optimal air quality for building occupants by reducing the use of products which give off gases and odours and allowing occupants control over ventilation.

46	Will ventilation systems be protected from contamination during construction and certified clean post construction?	<input checked="" type="radio"/> Yes	No	N/A
47	Are you using any natural, non-toxic, water soluble or low-VOC [volatile organic compound] paints, finishes or other products? If so, please describe. <u>Prefinished Siding, Latex Paint.</u>	<input checked="" type="radio"/> Yes	No	N/A
48	Will the building have windows that occupants can open?	<input checked="" type="radio"/> Yes	No	N/A
49	Will hard floor surface materials cover more than 75% of the liveable floor area?	<input checked="" type="radio"/> Yes	No	N/A
50	Will fresh air intakes be located away from air pollution sources?	<input checked="" type="radio"/> Yes	No	N/A

**Solid Waste**

Reuse and recycling of material reduces the impact on our landfills, lowers transportation costs, extends the life-cycle of products, and reduces the amount of natural resources used to manufacture new products.

51	Will materials be recycled during demolition of existing buildings and structures? If so, please describe. <u>recycle some existing material.</u>	<input checked="" type="radio"/> Yes	No	N/A
52	Will materials be recycled during the construction phase? If so, please describe. <u>Wood waste to supply firewood Cardboard &amp; Metal recycle.</u>	Yes	No	N/A
53	Does your project provide enhanced waste diversion facilities i.e. on-site recycling for cardboard, bottles, cans and or recyclables or on-site composting?	<input checked="" type="radio"/> Yes	No	N/A
54	For new commercial development, are you providing waste and recycling receptacles for customers?	Yes	No	<input checked="" type="radio"/> N/A

**Green Mobility**

The intent is to encourage the use of sustainable transportation modes and walking to reduce our reliance on personal vehicles that burn fossil fuels which contributes to poor air quality.

55	Is pedestrian lighting provided in the pathways through parking and landscaped areas and at the entrances to your building[s]?	<input checked="" type="radio"/> Yes	No	N/A
56	For commercial developments, are pedestrians provided with a safe path[s] through the parking areas and across vehicles accesses?	Yes	No	<input checked="" type="radio"/> N/A
57	Is access provided for those with assisted mobility devices?	<input checked="" type="radio"/> Yes	No	N/A
58	Are accessible bike racks provided for visitors?	<input checked="" type="radio"/> Yes	No	N/A
59	Are secure covered bicycle parking and dedicated lockers provided for residents or employees?	<input checked="" type="radio"/> Yes	No	N/A
60	Does your development provide residents or employees with any of the following features to reduce personal automobile use [check all that apply]: <input type="checkbox"/> transit passes <input type="checkbox"/> car share memberships <input type="checkbox"/> shared bicycles for short term use <input type="checkbox"/> weather protected bus shelters <input checked="" type="checkbox"/> plug-ins for electric vehicles			

Is there something unique or innovative about your project that has not been addressed by this Checklist? If so, please add extra pages to describe it.



Talbot Mackenzie & Associates  
Consulting Arborists



## **636-640 Drake Ave, Esquimalt**

### **Construction Impact Assessment & Tree Preservation Plan**

PREPARED FOR: Dimma Pacific Properties Ltd.  
Suite 1-1702 Quadra Street  
Victoria, BC  
V8W 2L8

PREPARED BY: Talbot, Mackenzie & Associates  
Noah Borges – Consulting Arborist  
ISA Certified # PN-8409A

DATE OF ISSUANCE: April 13, 2018

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## Talbot Mackenzie & Associates

Consulting Arborists

Jobsite Property: 636-640 Drake Ave, Esquimalt  
Date of Site Visit: February 27, 2018  
Site Conditions: Two residential lots. No construction activity present. Decreasing in elevation from northeast to southwest.

**Summary:** Three trees will require removal as a result of this development: Douglas firs #70 and #72 and Grand Fir #71. We also recommend Western Red Cedar #68 be removed, as pruning for building clearance will remove a significant portion of its canopy and we anticipate a decline in the health of the tree associated with the proposed excavation within its critical root zone. Grand Fir #73 may be able to be retained if working room can be minimized around the northwest corner of unit 5 and if the stump of fir #72 is ground rather than pulled. Arbutus #74 may have to be removed if landscaping plans require the existing grades being modified within the tree's critical root zone. A large number of roots from Western Red Cedar #68 are likely to be severed during excavation for unit 4 and clearance pruning will remove a large portion of the canopy. If our recommended mitigation measures are followed, all other trees can be retained without being significantly impacted.

**Scope of Assignment:** To inventory the existing bylaw protected trees and any trees on neighbouring properties that could potentially be impacted by construction or that are within 3 meters of the property line. Review the proposal to demolish the existing single-family dwellings and accessory buildings, and construct eight new units with accompanying driveways. Comment on how construction activity may impact existing trees. Prepare a tree retention and construction damage mitigation plan for those trees deemed suitable to retain given the proposed impacts.

**Methodology:** We visually examined the trees on the property and prepared an inventory in the attached Tree Resource Spreadsheet. Each by-law protected tree was identified using a numeric metal tag attached to its lower trunk. Municipal trees and neighbours' trees were not tagged. Information such as tree species, DBH (1.4m), crown spread, critical root zone (CRZ), health, structure, and relative tolerance to construction impacts were included in the inventory. The by-law protected trees with their identification numbers were labelled on the attached Site Plan. The conclusions reached were based on the information provided within the attached building and landscape plans.

**Limitations:** No exploratory excavations have been requested and thus the conclusions reached are based solely on critical root zone calculations and our best judgement using our experience and expertise. The location, size and density of roots are often difficult to predict without exploratory excavations and therefore the impacts to the trees may be more or less severe than we anticipate.

Locations of new underground service alignments to the proposed units were not available for comment. We recommend that service connections should be designed to preserve the critical roots of trees to be retained.

**Summary of Tree Resource:** 19 trees and shrubs were inventoried, including several trees within three metres of the north property boundary.

**Trees to be Removed:** We recommend four trees be removed as a result of the proposed construction:

- The base of **Douglas fir #70** partially overlaps with the footprint of the proposed retaining wall to be constructed north of the asphalt driveway.
- **Grand Fir #71** is within the footprint of unit 5.
- **Douglas fir #72** will be in the area of excavation for the construction of unit 5.
- **Western Red Cedar #68:** This tree is located 3.5m from the footprint of unit 4. A large mass of roots is likely to be encountered during excavation (which, given 1m of working room, will occur 2.5m from the base of the tree), potentially resulting in significant health impacts. In addition, a significant proportion of the crown will have to be pruned for building clearance. The main floor deck is approximately 2.5m away and the crown extends 6m from the fence line. (The crown is already limited in some areas due to competition with surrounding trees). Given that Cedars typically exhibit poor tolerance to disturbance, we anticipate this tree will show signs of significant health stress as a result of the proposed root loss and pruning. Therefore, we recommend it be removed. If the tree is under shared ownership with the south neighbouring property, the homeowner should be notified of proposed impacts.

#### **Potential Impacts on Trees to be Retained and Mitigation Measures**

- **Grand Fir #73:** This tree may be able to be retained if excavation for unit 5 does not occur beyond the stump of Douglas fir #72. Large, critical roots from Grand Fir #73 are likely to be encountered northwest of fir #72. We recommend the stump of fir #72 be ground rather than pulled to limit root impacts to tree #73. Furthermore, if possible, we recommend limiting the amount of working room on the west side of unit 5's footprint to minimize the likelihood of encountering roots. Landscape plans indicate that only minor grade changes are required within the tree's CRZ. An arborist should be on site to supervise any construction-related activity within the tree's critical root zone.

If the portion of the driveway that encroaches within the critical root zone of the tree requires excavation down to bearing soil within its footprint and roots are encountered in this area, the health of the tree could be significantly impacted. We recommend a raised permeable driveway be constructed in the area where the driveway crosses over the critical root zone of the trees. The "floating driveway" specifications are attached.

The objective is to avoid root loss and to instead raise the driveway and its base layer above the roots. This may result in the grade of the “floating driveway” being up to 30cm above the existing grade (depending on how close roots are to the surface and the depth of the driveway base layers). It may also mean that some of the A horizon soil layer (rich in organic material and roots) will be left intact below the driveway.

To allow sufficient water to drain into the root systems below, we would also recommend that the driveway not be made of concrete or asphalt. Instead the surface should be made of a permeable material such as permeable asphalt, paving stones or other porous paving materials such as those utilized by Grasspave, Gravelpave, and Grasscrete.

We also recommend the wood fence south of the tree and any other landscape features to be constructed be designed to limit root impacts (e.g. fence posts installed in areas that avoid large roots). If irrigation is to be installed within the CRZ of the tree, we recommend an arborist be consulted to advise on how best to mitigate impacts to critical roots and tree health.

- **Arbutus #74:** Depending on the required grade changes at the east end of the property, this tree may be significantly impacted. If landscaping plans require a significant amount of fill to be added within the critical root zone of the tree, the tree should likely be removed. The survival rates of transplanted Arbutus trees are low.
- **Trees #66-67:** These trees are 2.5-3.5m from the edge of the proposed driveway. If the new driveway requires excavation down to bearing soil within its footprint, we recommend a raised permeable driveway be constructed in the area where the driveway crosses over the critical root zone of the trees.
- **Grand Fir #69:** This tree is 3-3.5m from a proposed retaining wall to the west. Large roots are likely to be encountered during excavation at this distance from the tree. To minimize root impacts, we recommend the area be dug by hand or a combination of hydro-vac, small excavation machinery, and hand-digging, and that the wall be designed and constructed to preserve large roots. An arborist should be on site during any excavation and for the removal of the existing driveway and retaining walls. We also recommend that the existing grades be maintained where possible within the tree’s critical root zone. No fill should be placed against the tree’s trunk.
- **Trees NT3-NT5:** Roots from these trees may be encountered during excavation for construction of unit 7. We recommend an arborist be on site to supervise any excavation within the tree’s critical root zones and that additional space around the building footprint for working room be minimized. Barrier fencing should be erected as close to the building footprint as possible to limit soil compaction within their critical root zones. The neighbour should be notified that the trees may incur minor health impacts.
- **Arborist Supervision:** All excavation occurring within the critical root zones of protected trees should be completed under supervision by the project arborist. Any roots encountered must be pruned back to sound tissue to reduce wound surface area and encourage rapid compartmentalization of the wound.



- **Barrier fencing:** The areas surrounding the trees to be retained should be isolated from the construction activity by erecting protective barrier fencing. Where possible, the fencing should be erected at the perimeter of the critical root zones. The barrier fencing must be a minimum of 4 feet in height, of solid frame construction that is attached to wooden or metal posts. A solid board or rail must run between the posts at the top and the bottom of the fencing. This solid frame can then be covered with plywood, or flexible snow fencing. The fencing must be erected prior to the start of any construction activity on site (i.e. demolition, excavation, construction), and remain in place through completion of the project. Signs should be posted around the protection zone to declare it off limits to all construction related activity. The project arborist must be consulted before this fencing is removed or moved for any purpose.
- **Methods to avoid soil compaction:** In areas where construction traffic must encroach into the critical root zones of trees to be retained, efforts must be made to reduce soil compaction where possible by displacing the weight of machinery and foot traffic. This can be achieved by one of the following methods:
  - Installing a layer of hog fuel or coarse wood chips at least 20 cm in depth and maintaining it in good condition until construction is complete.
  - Placing medium weight geotextile cloth over the area to be used and installing a layer of crushed rock to a depth of 15 cm over top.
  - Placing two layers of 19mm plywood.
  - Placing steel plates.
- **Demolition of the existing buildings:** The demolition of the existing houses and any services that must be removed or abandoned, must take the critical root zone of the trees to be retained into account. If any excavation or machine access is required within the critical root zones of trees to be retained, it must be completed under the supervision and direction of the project arborist. If temporarily removed for demolition, barrier fencing must be erected immediately after the supervised demolition.
- **Mulching:** Mulching is an important proactive step to maintaining the health of the trees to be retained and mitigating construction related impacts and overall stress. Mulch should be made from a natural material such as wood chips or bark pieces and be 5-8cm deep. As much of the area within two times the dripline of the tree should be mulched, both inside and outside of the critical root zone. No mulch should be touching the trunk of the tree. See “methods to avoid soil compaction” if the area is to have heavy traffic.
- **Landscaping and Irrigation Systems:** The planting of new trees and shrubs should not damage the roots of retained trees. The installation of any in-ground irrigation system must take into account the critical root zones of the trees to be retained. Prior to installation, we recommend the irrigation technician consult with the project arborist about the most suitable locations for the irrigation lines and how best to mitigate the impacts on the trees to be retained. This may require the project arborist supervise the excavations associated with installing the irrigation system. Excessive frequent irrigation and irrigation which wets the trunks of trees can have a detrimental impact on tree health and can lead to root and trunk decay.

Talbot Mackenzie & Associates

- **Arborist Role:** It is the responsibility of the client or his/her representative to contact the project arborist for the purpose of:
  - Locating the barrier fencing
  - Reviewing the report with the project foreman or site supervisor
  - Locating work zones, where required
  - Supervising any excavation within the critical root zones of trees to be retained
  - Reviewing and advising of any pruning requirements for machine clearances
- **Review and site meeting:** Once the project receives approval, it is important that the project arborist meet with the principals involved in the project to review the information contained herein. It is also important that the arborist meet with the site foreman or supervisor before any site clearing, tree removal, demolition, or other construction activity occurs and to confirm the locations of the tree protection barrier fencing.

Please do not hesitate to call us at (250) 479-8733 should you have any further questions. Thank you.

Yours truly,

Talbot Mackenzie & Associates  
ISA Certified Consulting Arborists

Encl. 2-page tree resource spreadsheet, 1-page site survey with trees, 6-page site and building plans, 1-page landscaping plans, 1-page barrier fencing specifications, 1-page floating driveway specifications

**Disclosure Statement**

Arborists are professionals who examine trees and use their training, knowledge and experience to recommend techniques and procedures that will improve their health and structure or to mitigate associated risks.

Trees are living organisms, whose health and structure change, and are influenced by age, continued growth, climate, weather conditions, and insect and disease pathogens. Indicators of structural weakness and disease are often hidden within the tree structure or beneath the ground. It is not possible for an Arborist to identify every flaw or condition that could result in failure or can he/she guarantee that the tree will remain healthy and free of risk.

Remedial care and mitigation measures recommended are based on the visible and detectable indicators present at the time of the examination and cannot be guaranteed to alleviate all symptoms or to mitigate all risk posed.

636-640 Drake Ave  
Tree Resource

Tag	Common Name	Latin Name	DBH (cm) ~ approximate	CRZ (m)	Crown Spread (m)	Health	Structure	Relative Tolerance	Remarks and Recommendations	Retention Status
69	Grand Fir	<i>Abies grandis</i>	81	12.0	12	Fair	Fair/poor	Poor	Pruned heavily for line clearance. Multiple codominant leaders. Likely upheaving driveway	Retain
70	Douglas fir	<i>Pseudotsuga menziesii</i>	70, 56	15.5	12	Fair	Fair	Poor	Pruned for line clearance. Pitch exudation	X
NT1	Cedar hedge	<i>Thuja spp.</i>	Multistem	1.5	1	Fair	Fair	Poor	Neighbour's 9 plants. Approximately 10cm DBH. Browning foliage	Retain
NT2	Garry oak	<i>Quercus garryana</i>	~60	6.0	14	Good	Fair	Good	Neighbour's 3m from PL	Retain
NT3	Norway spruce	<i>Picea abies</i>	~40	6.0	6	Fair/poor	Fair/poor	Poor	Neighbour's. Adjacent to fence. Trunk bend. Dieback	Retain
NT4	Weeping sequoia	<i>Sequoiadendron giganteum 'pendulum'</i>	~25	4.0	5	Fair	Fair	Poor	Neighbour's. Adjacent to fence.	Retain
NT5	Norway spruce	<i>Picea abies</i>	~25, 20	5.5	6	Fair	Fair/poor	Poor	Neighbour's. Adjacent to fence. Codominant union at base. Dieback	Retain
68	Western Red Cedar	<i>Thuja plicata</i>	53	8.0	10	Good	Fair	Poor	Possibly shared with south neighbour. Multiple leaders.	TBD
NT6	Dogwood	<i>Cornus spp.</i>	~30	4.5	10	Good	Fair	Poor	Neighbour's. Adjacent to fence.	Retain
67	Garry oak	<i>Quercus garryana</i>	66	6.5	14	Fair	Good	Good	Some deadwood	Retain

Prepared by:

Talbot Mackenzie & Associates  
ISA Certified, and Consulting Arborists  
Phone: (250) 479-8733  
Fax: (250) 479-7050  
email: Treehelp@telus.net

636-640 Drake Ave  
Tree Resource

Tag	Common Name	Latin Name	DBH (cm) ~ approximate	CRZ (m)	Crown Spread (m)	Health	Structure	Relative Tolerance	Remarks and Recommendations	Retention Status
66	Cherry	<i>Prunus spp.</i>	25, 23, 23...	6.5	14	Fair/poor	Fair/poor	Moderate	6 stems. Dieback	Retain
NT7	Holly	<i>Ilex spp.</i>	~30	3.0	6	Good	Fair	Good	Neighbour's. 2m from fence	Retain
71	Grand Fir	<i>Abies grandis</i>	67	10.0	10	Good	Poor	Poor	Codominant union at 3m. 1 stem topped. Severe trunk bends	X
72	Douglas fir	<i>Pseudotsuga menziesii</i>	91	13.5	14	Good	Fair	Poor	Ivy at base. extended limbs.	X
73	Grand Fir	<i>Abies grandis</i>	75	11.5	8	Fair	Fair/poor	Poor	Ivy at base. Dieback. Likely topped at apex	TBD
NT8	Apple	<i>Malus spp.</i>	~20	2.5	2	Fair	Poor	Moderate	Neighbour's. Adjacent to fence.	Retain
NT9	Apple	<i>Malus spp.</i>	~15, 10	2.5	2	Fair	Poor	Moderate	Neighbour's. Adjacent to fence.	Retain
NT10	Leyland Cypress hedge	<i>Cupressus x leylandii</i>	Multistem	2.0	3	Good	Fair	Good	Neighbour's. Adjacent to fence. 20 stems, 7-30cm DBH. Overhangs 1m.	Retain
74	Arbutus	<i>Arbutus menziesii</i>	4	0.5	3	Good	Fair	Poor	Young tree	TBD

## Minutes from Community Meeting, June 8, 2018

**Re: Proposal for a new development at 636, 640 Drake Ave, Esquimalt BC.**

Meeting Commenced @ 4:00 PM June 8, 2018.

1. Welcome and Introductions
2. Presentation of proposal
3. Comments

### In Attendance:

Chris Travis, for Dimma Pacific Properties Ltd.  
Jim Burrows, Builder  
Rick Hoogendoorn, Presenter

### 19 Residents Attended:

Eleanor Calder	1252 Woodway	Gloria Edwards	643 Drake
Allen McLash	1252 Woodway	Louise Cassidy	1234 Effingham
Gordon Garside	644 Drake	Diana Studer	639 Drake
Patricia Farmer	1231 Effingham	Brett Studer	639 Drake
Isabel Treloar	303-642 Admirals	Deb Wade	654 Drake
Lynda O'Keefe	1147 Heald	Ian Wade	654 Drake
Stu Whistling	1236 Effingham	Abigail Howe	1232 Effingham
Deb Whistling	1236 Effingham	Maxine Blatz	625 Drake
Shaun Ayde	615 Drake	Jeff Kuryk	625 Drake
Graham Turner	615 Drake		

Chris Travis gave an overview of the proposal on the existing property

Jim Burrows submitted information as well as Rick Hoogendoorn.

Information was addressed as comments were presented.



-Eleanor Calder spoke on the project, liked the design and mentioned there is a need for 3-bedroom housing in the area. She expressed concerns about parking and the lack of sidewalks in the area. Asked if Project was going to be a strata.

-Allen McLash was in agreement.

- Development response (Response) - yes will be a strata

-Gordon Garside questioned the number of parking spots and expressed about the amount of pedestrian traffic in the area. He also asked if the fence was going to be rebuilt at the developers' expense. Also commented on how the new buildings were situated in relation to his adjoining property.

- Response – A new fence will be constructed. The new buildings will be set back further than the existing.

-Lynda O'Keefe asked about Airbnb restrictions on the Units

-Stu Whistling asked what the purpose of the meeting was for. He suggested no parking be allowed on Drake. Expressed concerns about the overlook on neighboring properties i.e. Frosted windows.

- Response – Bathroom windows will be frosted as they are now. We are looking into a context drawing to show how the new building sits beside neighbouring properties.

-Gloria Edwards expressed about amount of parking. She asked how much the units were going to sell for. Commented on the time of the meeting and the format i.e. Open house style vs presentation. Suggested that the project presents as an apartment building from Drake.

- Response – Rendering is not showing the elevation of Drake Ave in front of the townhomes. We will seek to add a rendering drawing showing the higher elevation of Drake Ave looking down into the townhomes.

-Louise Cassidy also commented on the need for parking in the area. She asked if it was possible to provide screening from the project via trees, frosted windows etc. She asked how high the proposed buildings were going to be. She asked about a pitched roof vs the flat roof design. Mentioned that it was a challenging lot because of the pedestrian traffic in the area especially children using the pathways nearby.

- Response – 3 floor town homes to accomplish 3 bedrooms on third floor with living space / kitchen on second floor and entry, garage with EV charging, bicycle area / storage and laundry on first floor.

-Diane Studer asked if 3 stories is necessary. She likes the design and said there is a need for more density in the area and the design was a good fit. Mentioned that there was a lot of traffic in the area and it could be better managed with good signage as a No Thru (dead end) road (poor gps) and a 15k speed limit. She asked about whether the proposed driveway will be permeable. She hopes this will attract families in the area. Asked for addresses of previous projects by developer. She also suggested a car sharing program might be a good idea to help minimize need for parking.

Page 3.

- Response – Esquimalt requires 12 parking spaces on the property. This has been fulfilled. Could look into further parking on site by taking the front areas of units 1 & unit 8 fronting onto Drake Ave. Residents did not support. Or the trade off of taking out green space on the property for more parking.
- Presently there is parking on the one side (west) of Drake Ave. Request Esquimalt to post sign properly for No Thru Road.

-Brett Studer said parking is definitely an issue. He suggested that 7 units might fit better and could be sold at a higher selling price.

-Ian Wade asked about parking and suggested 2 spots for each unit. He expressed concerns about the condition of the existing property and who will cut the grass on completion. He asked whether there will be some play area for children. He suggested that more information be provided at meeting. Suggested going with a 2-story design.

- Response - Maintenance clause in the strata will address condition of property. Each unit will have its own yard - 4 metre (13.1 ft) x 7.01 metre (23 ft) = 25.6 square metre (276 sq ft) yard.
- And there will be yard area at the rear of the property. For children street hockey, there is the common driveway area.

-Abigail Howe asked about strata and will the units be rentals. Commented on the need for new fencing around property.

- Response – Yes rentals allowed and new fencing will be supplied.

-Shaun Ayde asked about number of parking spots. He inquired how many bathrooms will be in each unit and how high the buildings will be. He would like to see more style from Drake Ave and suggested that a context drawing showing neighboring buildings might be helpful.

-Patricia Farmer expressed concerns about parking and traffic. Overall likes the project.

- Summary – Parking requirement fulfilled. Residents prefer green space and like the individual yards for each unit.
- We feel, with the townhomes been close to amenities, via walking, bicycling and transit within a few blocks, new residents of the townhomes will use alternative modes of transportation and will not have more than one vehicle. Those moving to this development will realize amenities are within walking distance and the units have a garage and ample bicycle storage.

RECEIVED  
SEP 27 2018  
CORP. OF TOWNSHIP  
OF ESQUIMALT  
DEVELOPMENT SERVICES





# BC LAND SURVEYORS SITE PLAN OF:

## 640 Drake Avenue

Legal: Lot 2, Suburban Lots 50 and 41, Esquimalt District, Plan 25565

Parcel Identifier: 002-923-157 in the Municipality of Esquimalt

The following non-financial charges are shown on the current title and may affect the property.

- A84872 - Right of Way
- A79868 - Right of Way
- C4872 - Easement

## 636 Drake Avenue

Legal: Lot 3, Suburban Lot 41, Esquimalt District, Plan 25565

Parcel Identifier: 002-923-211 in the Municipality of Esquimalt

The following non-financial charges are shown on the current title and may affect the property.

- A84872 - Right of Way

Summary of Unit Type		
Unit	Type	Size
1	2 BED + GARAGE	113 m <sup>2</sup>
2	3 BED + GARAGE	158 m <sup>2</sup>
3	3 BED + GARAGE	144 m <sup>2</sup>
4	2 BED + GARAGE	113 m <sup>2</sup>
5	3 BED + GARAGE	154 m <sup>2</sup>
6	2 BED + GARAGE	113 m <sup>2</sup>
7	3 BED + GARAGE	120 m <sup>2</sup>
8	2 BED + GARAGE	116 m <sup>2</sup>

636-642 DRAKE AVE		
ZONE	PROPOSED	OLD USE
RI-B		
LOT SIZE	620 M <sup>2</sup>	2070 M <sup>2</sup>
TOTAL FLOOR AREA	1000 SQ. FT.	1054 SQ. FT.
FLOOR SPACE RATIO	61.7%	69%
LOT COVERAGE	644 SQ. FT.	506.8 M <sup>2</sup>
LOT COVERAGE	40% max	25%
OPEN SITE SPACE		
BUILDING HEIGHT A	29.5'	9.8'
BUILDING HEIGHT B	27.0'	8.25'
BUILDING HEIGHT C	27.2'	8.5'
NUMBER OF STORIES	2	2
NUMBER OF PARKING STALLS	12	12
NUMBER OF BIKE STALLS	6/0/0	
SETBACKS FRONT	20'	6.8'
REAR	20.4'	6.2M
SIDE	15'	4.0M
COMBINED SIDEYARD	25'	8'
NUMBER OF UNITS	8	8
UNIT TYPE	2-5 BEDROOM	
HARD SURFACE AREA	447 sqm	272
TOTAL LANDSCAPED AREA	209 sqm	458
USABLE OPEN SPACE	217 sqm	158

### AVERAGE GRADE CALCULATIONS

#### BUILDING A

POINT 27.6  
POINT 27.6  
POINT 24.6  
POINT 25

10% S 26.2 M E  
RAMP HEIGHT 0.4

#### BUILDING B

POINT 25  
POINT 25  
POINT 25.5  
POINT 25.5

10% S 25.5 M E  
RAMP HEIGHT 0.25

#### BUILDING C

POINT 25.8  
POINT 25.7  
POINT 27.6  
POINT 27.6

10% S 26.8 M E  
RAMP HEIGHT 0.25



March 5, 2018  
REVISED SEPT 20/2018

File : 12,537 - 19  
POWELL & ASSOCIATES  
B C Land Surveyors  
250-2950 Douglas Street  
Victoria, BC V8T 4N4  
phone (250) 382-8855



SCALE 1:100

### LEGEND

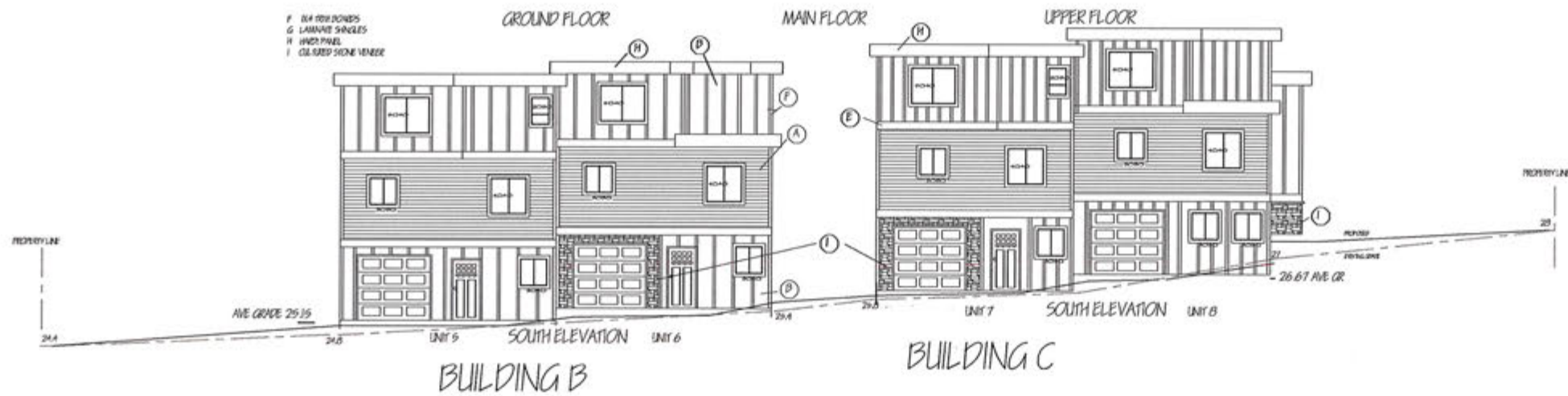
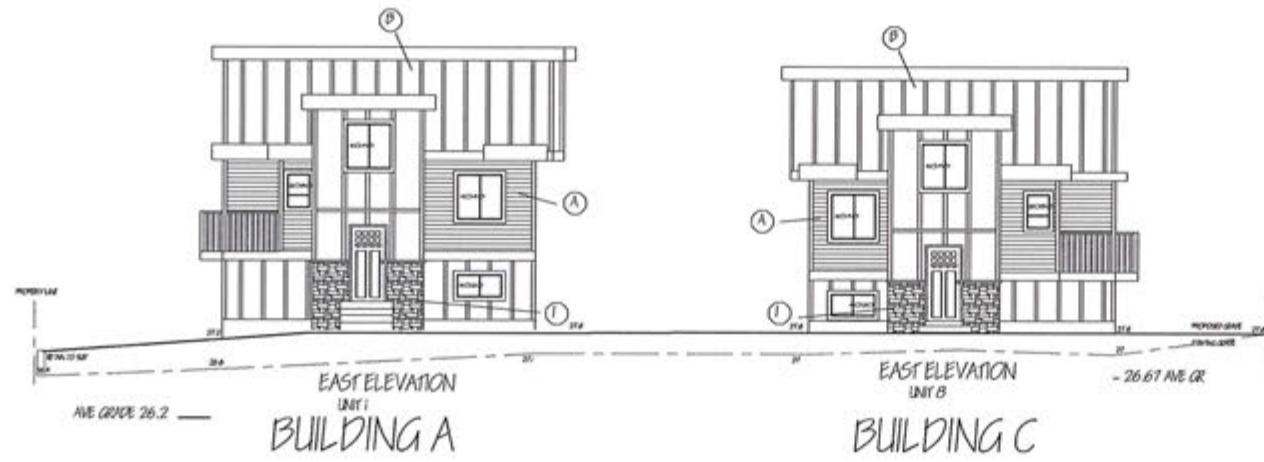
- denotes - existing elevation
- ##O denotes - tree & tag number
- M-S denotes - Manhole - Sanitary Sewer
- M-D denotes - Manhole - Storm Drain
- CB denotes - Catch Basin

Setbacks are derived from field survey.

Parcel dimensions shown hereon are derived from Land Title Office records.

This document shows the relative location of the surveyed features and shall not be used to define property boundaries.

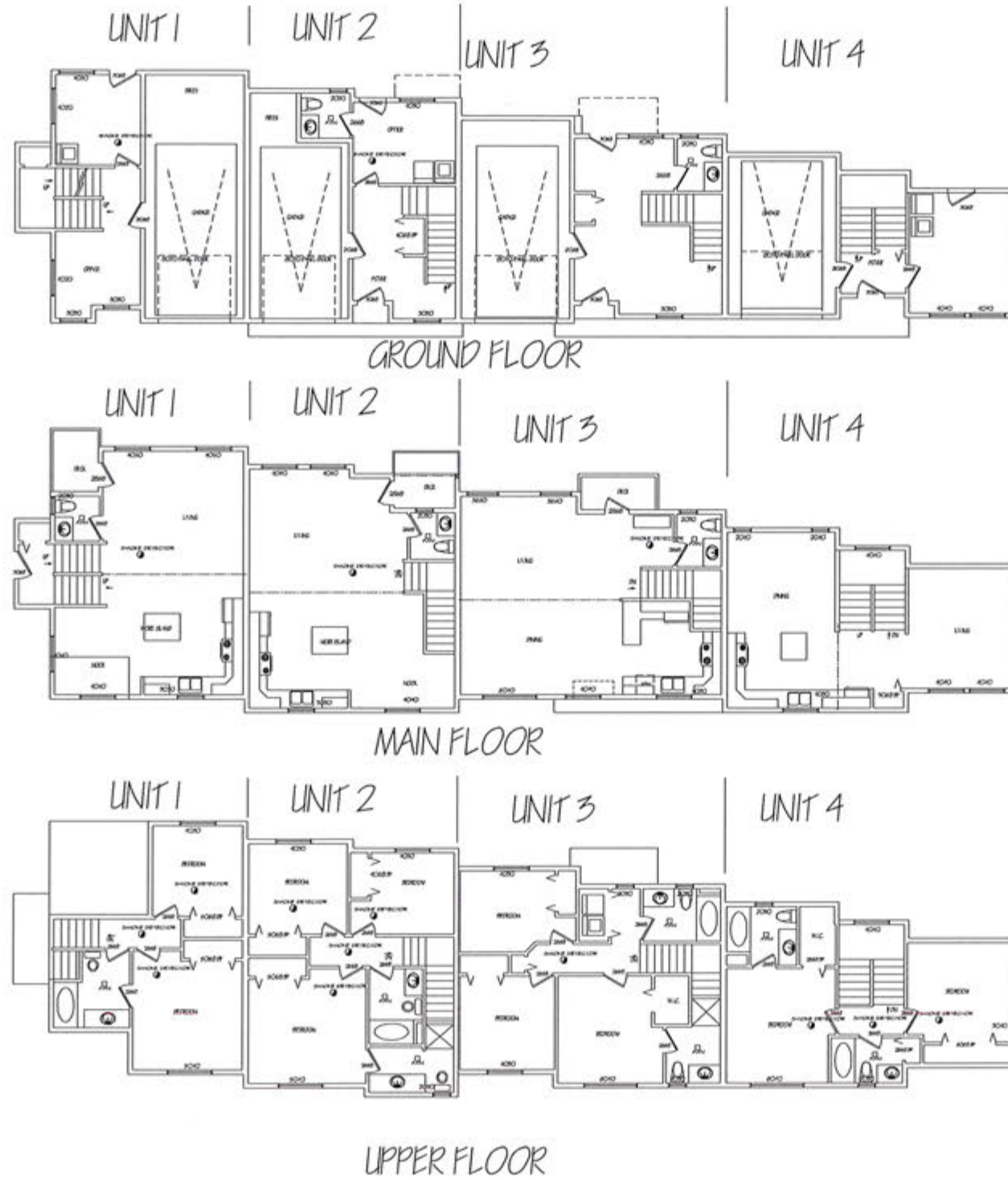




No.	Revision/Issue	Date
Purves Holdings Ltd 2614 Otter Pt Rd Soke BC V9Z 0J3 250-642-5715		
Project Name and Address 656-642 DRIVE AVE DAWA PACIFIC PROPERTIES LTD		
Project	Robert's Menu	Sheet
Date	SEPT 10 / 2018	1
Scale	1:100	

RE/DATE  
USER

USER REVD/DATE FNAME



General Notes

1. Contractor to verify all dimensions and details prior to start of construction and notify designer of any errors or discrepancies.
2. Dimensions to take precedence over scaled drawings.
3. Exterior dimensions from face of sheathing/concrete.
4. Where Eng. is specified, all structural components shall be certified by a structural engineer.
5. All work to be carried out using good construction practice and shall conform to local bylaws and current British Columbia Building Code 2006.
6. It is Owner/Contractors responsibility to ensure site is inspected for substandard soil conditions resulting in special foundation design.
7. Provide attic and crawl space ventilation and access in accordance with BCBC 2006 Part 9.
8. All wood framing to be #2 or better SPF unless otherwise noted.
9. Provide 6" min. clearance from grade to wood cladding materials.
10. All wood lintels and joists to conform to current wood council of BC span tables.
11. Install smoke detectors in accordance with BCBC 2006 Part 9.
12. All wood plates in contact with concrete shall be pressure treated or shall be separated by a sill gasket.
13. Concrete shall be min. 20 MPa for walls and 30 MPa for slabs.
14. Windows shall be installed according to details outlined by warranty provider.
15. All hand rails to be graspable and installed 35" above nosing.
16. All guard rails to be installed as per BCBC 2006.
17. Garage door shall come with self-closer and weatherstripping to provide gas tight seal.
18. Provide heating and ventilation in accordance with local bylaws and BCBC 2006.
19. All Bedrooms to have min egress as detail in BCBC 2006.
20. Bathroom fans to be 1.5 some 100 cfm and have 5" smoothwall ducting.

No.	Revision/Issue	Date



Darius Holdings Ltd  
2614 Otter Pt. Rd Suite PC V9Z 0J1  
250-642-5719

Project Name and Address

656-642 DRIVE AVE  
DUMA PACIFIC PROPERTIES LTD

Project: Robert's Menu  
Date: SEP 10 / 2018  
Scale: 1/100

Sheet: 2



NORTH ELEVATION



EAST ELEVATION UNIT 1



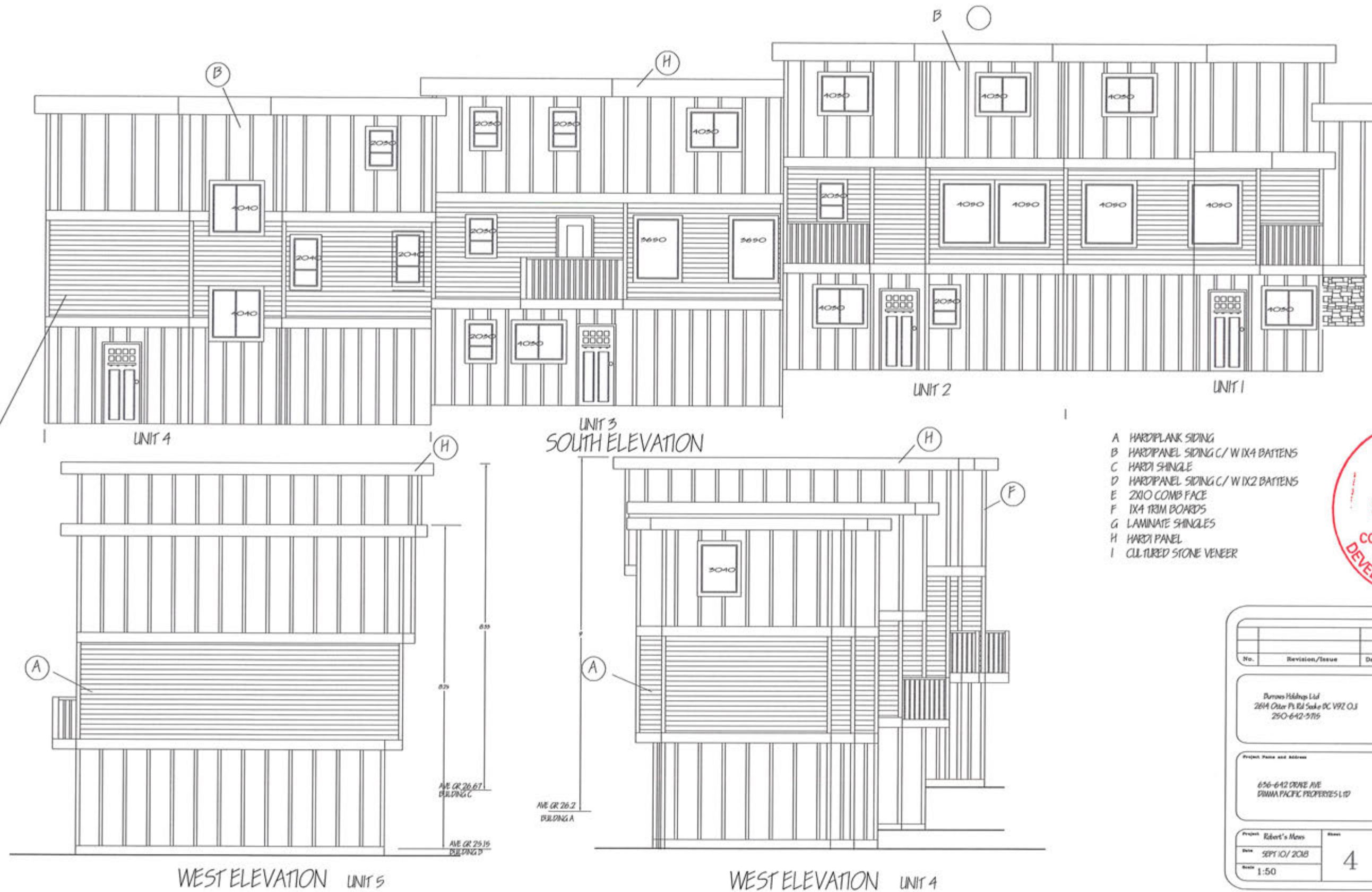
EAST ELEVATION UNIT 3

- A HARDPLANK SIDING
- B HARDIPANEL SIDING C/ W 1X4 BATTENS
- C HARDI SHINGLE
- D HARDIPANEL SIDING C/ W 1X2 BATTENS
- E 2X10 COMB FACE
- F 1X4 TRIM BOARDS
- G LAMINATE SHINGLES
- H HARDI PANEL
- I CULTURED STONE VENEER

No.	Revision/Issue	Date
Purvis Holdings Ltd 2614 Oster Pt Rd Soke BC V9Z 0J1 250-642-5715		
Project Name and Address 656-642 DRIVE AVE DIMMA PACIFIC PROPERTIES LTD		
Project	Robert's Moss	Sheet
Date	SEP 10/ 2018	3
Scale	1:50	

USERNAME  
 REVDATE  
 USER

USER: REVDATE: FNAME:

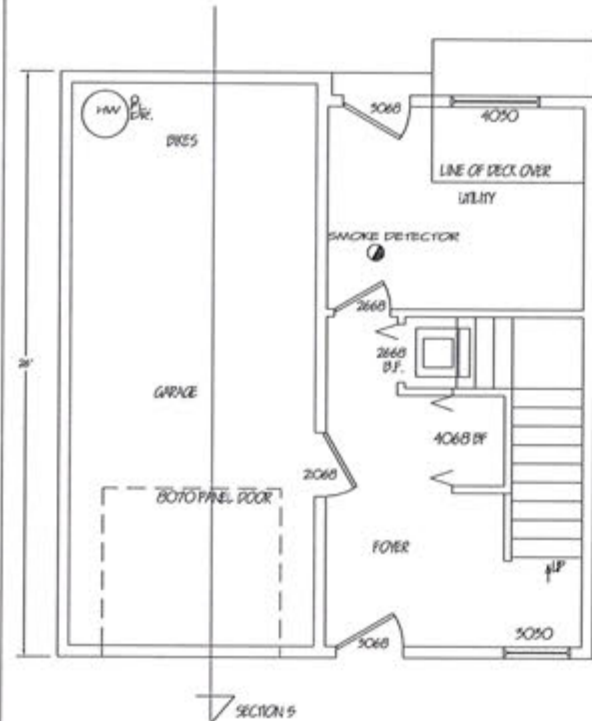


- A HARDFLANK SIDING
- B HARDIPANEL SIDING C/ W 1X4 BATTENS
- C HARDI SHINGLE
- D HARDIPANEL SIDING C/ W 1X2 BATTENS
- E 2X10 COMB FACE
- F 1X4 TRIM BOARDS
- G LAMINATE SHINGLES
- H HARDI PANEL
- I CULTURED STONE VENEER

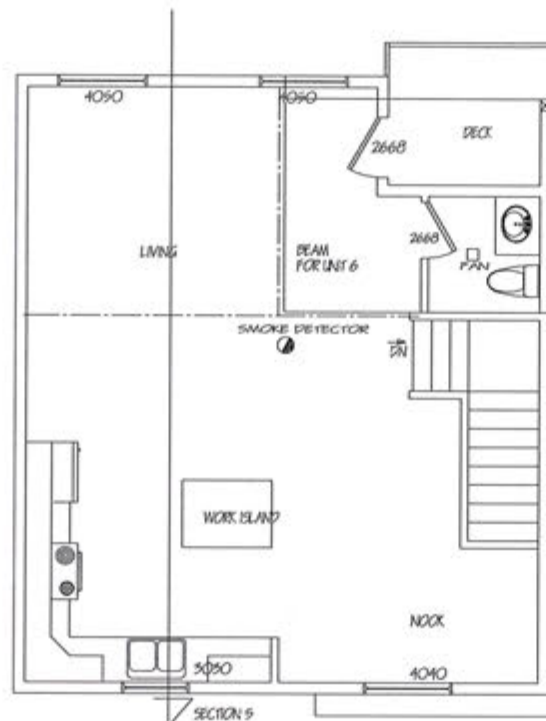


No.	Revision/Issue	Date
Duron Holdings Ltd 2614 Otter Pt Rd Sackville V9Z 0J1 250-642-5715		
Project Name and Address 656-642 DRIVE AVE DIMMA PACIFIC PROPERTIES LTD		
Project	Robert's Menu	Sheet
Date	SEPT 10 / 2018	4
Scale	1:50	

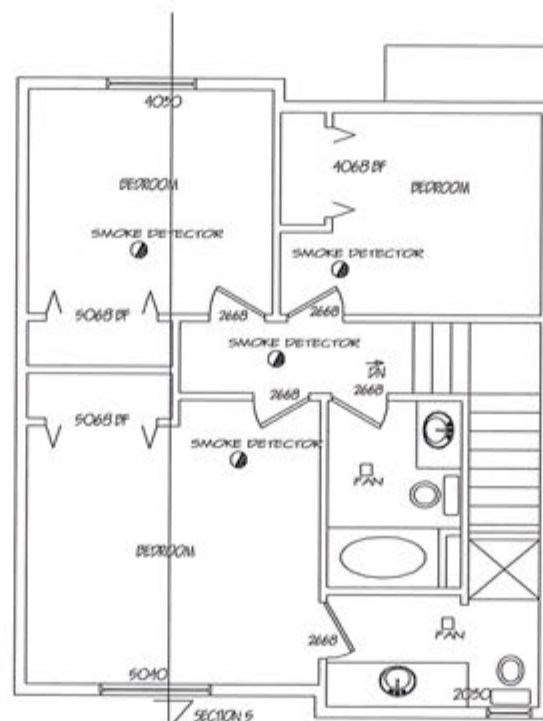
# UNIT 5 & 6



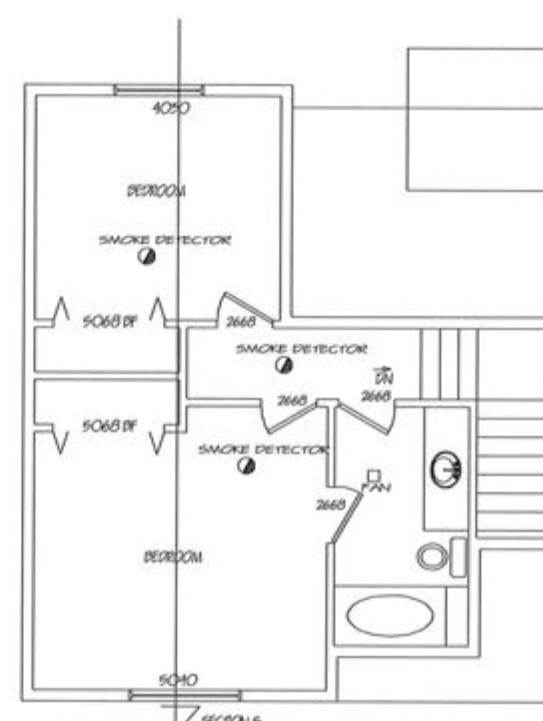
GROUND FLOOR



MAIN FLOOR



UPPER FLOOR 5



UPPER FLOOR 6



UNIT 5 SOUTH ELEVATION UNIT 6



UNIT 7 SOUTH ELEVATION UNIT 8

No.	Revision/Issue	Date
Purson Holdings Ltd 2614 Otter Pt Rd Suite DC V9Z 0J1 250-642-5715		
Project Name and Address 656-642 DRIVE AVE DAWA PACIFIC PROPERTIES LTD		
From: Ebert's Home Date: SEP 10/2018 Scale: 1:50	Sheet: 5	

- A HARDPLANK SIDING
- B HARDIPANEL SIDING C/ W 1X4 BATTENS
- C HARD SHINGLE
- D HARDIPANEL SIDING C/ W 1X2 BATTENS
- E 2X10 COMB FACE
- F 1X4 TRIM BOARDS
- G LAMINATE SHINGLES
- H HARDI PANEL
- I CULTURED STONE VENEER



USER: REVDATE: FNAME:

# UNIT 7

No.	Revision/Issue	Date

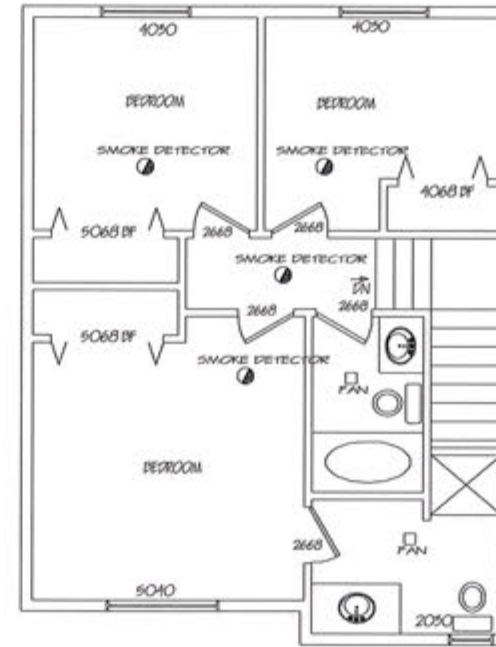
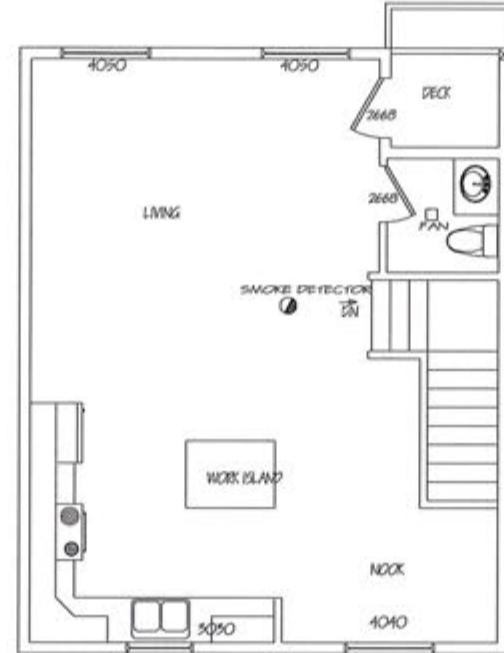
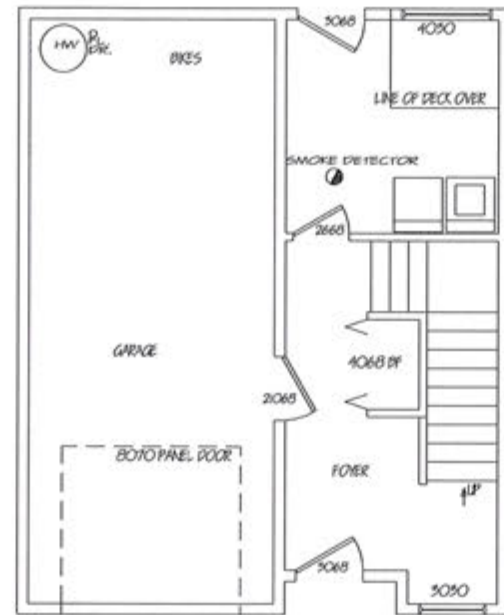
Dunsmuir Holdings Ltd  
2814 Otter Pt Rd Sooke BC V9Z 0J1  
250-642-5719

Project Name and Address  
656-642 DRIVE AVE  
PACIFIC PROPERTIES LTD

Project: Robert's Mass  
Date: SEPT 10/ 2018  
Scale: 1:50

Sheet: 6

- A HARDPLANK SIDING
- B HARDIPANEL SIDING C/ W 1X4 BATTENS
- C HARDI SHINGLE
- D HARDIPANEL SIDING C/ W 1X2 BATTENS
- E 2X10 COMB FACE
- F 1X4 TRIM BOARDS
- G LAMINATE SHINGLES
- H HARDI PANEL
- I CULTURED STONE VENEER



UNIT 8 NORTH ELEVATION UNIT 7

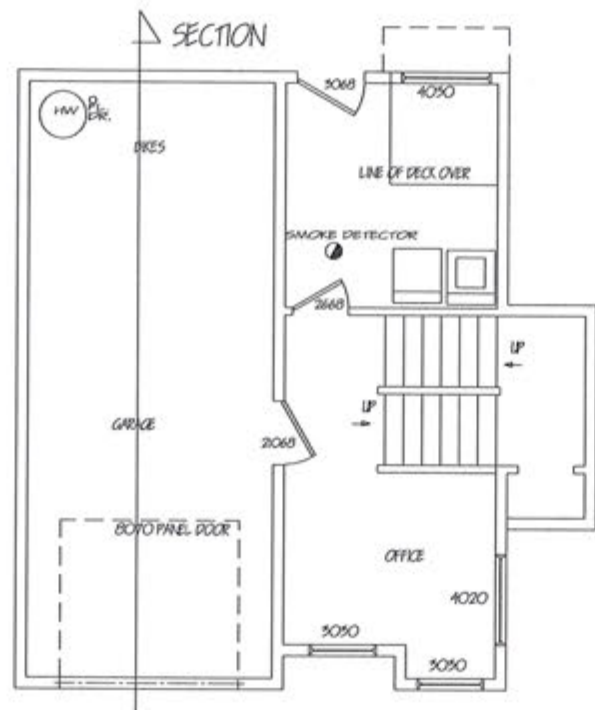
MAIN FLOOR



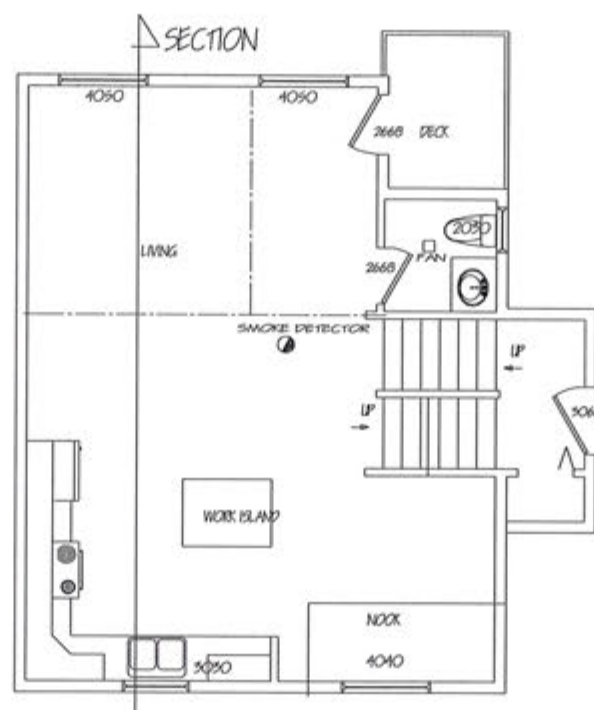
UNIT 6 NORTH ELEVATION UNIT 5



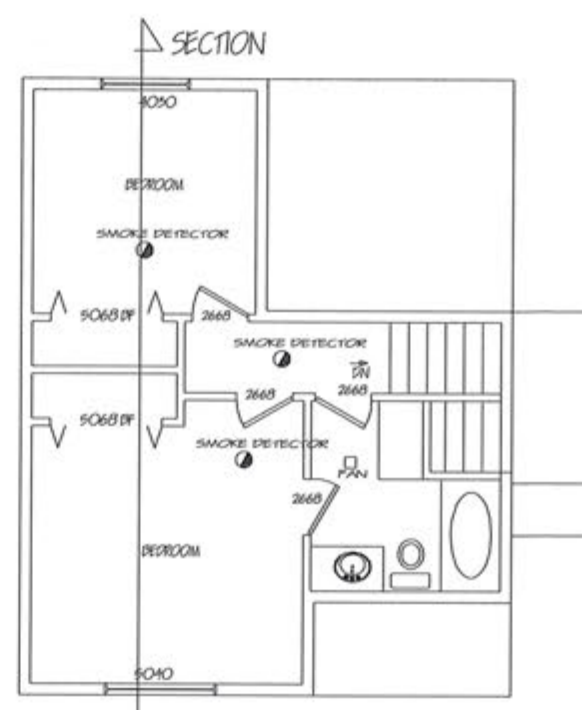
USER REV/DATE FX/NAME



GROUND FLOOR

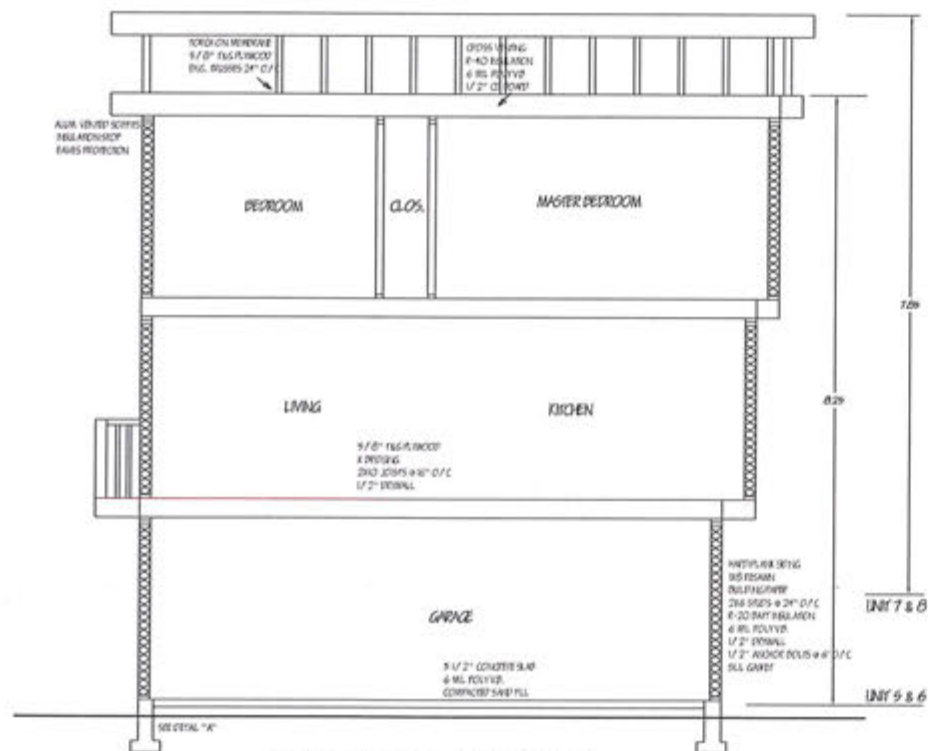


MAIN FLOOR



UPPER FLOOR

# UNIT 8



TYP CROSS SECTION UNIT 5

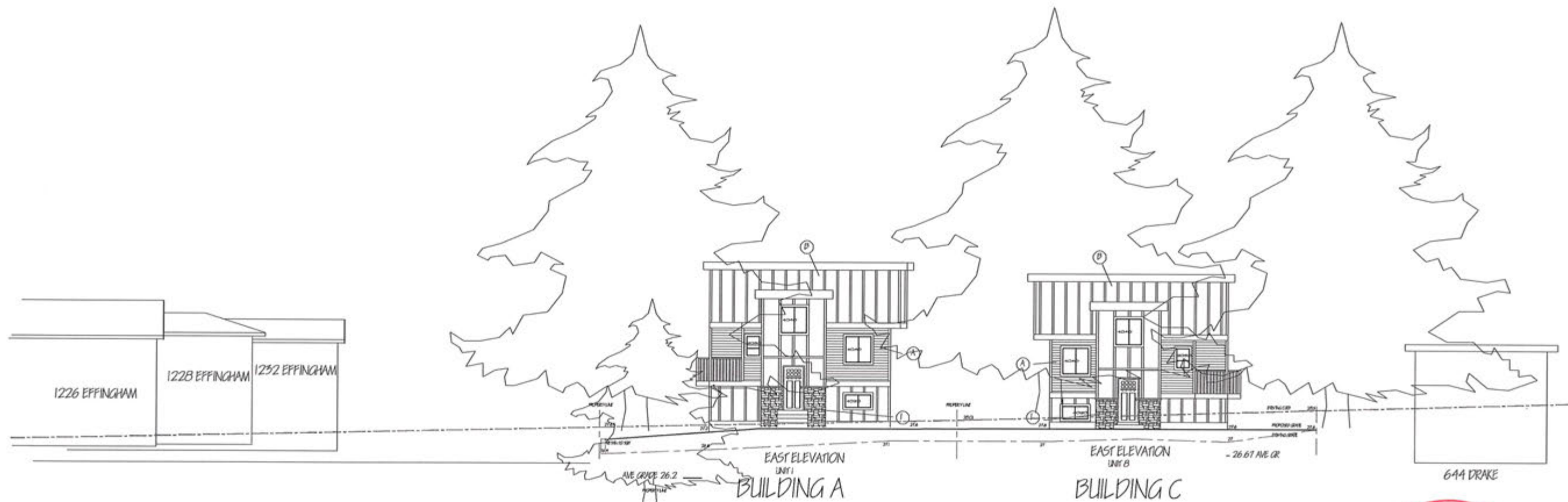


No.	Revision/Issue	Date
Project Name and Address: 656-642 ORME AVE DIMMA PACIFIC PROPERTIES LTD		
Project:	Robert's House	Sheet:
Date:	SEP 10 / 2018	7
Scale:	1:50	

USER: \_\_\_\_\_  
 REVDATE: \_\_\_\_\_  
 FNAME: \_\_\_\_\_



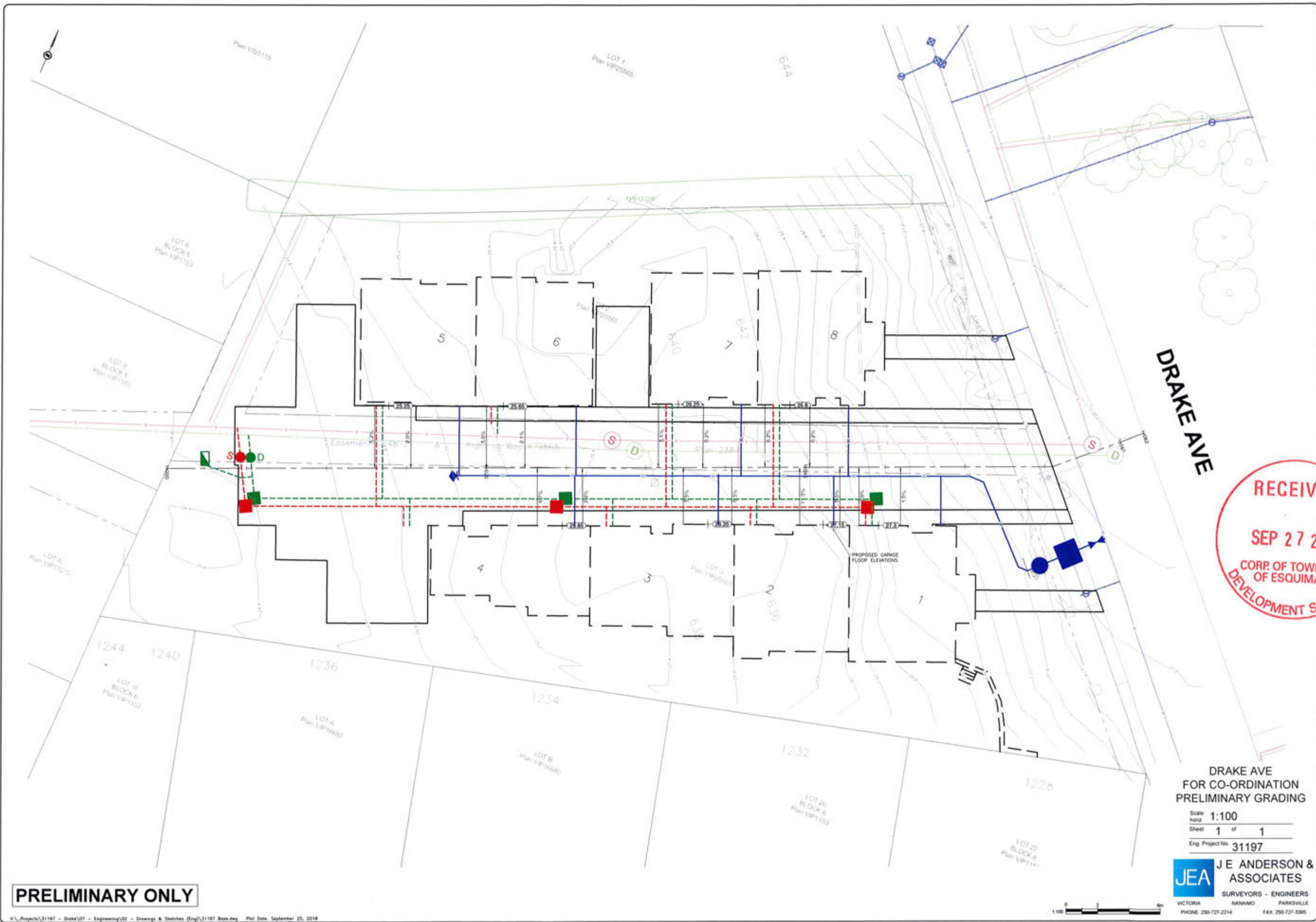
No.	Revision/Issue	Date
Barrow Holdings Ltd 2614 Oiler Pt Rd Suite DC 192 OJ 250-642-5715		
Project Name and Address 656-642 DRAKE AVE DRAMA PACIFIC PROPERTIES LTD		
Project	Edert's Moss	Sheet
Date	JUNE 28 / 2018	8
Scale	1:100	



CONTEXT DRAWING FROM DRAKE AVE



REYDATE  
USER



**DRAKE AVE**

**RECEIVED**  
**SEP 27 2018**  
 CORP. OF TOWNSHIP  
 OF ESQUIMALT  
 DEVELOPMENT SERVICES

**DRAKE AVE  
 FOR CO-ORDINATION  
 PRELIMINARY GRADING**

Scale **1:100**  
 Sheet **1 of 1**  
 Eng Project No **31197**

**JEA** **J E ANDERSON &  
 ASSOCIATES**  
 SURVEYORS - ENGINEERS  
 VICTORIA NANAIMO PARKSVILLE  
 PHONE 250-727-2214 FAX 250-727-3395

**PRELIMINARY ONLY**

**LEGEND**

Elevations are to geodetic datum.

- ### + - denotes - existing elevation
- ### ○ - denotes - tree & tag number
- M/S ⊗ - denotes - Manhole - Sanitary Sewer
- M/D ⊗ - denotes - Manhole - Storm Drain
- CB □ - denotes - Catch Basin

**LEGEND**

**LARGE DECIDUOUS TREES:**  
 QUERCUS COCCINIA (SCARLET OAK),  
 ACER RUBRUM (RED MAPLE),  
 SIZE 5.0 CH. CAL., QUANTITY - 8.

**SMALL DECIDUOUS TREES:**  
 ACER CINEREA (VINE MAPLE),  
 SYRINGA VILLOSA (LILAC),  
 MANDALIA X BETTY (BETTY MANDALINA),  
 SIZE 2.5 H. HT., QUANTITY - 4.

**MEDIUM SHRUBS:**  
 RHODODENDRON SP. (RHODODENDRON),  
 VACCINIUM OVATUM (EVERGREEN HUCKLEBERRY),  
 PIERIS JAPONICA (JAPANESE PIERIS),  
 RHODODENDRON (RHODODENDRON),  
 SKIMMIA JAPONICA (JAPANESE SKIMMIA),  
 SIZE #2 & #3 POTS, QUANTITY - 99.

**SMALL SHRUBS:**  
 MAHONIA NERVOSA (DWARF MAHONIA),  
 CORNUS KILDESI (DWARF REDTIBED DOGWOOD),  
 LAVANDULA SPICA (LAVENDER),  
 POLYSTICHUM HALETHII (BROAD FERN),  
 PESTISIA BAUCIA (ORIENTAL GRASS),  
 SIZE #1 POTS, QUANTITY - 216.

**GROUND COVER:**  
 ARCTOSTAPHYLOS UVA-URSI (VANCOUVER JADE / KENNELWOOD),  
 SIZE 10 CH. POT, SPACE 45 CH. O.C.

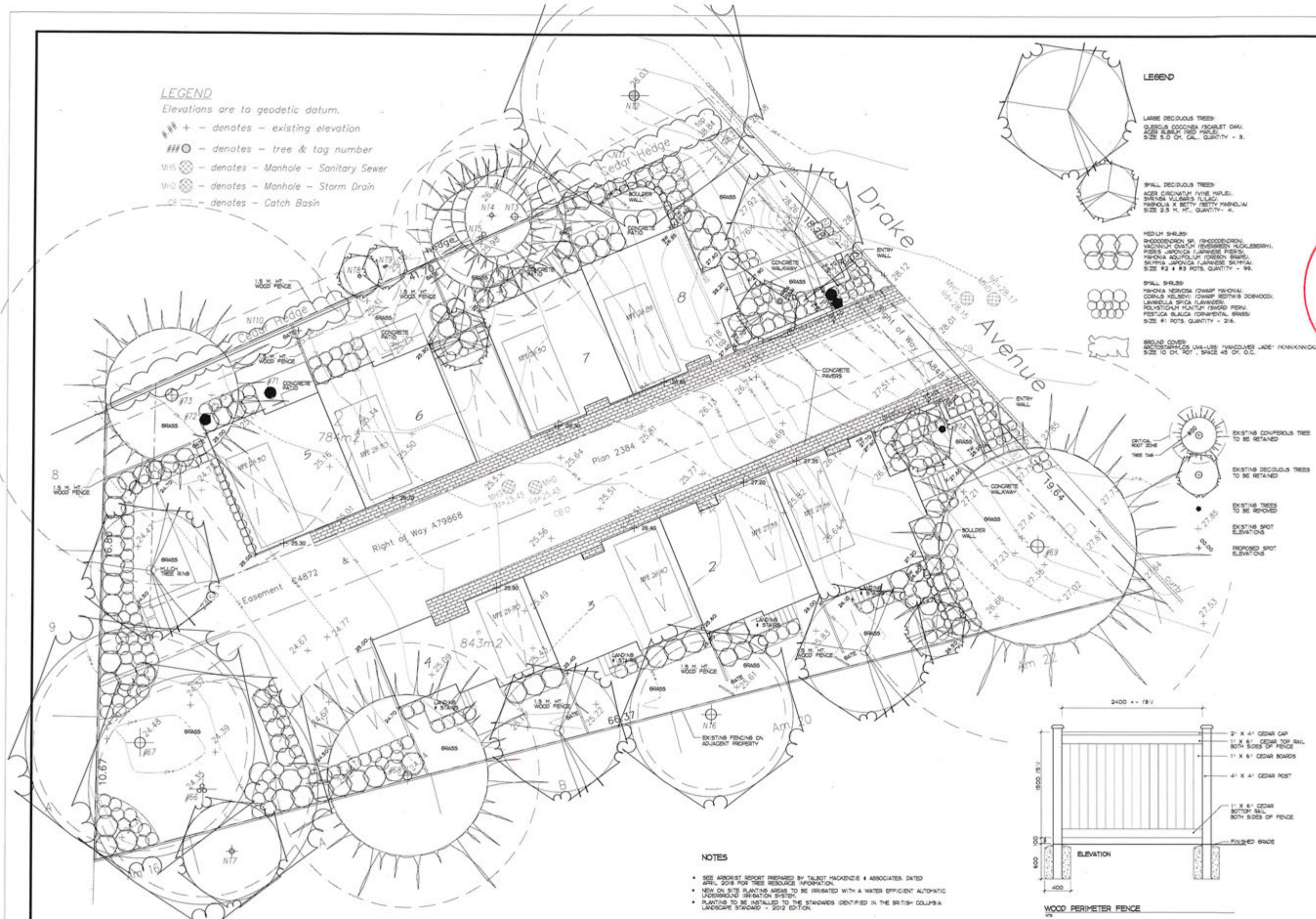
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SEP 27 2018

CORP. OF TOWNSHIP OF ESQUIMALT DEVELOPMENT SERVICES

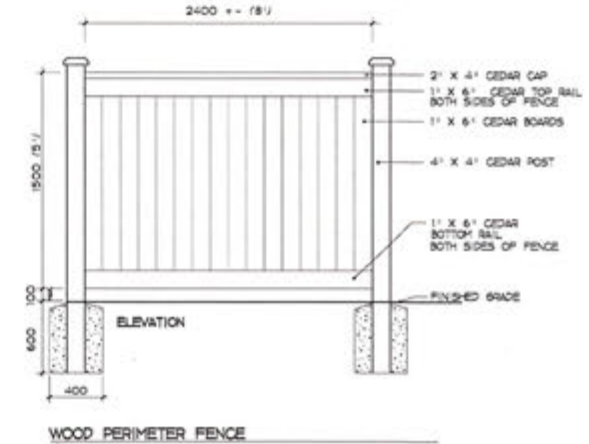
DRAKE AVENUE TOWNHOUSES  
 638-640 DRAKE AVENUE, VICTORIA, B.C.

KEITH N. GRANT  
 LANDSCAPE ARCHITECTURE LTD.  
 20-100 HURON ST. VICTORIA, B.C. V8W 2E1  
 © 1988-2018



**NOTES**

- SEE ARBORIST REPORT PREPARED BY TALBOT MACKENZIE & ASSOCIATES, DATED APRIL, 2018 FOR TREE RESOURCE INFORMATION.
- NEW ON SITE PLANTING AREAS TO BE IRRIGATED WITH A WATER EFFICIENT AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.
- PLANTING TO BE INSTALLED TO THE STANDARDS IDENTIFIED IN THE BRITISH COLUMBIA LANDSCAPE STANDARD - 2012 EDITION.



NO.	DATE	DESCRIPTION
1	07/04/18	AND SUBMITTED FOR REVIEW / DR
2	28/09/18	AND SUBMITTED FOR REVIEW / DR REVISED

KEITH N. GRANT  
 1100 PLOT 1 = 100  
 DATE: SEPTEMBER 28, 2018  
 BY: 570 18 01



## CORPORATION OF THE TOWNSHIP OF ESQUIMALT

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Municipal Hall, 1229 Esquimalt Road, Esquimalt, B.C. V9A 3P1  
Telephone (250) 414-7100 Fax (250) 414-7111

APC Meeting: October 16, 2018

### STAFF REPORT

**DATE:** October 11, 2018

**TO:** Chair and Members of the Advisory Planning Commission

**FROM:** Janany Nagulan, Planner  
Bill Brown, Director of Development Services

**SUBJECT:** **REZONING APPLICATION- 1198 Munro Street**  
[PID 005-455-031, Lot 1, Section 11, Esquimalt District, Plan 44436]

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#### RECOMMENDATION:

The Esquimalt Advisory Planning Commission recommends to Council that the application for rezoning, which would be required in order to subdivide the existing lot into two residential lots in accordance with Proposed Subdivision Survey prepared by Wey Mayenburg Land Surveying Inc. stamped "Received September 17, 2018" and be consistent with the architectural plans provided by Villamar Design stamped "Received September 17, 2018" for the proposed development to be located at 1198 Munro Street [PID 005-455-031, Lot 1, Section 11, Esquimalt District, Plan 44436] be forwarded to Council with a **recommendation to either approve, approve with conditions, or deny the application; and provide reasons for the chosen recommendation.**

#### BACKGROUND:

##### Purpose of the Application

The applicant is requesting a change in zoning from the current RD-3 zone [Two Family/Single Family Residential] to a Comprehensive Development District zone [CD] to enable an additional house on the property. The existing house on the property will not be removed; however the existing garage will be removed to construct a new single family dwelling with a rooftop deck. Should the rezoning be approved, the form and character of the building and landscaping would be controlled by a development permit that would be considered by Council at a future date.

**Evaluation of this application should focus on issues relevant to zoning such as the appropriateness of the proposed uses, height, density, massing, proposed unit sizes, siting, setbacks, lot coverage, useable open space, parking, how the building relates to surrounding sites; and consistency with the overall direction contained within the Official Community Plan.**

**Context****Applicant:** Duane Ensing**Owners:** Karen and Byron Rotgans**Property Size:** Metric: 958m<sup>2</sup> Imperial: 10311.8 ft<sup>2</sup>**Existing Land Use:** Single Family Dwelling**Surrounding Land Uses:**

North: Single Family Residential [RS-1]

South: Single Family Residential [RD-3]

West: Single Family Residential [RD-3]

East: Charitable Organization Office &amp; Park [P-2]

**Existing Zoning:** RD-3 [Two Family/Single Family Residential]**Proposed Zoning:** CD [Comprehensive Development District]**Existing OCP Designation:** Low Density Residential [No change required]**Zoning and Parking**

The proposed Comprehensive Development District zone would be consistent with other single unit projects and would contain the following uses: single family residential, home occupation, boarding and urban hens. The applicant has not proposed a secondary suite in the development.

**Density, Lot Coverage, Siting and Parking:** The following chart compares the floor area ratio, lot coverage, setbacks, building height, and parking of this proposal with the requirements of the RS-1 [Single Family Residential zone] and its current zone RD-3 [Two Family/ Single Family]:

	<b>Current Zone RD-3</b> [Two Family/ Single Family]	<b>RS-1</b> [Single Family]	<b>Proposed CD Zone</b>	
			Lot A [West] With existing home	Lot B [East]
<b>Minimum Parcel Size</b>	686 m <sup>2</sup>	530 m <sup>2</sup>	600 m <sup>2</sup>	358 m <sup>2</sup>
<b>Floor Area Ratio</b>	0.40	0.35	0.41	0.40
<b>Lot Coverage</b>	35%	30%	24%	33%
<b>Setbacks</b>				
• <b>Front</b>	7.5 m	7.5 m	7.16 m	5.18 m
• <b>Rear</b>	7.5 m	7.5 m	1.5 m	2.1 m
• <b>Side</b>	3.0 m/1.5 m	3.0 m/1.5 m	2.8/2.4 m	4.3 m/3.5 m
<b>Building Height</b>	7.3 m	7.3 m	5.76 m	6.62m
<b>Off Street Parking</b>	1 space	1 space	1 space	2 space

Floor Area Ratio [FAR] measures the size of a building (or for all principal buildings on a lot) as a ratio of the area of the lot on which a building sits. The combined FAR of the new proposed dwelling is 0.40 which matches the maximum F.A.R. allowed for a lot less than 800 m<sup>2</sup> in the RD-3 zone which permits the single family residential use. The applicant has designed this project to generally comply with its current zone, RD-3 requirements; including F.A.R., lot coverage, building height, and parking.

Esquimalt requires one parking space “behind the front face of the principle building” for a single family residence. This proposal incorporates a single car garage in each unit thereby meeting this regulation. The applicant has held a public consultation meeting and feedback from the

meeting indicated that there were concerns raised in regards to available parking. As a result another parking spot is to be added on the proposed east lot.

### **Official Community Plan**

This proposal is consistent with the 'Present' and the 'Proposed' Land Use Designations applied to the subject property, "Low Density Residential".

The following policies were considered in evaluating this development application:

#### **Section 5 Housing & Residential Land Use**

Objective: Support the expansion of housing types within Esquimalt while addressing concerns such as tree protection, parking, traffic, noise, effects on neighbouring properties, and neighbourhood character.

- Policy: Support the development of a variety of housing types and designs to meet the anticipated housing needs of residents. This may include non-market and market housing options that are designed to accommodate young and multi-generational families, the local workforce, as well as middle and high income households.

#### **Section 5.2 Low Density Residential Redevelopment**

Objective: Strive for redevelopment and infill development that improves and enhances the appearance and livability of neighbourhoods and the community as a whole.

- Policy: Proposed redevelopment or infill within present low density residential land use designated areas should be built to high quality design and landscaping standards and respond sensitively to existing neighbourhood amenities.

### **Development Permit Guidelines**

As the Development Permit is not being considered at this time therefore many of the DP guidelines will not be addressed however the subject property is within the following OCP Development Permit Areas:

- Development Permit Area No. 1-Natural Environment
- Development Permit Area No. 3 - Enhanced Design Control
- Development Permit Area No. 7- Energy Conservation and Greenhouse Gas Reduction
- Development Permit Area No. 8- Water Conservation

Staff believes the following DPA No. 3 Guidelines are especially relevant to the discussion of zoning issues (height, density, massing, proposed unit sizes, siting, setbacks, lot coverage, and useable open space, parking, how the building relates to adjacent and surrounding sites):

DPA No. 3 Enhanced Design Control Residential – is designated to establish objectives for the form and character of intensive residential development.

### **20.6 Guidelines - Single-unit Infill Housing**

#### **20.6.1 Relationship to Existing Houses**

1. Where an existing single-unit residence is to be retained and a second residence placed on the parcel, the existing dwelling is to be upgraded and made to be complementary with the new construction.

2. Where two or more new separate dwellings are situated on a parcel or within a comprehensive development zone, the buildings shall be designed as part of a comprehensive scheme with all buildings being finished in complementary materials and incorporating complimentary architectural details.
3. Where new infill single houses are proposed, the design of the new houses should be complementary in scale, size, exterior finishes, rooflines, and colours to the predominant styles of housing in the neighbourhood. It is important to ensure that the new construction fits with the overall scale and character of existing houses. The intent of this guideline is not to encourage the replication or imitation of surrounding buildings but rather the design of structures that complement the streetscape.

#### 20.6.2 Massing

1. New structures should be designed so that the overall massing is in keeping with other single-unit residences in the immediate area. New structures for lots other than corner or double frontage lots should be limited to one and one half storeys.
2. New structures, which are two storeys in height, should be designed so that the second storey is partially concealed within the slope of the roof to minimize the height of the building. The use of dormers set into the roof is preferred to a flat roof or a peaked roof set over the second storey.

#### 20.6.3 Privacy/Screening/Shading

1. Proposed infill dwellings should have only a minimal impact on adjacent homes and be separated from neighbouring residences by vegetation, screening, natural elevation differences, or a combination of these features.
2. Windows, decks and patios should be located so as to minimize intrusion on to the privacy of adjacent properties.
3. Infill dwellings should be sited to minimize the casting of shadows on to the private outdoor space of adjacent residential dwellings.

#### 20.6.4 Landscaping

1. Proposals for single-unit infill housing must include a landscape plan showing hard landscaping (i.e., parking areas, fences, and patios) as well as lawns, trees, shrubs, planting areas and proposed plant species.
2. Retention and protection of trees and the natural habitat is encouraged wherever possible.

#### 20.6.5 Private Open/Yard Space

1. Any proposal for single-unit infill housing should provide for usable, private outdoor areas for each dwelling, at grade.

Many of following guidelines would be addressed at the Development Permit stage however the following are relevant to the discussion of zoning and parking areas, including in particular the siting of proposed buildings.

OCP Section 18 Development Permit Area No. 1 – Natural Environment - is designated for the purpose of establishing objectives for the protection of the natural environment, its ecosystems and biological diversity.

18.5.2 Natural Features - Natural features and areas to be preserved, protected, restored, and enhanced where feasible:

1. Retain existing healthy native trees, vegetation, rock outcrops and soil wherever possible.
3. Preservation of natural topography is favoured over blasting or building of retaining walls.
4. Narrower manoeuvring aisles, fewer and smaller parking spaces can be considered where natural areas are being conserved.
5. Designs new development and landscaping to frame rather than block public views.

18.5.3 Biodiversity - Landscaping features that will protect restore and enhance biodiversity. Where feasible:

2. In residential locations plan for 'nature out front'; for new landscaping in front and exterior side yards use a variety of site-appropriate, native species; thereby contributing positively to pedestrian friendly urban streets, future greenways and habitat enhanced corridors.
12. Aim to meet the Canadian Landscape Standards in all landscaping installations.

18.5.5 Drainage and Erosion - Measures to control drainage and shoreline erosion. Where it is reasonable:

1. Preserve, restore and enhance treed areas. Trees are the most effective form of absorbent landscaping due to their extensive root zones and their ability to both absorb water from the soil and intercept precipitation on leaves, needles and branches. Consider that native conifers are well adapted to local wet winters.
2. Reduce the impact of surges in stormwater on shorelines by designing on-site stormwater retention systems to contain the first 3 centimetres [1.25 inches] of precipitation on site, per precipitation event; and incorporating rainwater collection systems into roof design and landscaping.
4. Maximize the ratio of planted and pervious surfaces to unplanted surfaces, and design paved areas to direct water towards vegetated areas, to help reduce surface run off. Where paved surfaces are needed, intersperse with drought resistant vegetation and trees, to help absorb stormwater, provide shade and reduce the local heat island effect.
6. Choose absorbent landscaping materials; leaf mulches, wood chips and good quality top soil, over gravel, pavers and concrete. Provide mulch of organic, locally derived materials; leaf mulch from local tree leaves is most desirable.

OCP Section 24 - Development Permit Area No. 7 – Energy Conservation and Greenhouse Gas Reduction - is designated for the purposes of energy conservation and greenhouse gas reduction.

24.5.1 Siting of buildings and structures. - Where it is feasible:

1. Orient buildings to take advantage of site specific climate conditions, in terms of solar access and wind flow; design massing and solar orientation for optimum passive performance.
2. Build new developments compactly, considering the solar penetration and passive



performance provided for neighbouring sites, and avoid shading adjacent usable outdoor open spaces.

4. Provide space for pleasant pedestrian pathways between buildings.
5. Strategically site buildings to sustain and increase the community's urban forest tree canopy cover.
6. Provide space for significant landscaping including varying heights of trees, shrubs and ground covers.

#### 24.5.2 Form and exterior design of buildings and structures. - Where it is feasible:

1. Orient larger roof surfaces to the south for potential use of solar panels or photo-voltaic roofing.
2. Use roof designs that reduce heat transfer into neighbouring buildings, helping reduce the local heat island effect and the need for cooling of buildings in warmer months.
4. Use roof over-hangs, fixed-fins or other solar shading devices on south and west facing windows to reduce peak summer heat gain while enabling sunlight penetration in winter months.
8. Add rooftop patios and gardens, particularly food producing gardens, as they can contribute to local resilience, livability, and reduction in greenhouse gas production by reducing food transportation costs.

#### 24.5.3 Landscaping - Where it is feasible:

1. Develop a front yard landscape design that is natural and delightful so residents do not need to leave the neighbourhood to experience nature.
2. Choose open space and landscaping over dedicating space to the parking and manoeuvring of private motor vehicles.
3. Conserve native trees, shrubs and soils, thereby saving the cost of importing materials and preserving already sequestered carbon dioxide.

#### 24.5.5 Special Features - Where it is feasible:

4. Reuse of existing buildings and building materials is encouraged.

OCP Section 25 - Development Permit Area No. 8 – Water Conservation - is designated for the purpose of water conservation.

#### 25.5.3 Landscaping – Retaining Stormwater on Site (absorbent landscaping)

Where it is feasible:

1. Preserve and restore treed areas. Trees are the most effective form of absorbent landscaping due to their extensive root zones and their ability to both absorb water from the soil and intercept precipitation on leaves, needles and branches. Consider that native conifers are well adapted to local wet winters.
3. Avoid disturbing, compacting and removing areas of natural soil, as these are naturally

absorbent areas.

### **Green Building Features**

The applicant has completed the Esquimalt Green Building Checklist [attached].

### **Comments From Other Departments**

The plans for this proposal were circulated to other departments and the following comments were received by the APC submission deadline:

**Building Inspection:** No concerns. Subject to review for Building Code and Bylaw compliance at time of Building Permit application.

**Engineering Services:** Engineering has completed a preliminary review of the proposed development at 1198 Munro Street. The developer should be aware that they may be required to provide Works and Services up to the road centre line, at the expense of the property owner. The development is to have sewer, drain, catch basin and water service connections, as well as underground hydro, telephone, and cable. At a minimum new curb, gutter and sidewalks along the frontage of the proposed development maybe required. All proposed Works and Services shall be as per Bylaw, 1997, No. 2175. It is the responsibility of the applicant to hire a qualified professional for the design and construction supervision of all Works and Services, including construction costs, engineering fees, administrative fees and as indicated in Bylaw No. 2175. Additional review and comments will be provided upon receipt of detailed engineering drawings.

**Fire Services:** Fire has no objection to this project

**Parks Services:** Tree cutting permit application must be completed for all trees wishing to be removed. Application must be approved prior to any removal. Tree protection fencing must be erected at the dripline of all trees that are being retained, including boulevard trees.

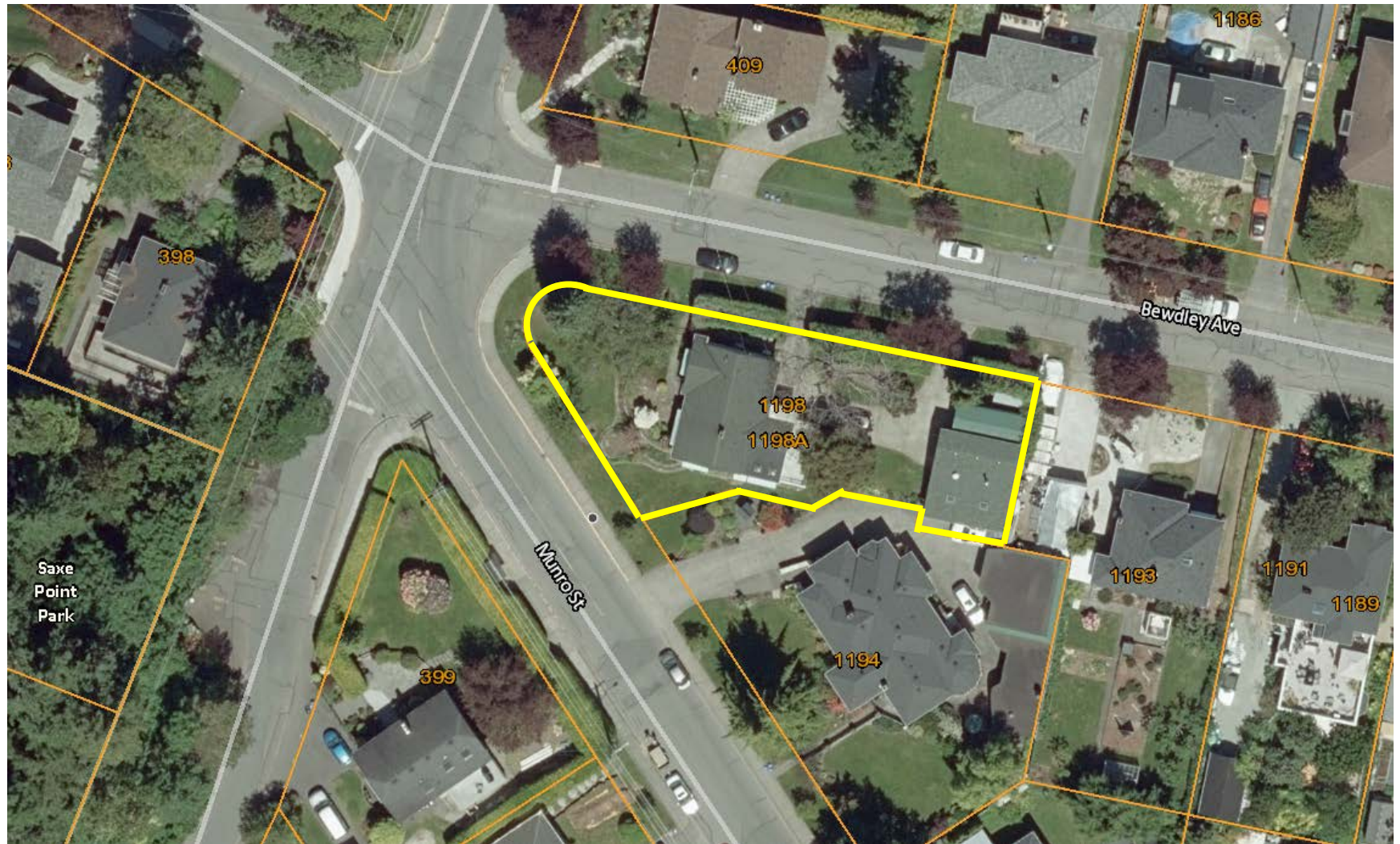
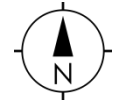
### **Public Notification**

As this is a rezoning application, should it proceed to a Public Hearing, notices will be mailed to tenants and owners of properties within 100m (328 ft.) of the subject property. Three signs indicating that the property is under consideration for a change in zoning have been installed on the property. These signs would be updated to include the date, time, and location of the Public Hearing.

### **ALTERNATIVES:**

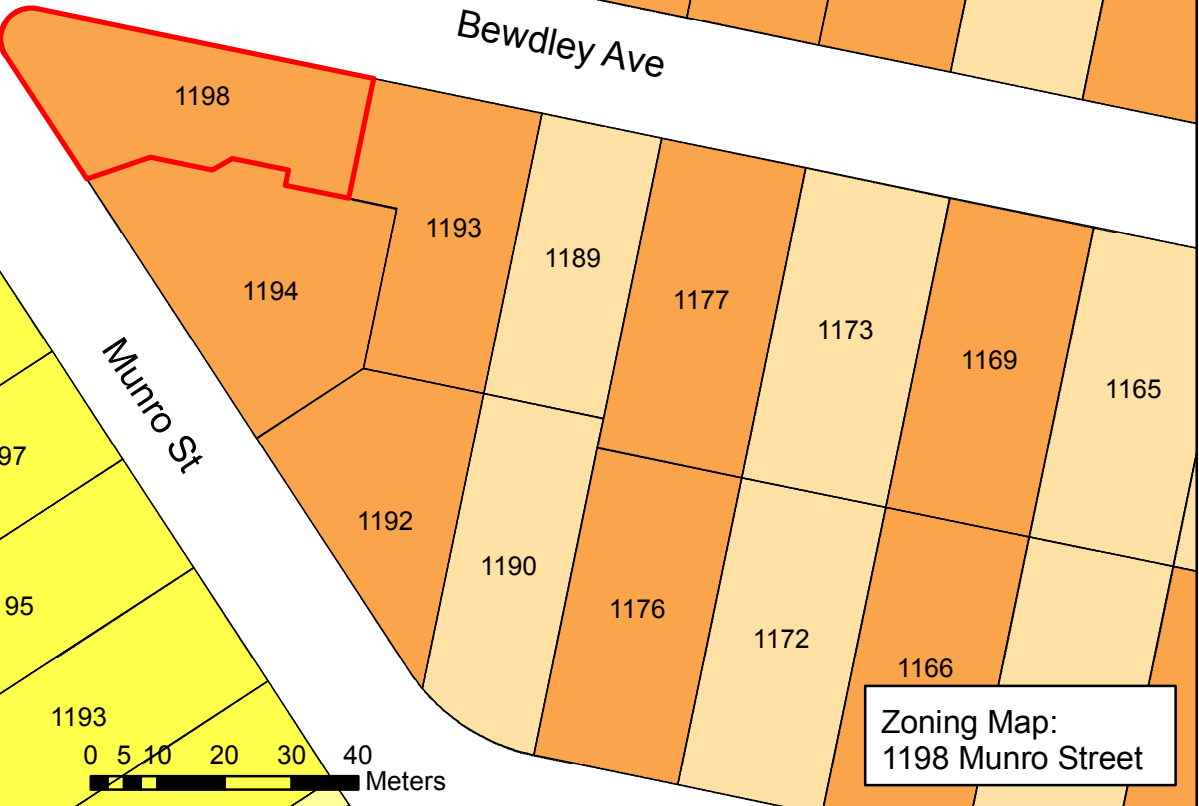
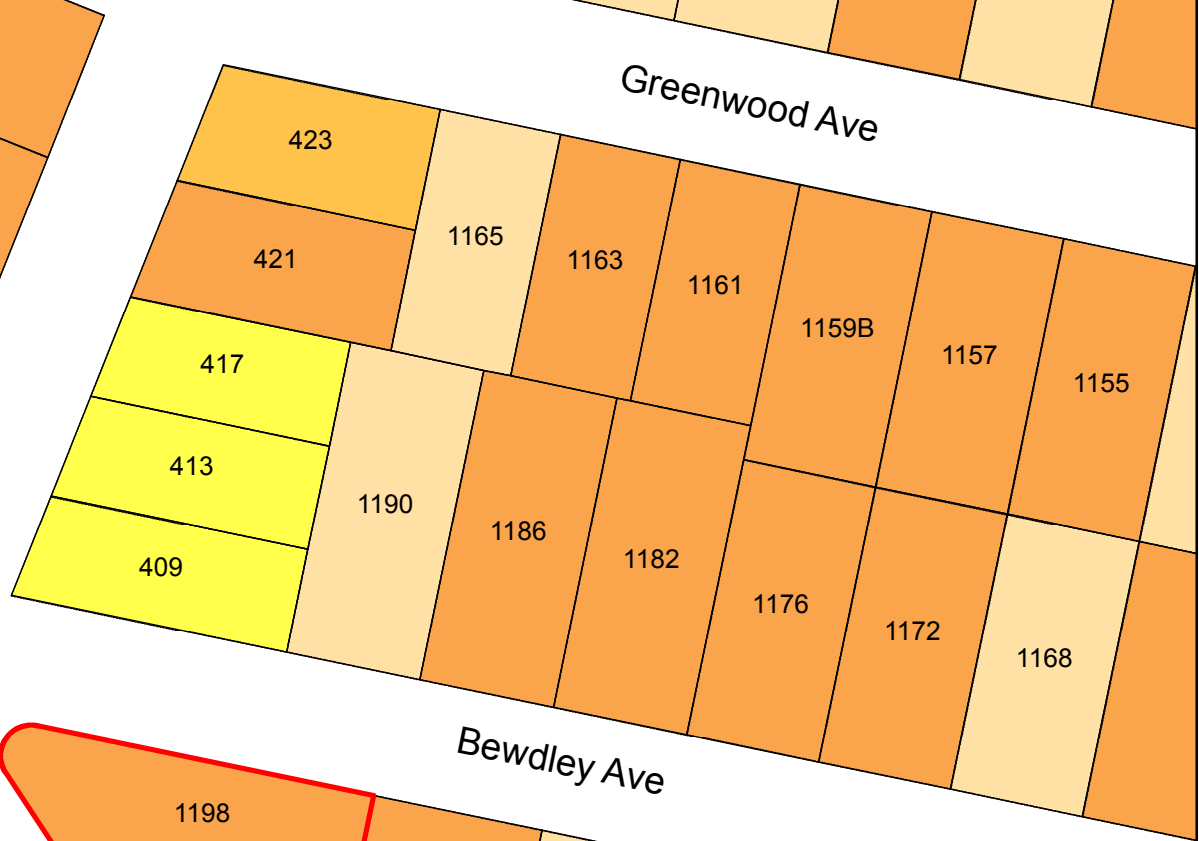
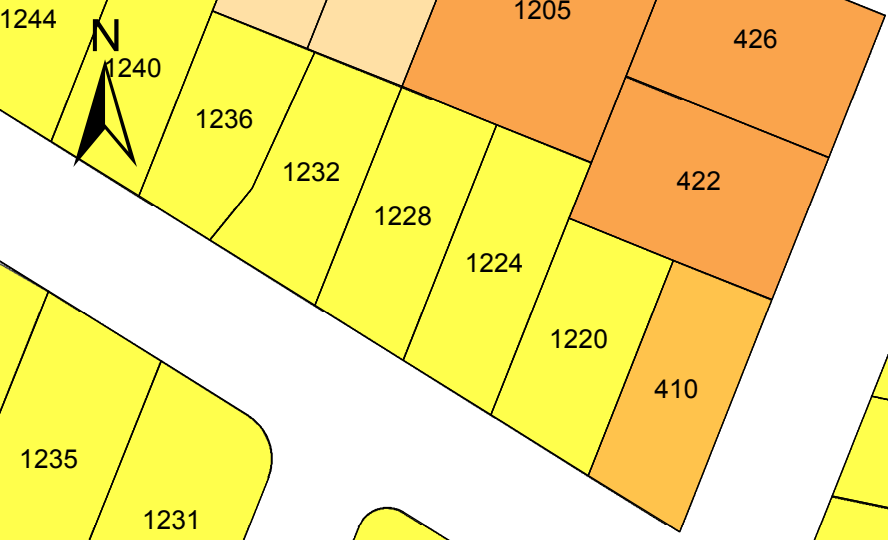
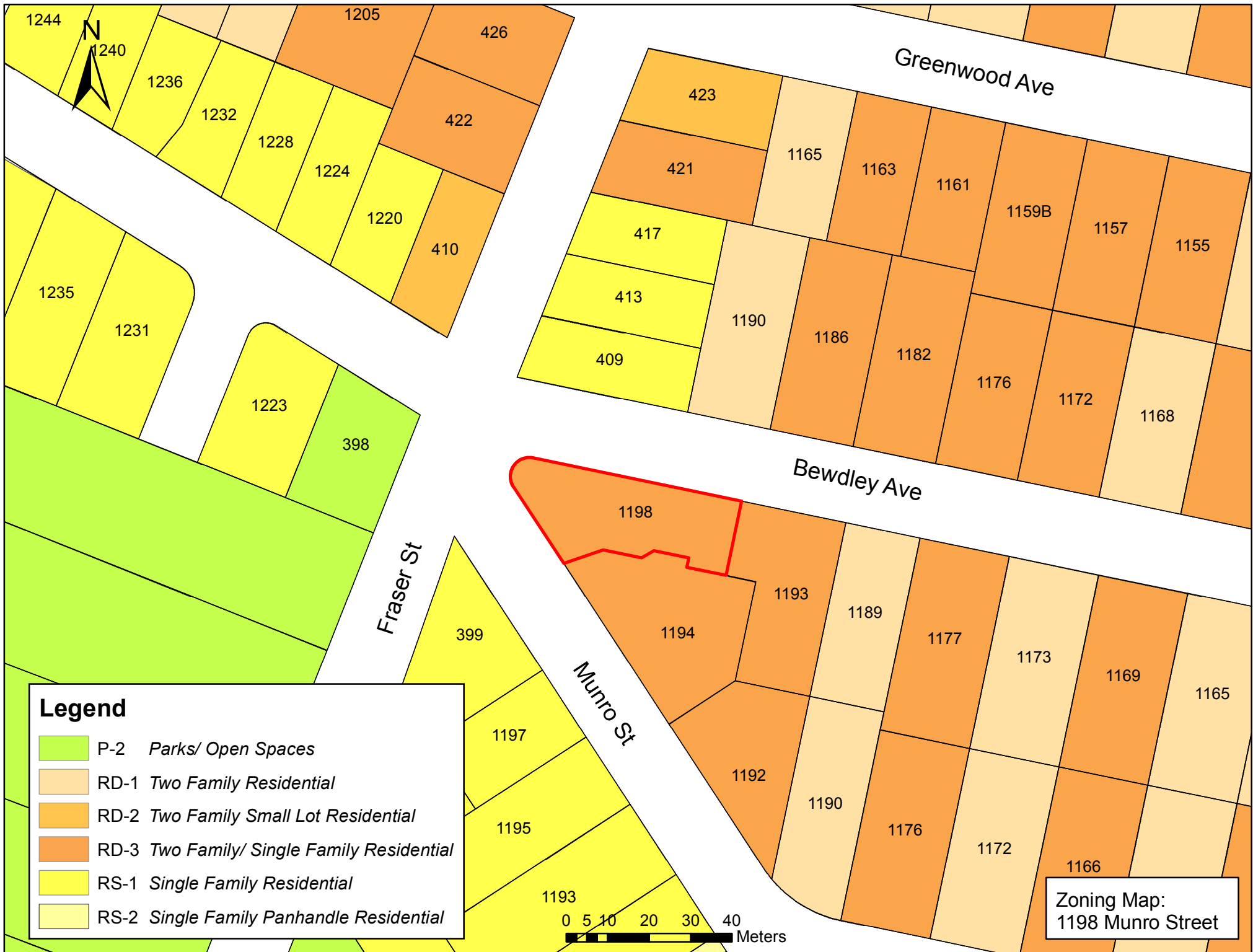
1. Forward the application for Rezoning to Council with a **recommendation of approval including reasons for the recommendation.**
2. Forward the application for Rezoning to Council with a **recommendation of approval including specific conditions and including reasons for the recommendation.**
3. Forward the application for Rezoning to Council with a **recommendation of denial including reasons for the recommendation.**

1198 Munro Street



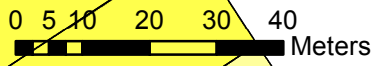


Subject Property Map  
1198 Munro Street

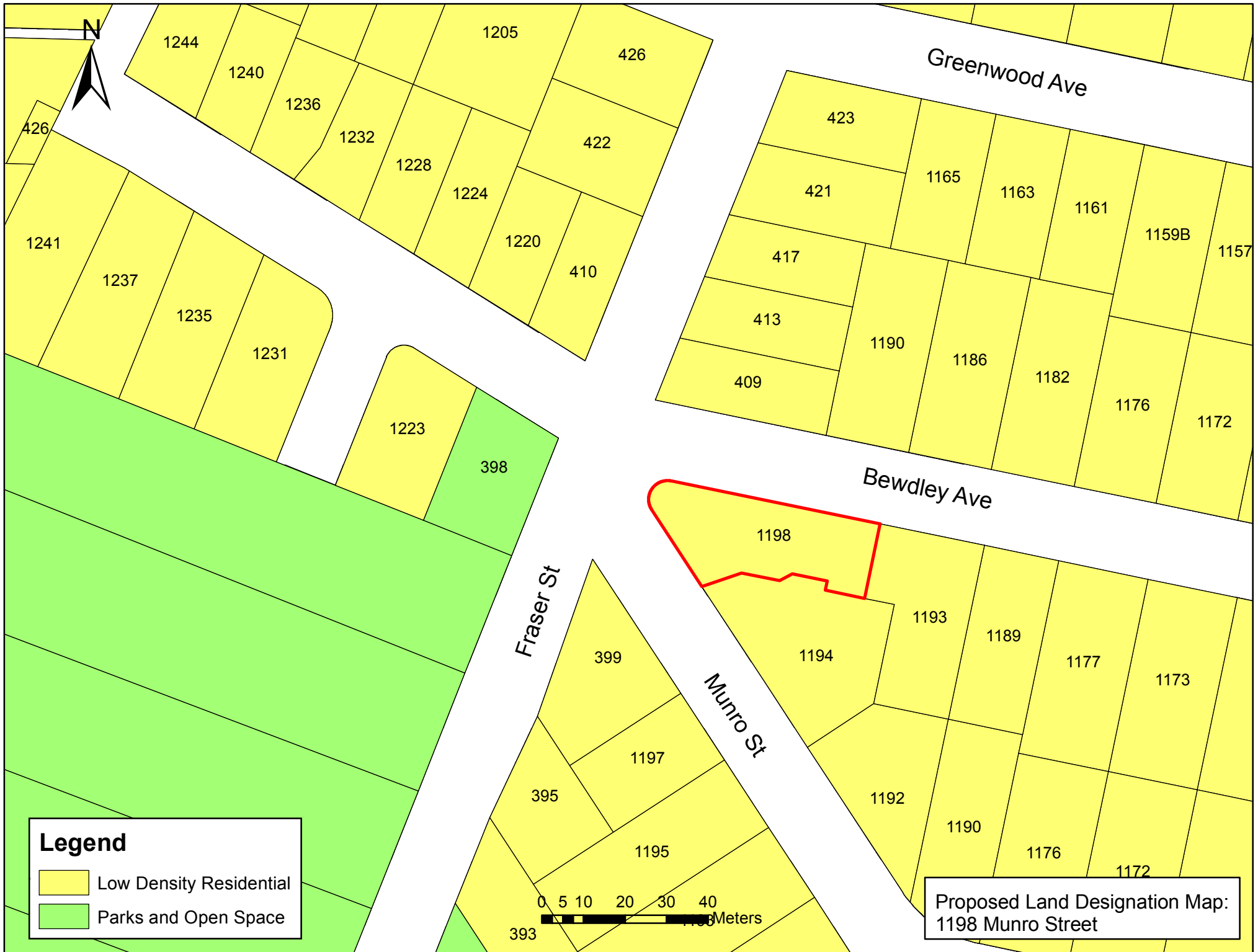


**Legend**

- P-2 *Parks/ Open Spaces*
- RD-1 *Two Family Residential*
- RD-2 *Two Family Small Lot Residential*
- RD-3 *Two Family/ Single Family Residential*
- RS-1 *Single Family Residential*
- RS-2 *Single Family Panhandle Residential*



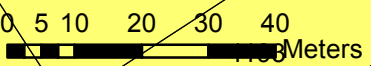
Zoning Map:  
1198 Munro Street



**Legend**

- Low Density Residential
- Parks and Open Space

Proposed Land Designation Map:  
1198 Munro Street





## GREEN BUILDING CHECKLIST

The purpose of this Checklist is to make property owners and developers aware of specific green features that can be included in new developments to reduce their carbon footprints to help create a more sustainable community.

Creating walkable neighbourhoods, fostering green building technologies, making better use of our limited land base and ensuring that new development is located close to services, shops and transit are some of the means of achieving sustainability.

The Checklist which follows focuses on the use of **Green Technologies** in new buildings and major renovations. The Checklist is not a report card, it is a tool to help identify how your project can become 'greener' and to demonstrate to Council how your project will help the Township of Esquimalt meet its sustainability goals. It is not expected that each development will include all of the ideas set out in this list but Council is looking for a strong commitment to green development.

There are numerous green design standards, for example, Built Green BC; LEED ND; Living Building Challenge; Green Shores; Sustainable Sites Initiative. Esquimalt is not directing you to follow any particular standard, however, you are strongly encouraged to incorporate as many green features as possible into the design of your project.

As you review this checklist, if you have any questions please contact **Development Services** at **250.414.7108** for clarification.

**New development is essential to Esquimalt.  
We look forward to working with you  
to ensure that development is  
as green and sustainable as possible.**

Other documents containing references to building and site design and sustainability, which you are advised to review, include:

- Esquimalt's Official Community Plan
- Development Protocol Policy
- Esquimalt's Pedestrian Charter
- Tree Protection Bylaw No. 2664
- A Sustainable Development Strategic Plan for the Township of Esquimalt



"One-third of Canada's energy use goes to running our homes, offices and other buildings. The federal government's Office of Energy Efficiency (Natural Resources Canada) reports that a corresponding one-third of our current greenhouse gas (GHG) emissions come from the built environment."  
 [Green Building and Development as a Public Good, Michael Buzzelli, CPRN Research Report June 2009]

Please answer the following questions and describe the green and innovative features of your proposed development. Depending on the size and scope of your project, some of the following points may not be applicable.

### Green Building Standards

Both energy use and emissions can be reduced by changing or modifying the way we build and equip our buildings.

- |    |  |   |  |
|----|--|---|--|
| 1  | Are you building to a recognized green building standard?<br>If yes, to what program and level?  | Yes                                     | No <input checked="" type="checkbox"/> |
| 2  | If not, have you consulted a Green Building or LEED consultant to discuss the inclusion of green features?   | Yes                                     | No <input checked="" type="checkbox"/> |
| 3  | Will you be using high-performance building envelope materials, rainscreen siding, durable interior finish materials or safe to re-use materials in this project?<br>If so, please describe them. <b>GALV. CORRUGATED METAL SIDING</b> | Yes <input checked="" type="checkbox"/> | No                                     |
| 4  | What percentage of the existing building[s], if any, will be incorporated into the new building?   |   | <u>0</u> %                             |
| 5  | Are you using any locally manufactured wood or stone products to reduce energy used in the transportation of construction materials? Please list any that are being used in this project.<br><b>NA</b>                                 |   |  |
| 6  | Have you considered advanced framing techniques to help reduce construction costs and increase energy savings?   | Yes <input checked="" type="checkbox"/> | No                                     |
| 7  | Will any wood used in this project be eco-certified or produced from sustainably managed forests? If so, by which organization? <b>NO</b><br>For which parts of the building (e.g. framing, roof, sheathing etc.)? <b>0</b>            |   |  |
| 8  | Can alternatives to Chlorofluorocarbon's and Hydro-chlorofluorocarbons which are often used in air conditioning, packaging, insulation, or solvents] be used in this project? If so, please describe these. _____                      | Yes                                     | No <input checked="" type="checkbox"/> |
| 9  | List any products you are proposing that are produced using lower energy levels in manufacturing.<br><b>LED LIGHTS, LOW VOLTAGE EXT. LIGHTS</b>  |   |  |
| 10 | Are you using materials which have a recycled content [e.g. roofing materials, interior doors, ceramic tiles or carpets]?  | Yes                                     | No <input checked="" type="checkbox"/> |
| 11 | Will any interior products [e.g. cabinets, insulation or floor sheathing] contain formaldehyde?  | Yes                                     | No <input checked="" type="checkbox"/> |



## Water Management

The intent of the following features is to promote water conservation, re-use water on site, and reduce storm water run-off.

### Indoor Water Fixtures

12	Does your project exceed the BC Building Code requirements for public lavatory faucets and have automatic shut offs?	Yes	No	✓
13	For commercial buildings, do flushes for urinals exceed BC Building Code requirements?	Yes	No	N/A
14	Does your project use dual flush toilets and do these exceed the BC Building Code requirements?	Yes	No	✓
15	Does your project exceed the BC Building Code requirements for maximum flow rates for private showers?	Yes	No	✓
16	Does your project exceed the BC Building Code requirements for flow rates for kitchen and bathroom faucets?	Yes	No	✓

### Storm Water

17	If your property has water frontage, are you planning to protect trees and vegetation within 60 metres of the high water mark? [Note: For properties located on the Gorge Waterway, please consult Sections 7.1.2.1 and 9.6 of the Esquimalt Official Community Plan.]	Yes	No	N/A	✓
18	Will this project eliminate or reduce inflow and infiltration between storm water and sewer pipes from this property?	Yes	No	N/A	✓
19	Will storm water run-off be collected and managed on site (rain gardens, wetlands, or ponds) or used for irrigation or re-circulating outdoor water features? If so, please describe. _____	Yes	No	N/A	✓
20	Have you considered storing rain water on site (rain barrels or cisterns) for future irrigation uses?	Yes	No	N/A	✓
21	Will surface pollution into storm drains will be mitigated (oil interceptors, bio-swales)? If so, please describe. <u>oil interceptors, if required</u>	Yes	No	N/A	✓
22	Will this project have an engineered green roof system or has the structure been designed for a future green roof installation?	Yes	No	N/A	✓
23	What percentage of the site will be maintained as naturally permeable surfaces?	<u>30</u> %			

### Waste water

24	For larger projects, has Integrated Resource Management (IRM) been considered (e.g. heat recovery from waste water or onsite waste water treatment)? If so, please describe these. _____	Yes	No	N/A	✓
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## Natural Features/Landscaping

The way we manage the landscape can reduce water use, protect our urban forest, restore natural vegetation and help to protect the watershed and receiving bodies of water.

25	Are any healthy trees being removed? If so, how many and what species?	Yes	No	N/A	
	Could your site design be altered to save these trees?				✓
	Have you consulted with our Parks Department regarding their removal?				

26	Will this project add new trees to the site and increase our urban forest? If so, how many and what species? <u>See landscape plan</u>	Yes ✓	No	N/A
27	Are trees [existing or new] being used to provide shade in summer or to buffer winds?	Yes ✓	No	N/A
28	Will any existing native vegetation on this site be protected? If so, please describe where and how. _____	Yes	No ✓	N/A ✓
29	Will new landscaped areas incorporate any plant species native to southern Vancouver Island?	Yes ✓	No	N/A
30	Will xeriscaping (i.e. the use of drought tolerant plants) be utilized in dry areas?	Yes ✓	No	N/A
31	Will high efficiency irrigation systems be installed (e.g. drip irrigation; 'smart' controls)?	Yes ✓	No	N/A
32	Have you planned to control invasive species such as Scotch broom, English ivy, Himalayan and evergreen blackberry growing on the property?	Yes	No	N/A ✓
33	Will topsoil will be protected and reused on the site?	Yes	No	N/A ✓

## Energy Efficiency

*Improvements in building technology will reduce energy consumption and in turn lower greenhouse gas [GHG] emissions. These improvements will also reduce future operating costs for building occupants.*

34	Will the building design be certified by an independent energy auditor/analyst? If so, what will the rating be? _____	Yes	No ✓	N/A
35	Have you considered passive solar design principles for space heating and cooling or planned for natural daylighting?	Yes ✓	No	N/A
36	Does the design and siting of buildings maximize exposure to natural light? What percentage of interior spaces will be illuminated by sunlight? _____ %	Yes ✓	No	N/A
37	Will heating and cooling systems be of enhanced energy efficiency (ie. geothermal, air source heat pump, solar hot water, solar air exchange, etc.). If so, please describe. _____ If you are considering a heat pump, what measures will you take to mitigate any noise associated with the pump? <u>side yard w/ fencing protection</u>	Yes	No ✓	N/A
38	Has the building been designed to be solar ready?	Yes ✓	No	N/A
39	Have you considered using roof mounted photovoltaic panels to convert solar energy to electricity?	Yes ✓	No	N/A
40	Do windows exceed the BC Building Code heat transfer coefficient standards?	Yes ✓	No	N/A
41	Are energy efficient appliances being installed in this project? If so, please describe.	✓		
42	Will high efficiency light fixtures be used in this project? If so, please describe. <u>LED</u>	Yes ✓	No	N/A
43	Will building occupants have control over thermal, ventilation and light levels?	Yes ✓	No	N/A
44	Will outdoor areas have automatic lighting [i.e. motion sensors or time set]?	Yes ✓	No	N/A
45	Will underground parking areas have automatic lighting?	Yes	No	N/A ✓

### Air Quality

The following items are intended to ensure optimal air quality for building occupants by reducing the use of products which give off gases and odours and allowing occupants control over ventilation.

46	Will ventilation systems be protected from contamination during construction and certified clean post construction?	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>
47	Are you using any natural, non-toxic, water soluble or low-VOC [volatile organic compound] paints, finishes or other products? If so, please describe. _____	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	N/A <input type="checkbox"/>
48	Will the building have windows that occupants can open?	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>
49	Will hard floor surface materials cover more than 75% of the liveable floor area?	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>
50	Will fresh air intakes be located away from air pollution sources?	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>

### Solid Waste

Reuse and recycling of material reduces the impact on our landfills, lowers transportation costs, extends the life-cycle of products, and reduces the amount of natural resources used to manufacture new products.

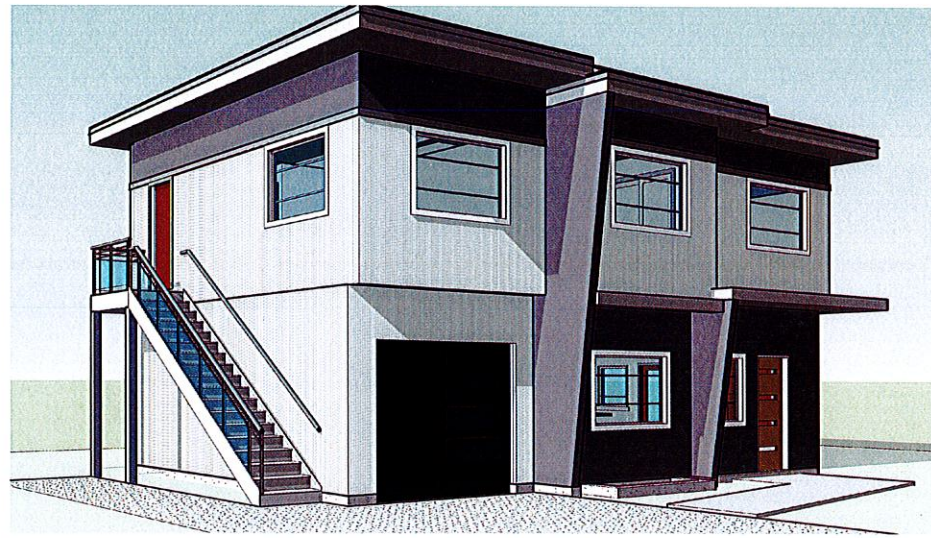
51	Will materials be recycled during demolition of existing buildings and structures? If so, please describe. _____	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	N/A <input type="checkbox"/>
52	Will materials be recycled during the construction phase? If so, please describe. _____	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	N/A <input type="checkbox"/>
53	Does your project provide enhanced waste diversion facilities i.e. on-site recycling for cardboard, bottles, cans and or recyclables or on-site composting?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	N/A <input checked="" type="checkbox"/>
54	For new commercial development, are you providing waste and recycling receptacles for customers?	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input checked="" type="checkbox"/>

### Green Mobility

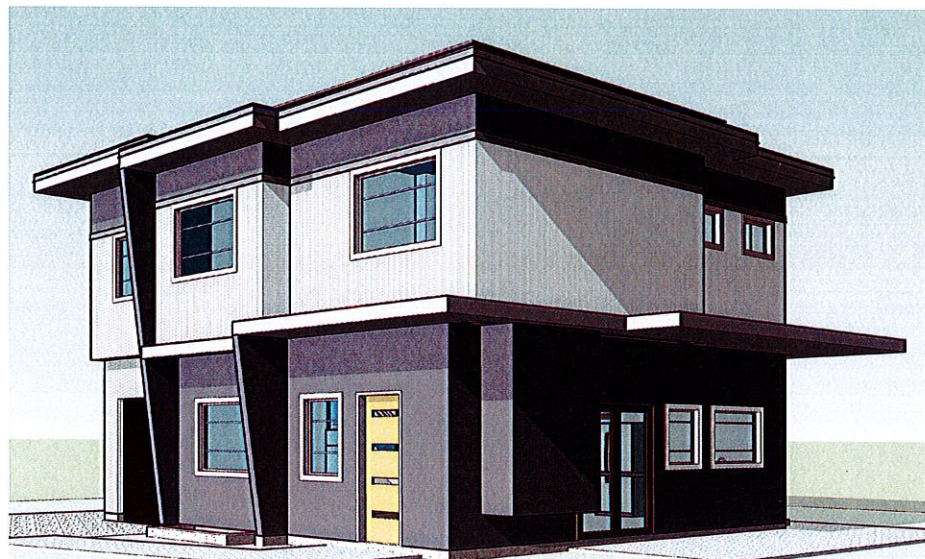
The intent is to encourage the use of sustainable transportation modes and walking to reduce our reliance on personal vehicles that burn fossil fuels which contributes to poor air quality.

55	Is pedestrian lighting provided in the pathways through parking and landscaped areas and at the entrances to your building[s]?	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input checked="" type="checkbox"/>
56	For commercial developments, are pedestrians provided with a safe path[s] through the parking areas and across vehicles accesses?	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input checked="" type="checkbox"/>
57	Is access provided for those with assisted mobility devices?	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input checked="" type="checkbox"/>
58	Are accessible bike racks provided for visitors?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	N/A <input checked="" type="checkbox"/>
59	Are secure covered bicycle parking and dedicated lockers provided for residents or employees?	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input checked="" type="checkbox"/>
60	Does your development provide residents or employees with any of the following features to reduce personal automobile use [check all that apply]: <input type="checkbox"/> transit passes <input type="checkbox"/> car share memberships <input type="checkbox"/> shared bicycles for short term use <input type="checkbox"/> weather protected bus shelters <input type="checkbox"/> plug-ins for electric vehicles	N/A		

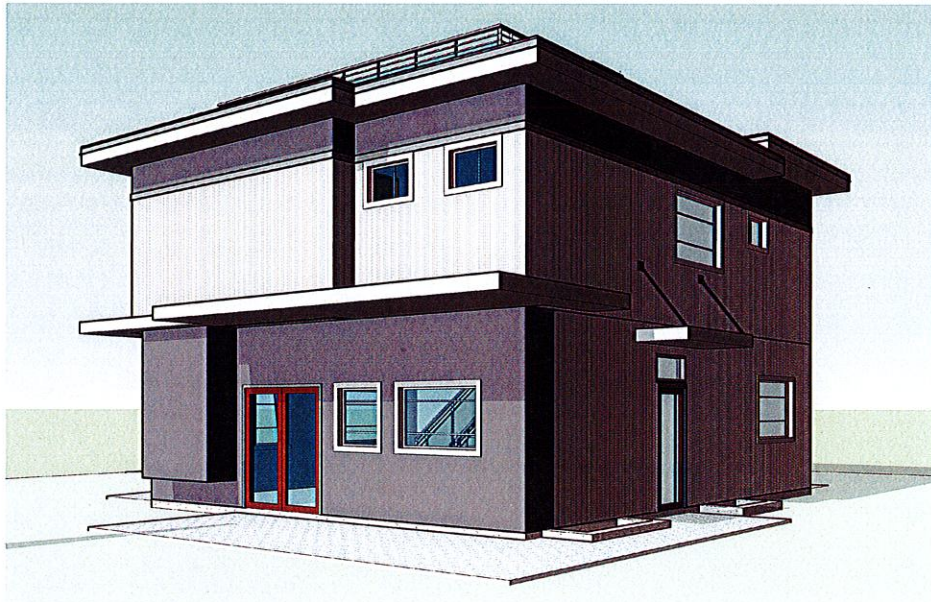
Is there something unique or innovative about your project that has not been addressed by this Checklist? If so, please add extra pages to describe it.



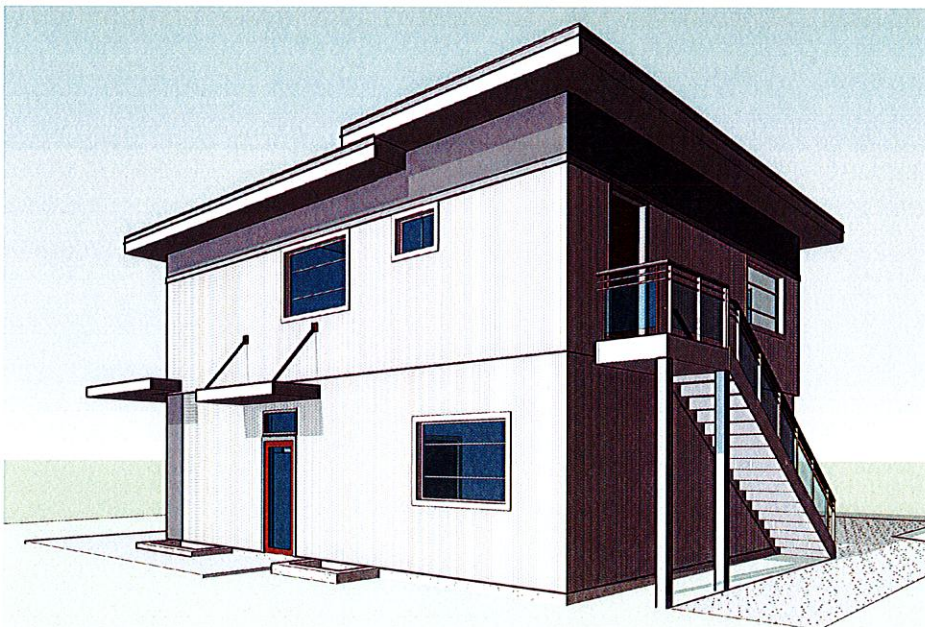
① Front L



② Front R



③ Rear R



④ Rear L

**PROJECT DATA**

Property Owners: Byron Rotgans  
 Civic Address: 1198 Munro Street, Victoria BC, V9A 5P6  
 Legal Description: Lot 1, Section 11, Esquimalt District, Plan 44436  
 Existing Zone: RD-3  
 Project Description: Rezone; SFD, New Build  
 Site Area: 958.5 SqM ( SqM.)  
 Average Grade: 15.23 M  
 (see Sheet A2 for calculations)

**PROJECT INFORMATION TABLE - PARENT LOT**

	EXIST./PROP.	ALL'D/REQ'D
Zoning:	RD-3	
Site Area:	598 M <sup>2</sup>	
Site Coverage:	145 M <sup>2</sup> = 24%	40 %
Total Floor Area:	249 M <sup>2</sup>	
Floor Area Ratio:	0.41	0.40
Height of building (M):	5.76 M	7.3 M
Number of storeys:	2	
<b>SETBACKS</b>		
Front Yard:	7.16 M	6.0 M
Rear Yard:	1.5 M	6.0 M
Side - North:	2.8 M	2.4 M
Side - South:	2.4 M	1.5 M
Parking Stalls on site:	1	

**PROJECT INFORMATION TABLE - SMALL LOT**

	PROPOSED
Zoning:	
Site Area:	357 M <sup>2</sup>
Site Coverage:	126.7 M <sup>2</sup> = 35.5 %
Total Floor Area:	135.8 M <sup>2</sup>
Floor Area Ratio:	0.38
Height of building (M):	6.62 M
Number of storeys:	2
<b>SETBACKS</b>	
Front Yard:	5.18 M
Rear Yard:	2.1 M
Side - East:	3.5 M
Side - West:	5.1 M
Parking Stalls on site:	1

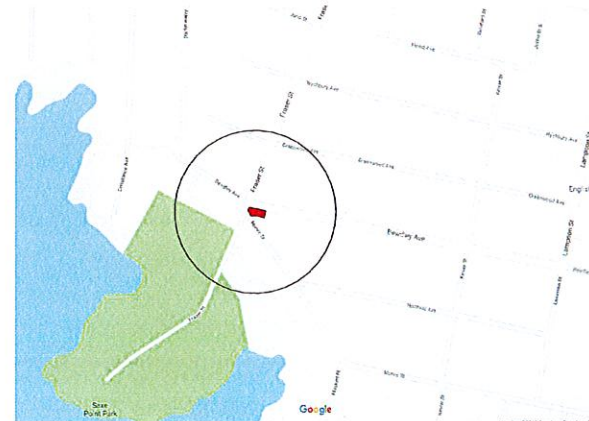
**PROJECT TEAM:**

**SURVEYOR:**  
 Key Mayerburg Land Surveying Inc.  
 14-2227 James White Boulevard  
 Sidney, BC V8L 1Z5  
 250-656-5155

**STRUCTURAL ENGINEER:**  
 Byron Rotgans, P.Eng.  
 Munro Engineering Ltd.  
 1198 Munro St.  
 Victoria, BC V9A 5P6  
 250-851-2640

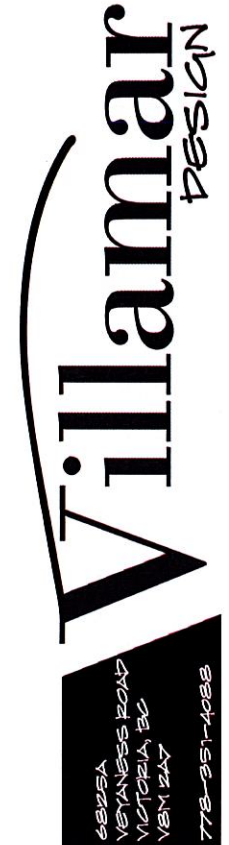
Sheet List	
Sheet Number	Sheet Name
A1	Cover
A2	Site
A2.1	Site Context & Streetscape
A2.2	Survey
A3	Sections
A4	Foundation Plan
A5	Main Floor Plan
A6	Upper Floor Plan
A7	Roof Plan & Section
A8	Building Materials

**VICINITY MAP**



**GENERAL NOTES**

- 1) DIMENSIONS PROVIDED SHALL TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS OF BUILDING DESIGNER AND CONSULTANT'S DRAWINGS PRIOR TO WORK COMMENCEMENT. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY. ANY NOTES ELSEWHERE ON THE PLANS THAT EXCEED THE REQUIREMENTS STATED IN THE GENERAL NOTES TAKE PRECEDENCE.
- 2) PRIOR TO ANY ALTERATION OR MODIFICATION OF PLANS OR DETAILS ON SITE, CONTRACTOR(S), TRADEPERSONS AND/OR HOMEOWNER(S) MUST CONTACT BUILDING DESIGNER TO CONFIRM BUILDING CODE AND/OR STRUCTURAL ENGINEERING REQUIREMENTS AND TO MAINTAIN ACCURACY AND COMPLETENESS OF PLANS.
- 3) ALL NEW CONSTRUCTION TO MEET CURRENT BC BUILDING CODE 2012.
- 4) VENTILATION INTAKE AND EXHAUST TO MEET ALL BCBC REGULATIONS.
- 5) VENTILATION CHECKLIST TO BE COMPLETED PRIOR TO FRAMING INSPECTION.
- 6) SAFETY GLASS REQUIRED FOR ALL BATHTUB ENCLOSURES, SIDELIGHTS, AND GLASS IN DOORS.
- 7) EGRESS FROM ALL BEDROOMS TO MEET CURRENT BCBC REGULATIONS.
- 8) CARBON MONOXIDE ALARM LOCATIONS TO BE DETERMINED, AS PER BCBC.
- 9) PHOTO-ELECTRIC/INTERCONNECTED SMOKE DETECTORS LOCATED AS PER BCBC.



6825A  
 VERNERS ROAD  
 VICTORIA, BC  
 V8M 1A7  
 778-951-4088

1198 MUNRO St.  
 Esquimalt, BC

Client:  
 Byron ROTGANS

DATE:	ISSUED FOR:
Sept. 17	Revised floor areas per Esquimalt

REZONE

Cover

SHEET ISSUE DATE  
 Sept. 17, 2018

PROJECT NUMBER 1809

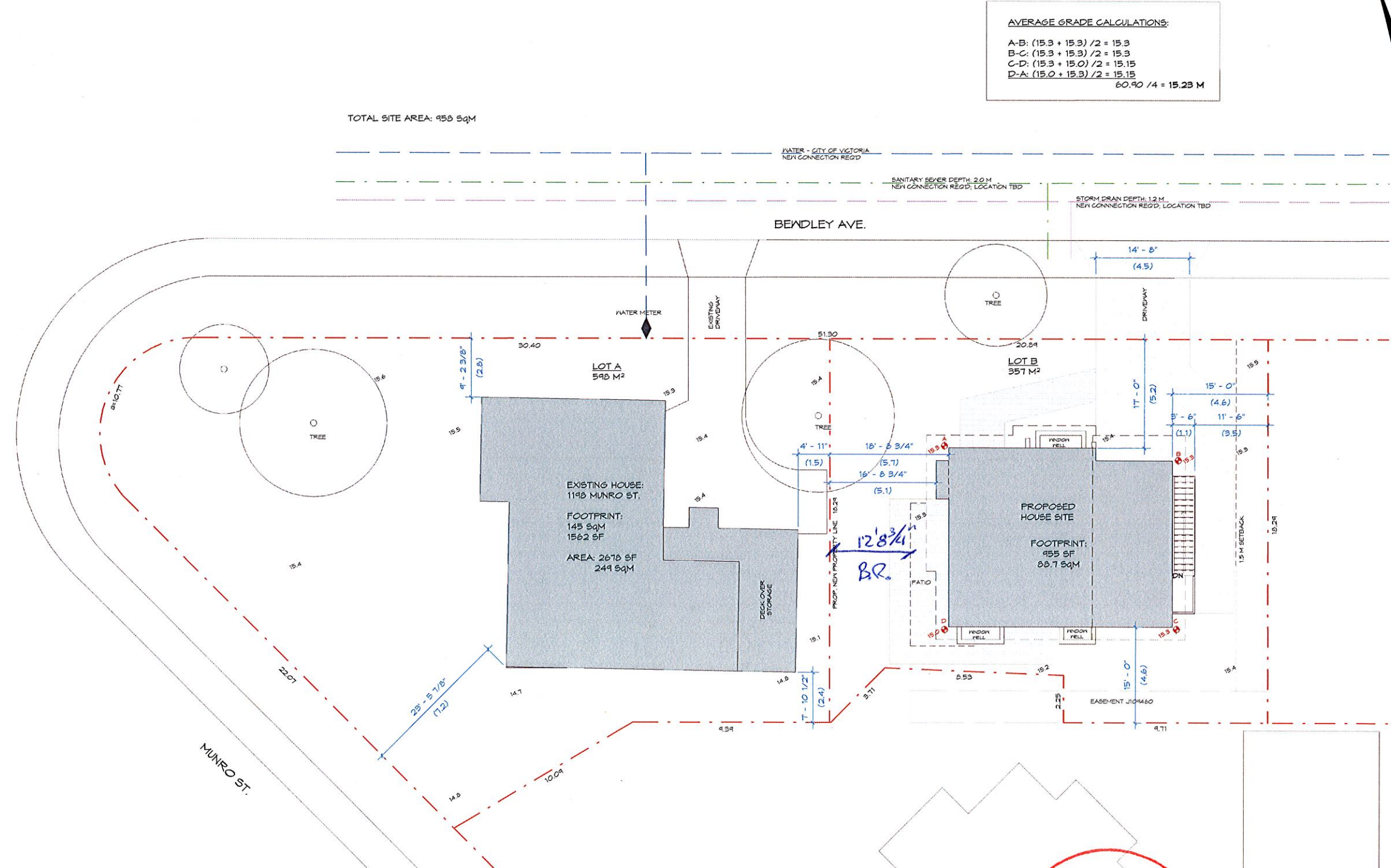
DRAWN BY AJN

CHECKED BY DE

A1

SCALE 1/4" = 1'-0"

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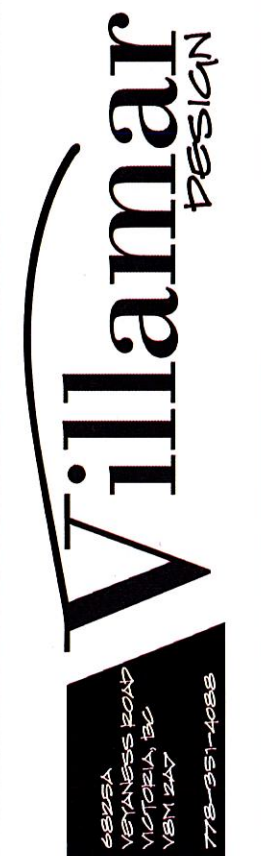


**AVERAGE GRADE CALCULATIONS:**  
 A-B: (15.3 + 15.3) / 2 = 15.3  
 B-C: (15.3 + 15.3) / 2 = 15.3  
 C-D: (15.3 + 15.0) / 2 = 15.15  
 D-A: (15.0 + 15.3) / 2 = 15.15  
 60.90 / 4 = 15.23 M



① Site  
1/8" = 1'-0"

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**SEP 17 2018**  
 CORP. OF TOWNSHIP  
 OF ESQUIMALT  
 DEVELOPMENT SERVICES

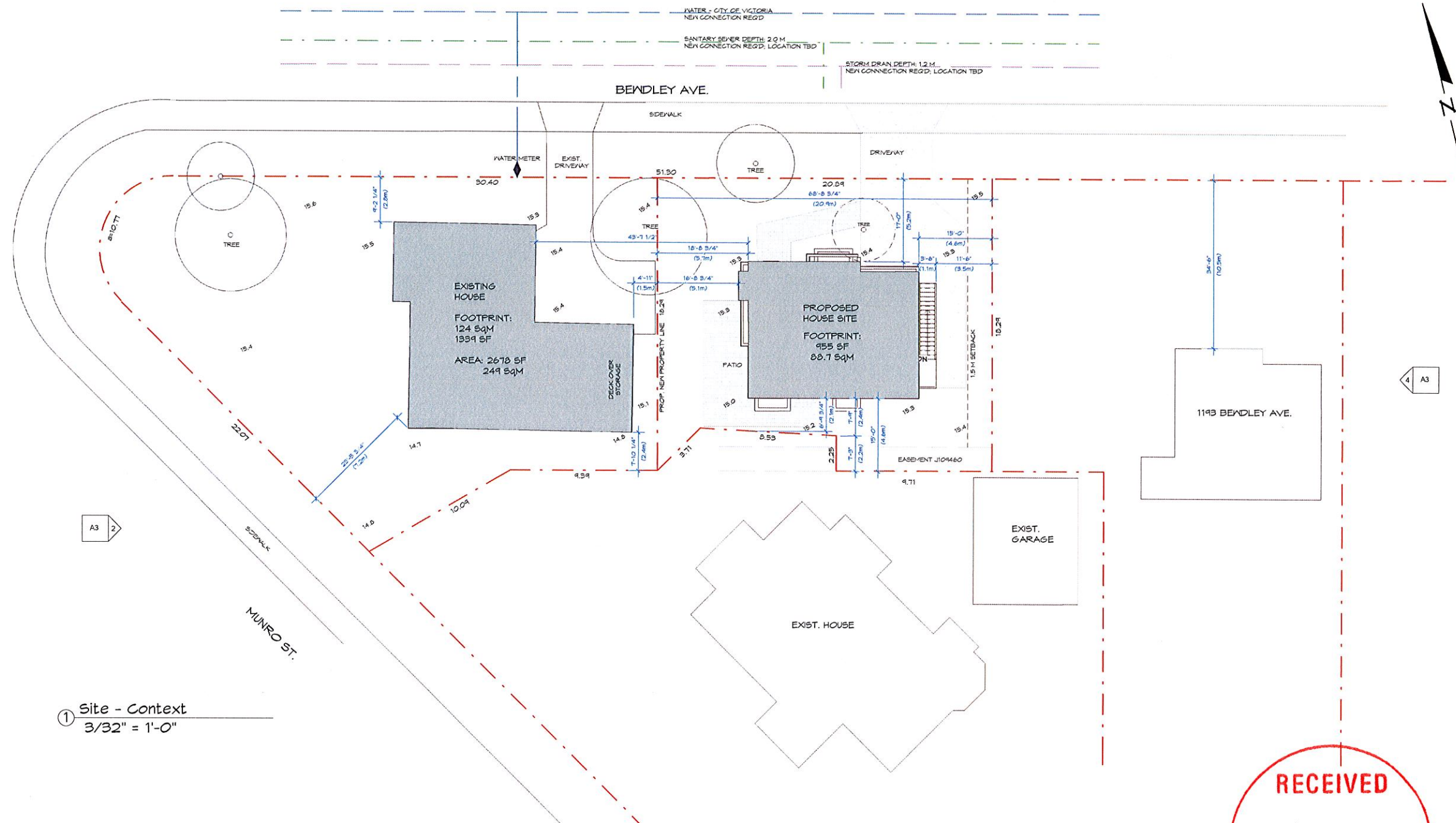


1198 MUNRO St.  
Esquimalt, BC

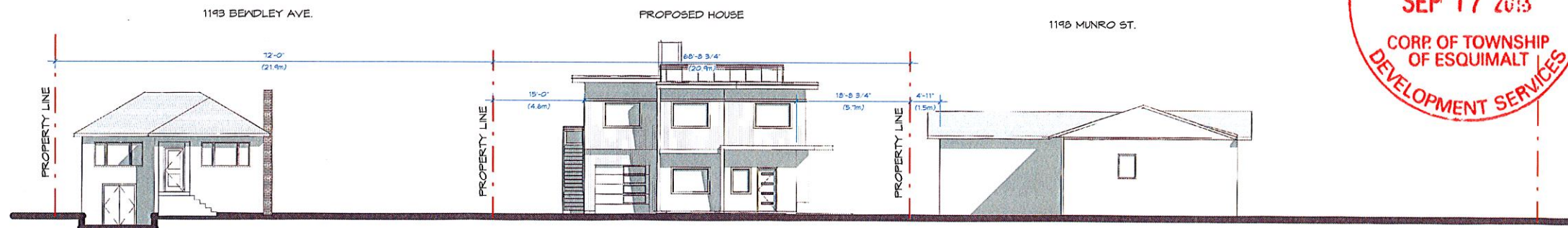
Client:  
Byron ROTGANS

DATE:	ISSUED FOR:
<b>REZONE</b>	
Site	
SHEET ISSUE DATE	Sept. 17, 2018
PROJECT NUMBER	1809
DRAWN BY	AJM
CHECKED BY	DE
<b>A2</b>	
SCALE	As indicated

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① Site - Context  
3/32" = 1'-0"



② North (Front) -STREETSCAPE  
1" = 10'-0"



**Villamar**  
DESIGN

6825A  
VICTORIA ROAD  
VICTORIA, BC  
V8M 1A7  
778-851-4088

1198 MUNRO St.  
Esquimalt, BC

Client:  
Byron ROTGANS

DATE: \_\_\_\_\_ ISSUED FOR: \_\_\_\_\_

REZONE

Site Context & Streetscape

SHEET ISSUE DATE  
Sept. 17, 2018

PROJECT NUMBER 1809

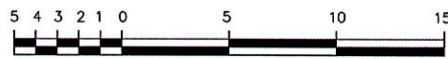
DRAWN BY AJM

CHECKED BY DE

**A2.1**

SCALE As indicated

**Proposed Subdivision Plan Of:  
 Lot 1, Section 11,  
 Esquimalt District, Plan 44436.  
 P.I.D. 005-455-031**



Scale = 1:250

Dated this 5th day of July, 2018.

**Brent Mayenburg**  
**C551Z1**

Digitally signed by Brent Mayenburg C551Z1  
 DN: c=CA, cn=Brent Mayenburg C551Z1,  
 o=BC Land Surveyor, ou=Verify ID at  
 www.juricert.com/LKUP.cfm?id=C551Z1  
 Date: 2018.07.25 13:01:53-07'00'

B.C.L.S. (Not valid unless originally signed & sealed)

Distances and elevations shown are in metres.

Elevations are based on geodetic datum CVD28BC  
 and derived from OCM 87H3781.

This site plan is for building and design purposes and is  
 for the exclusive use of our client.

This document shows the relative location of the surveyed  
 structures and features with respect to the boundaries of  
 the parcel described above. This document shall not be used  
 to define property lines or property corners.

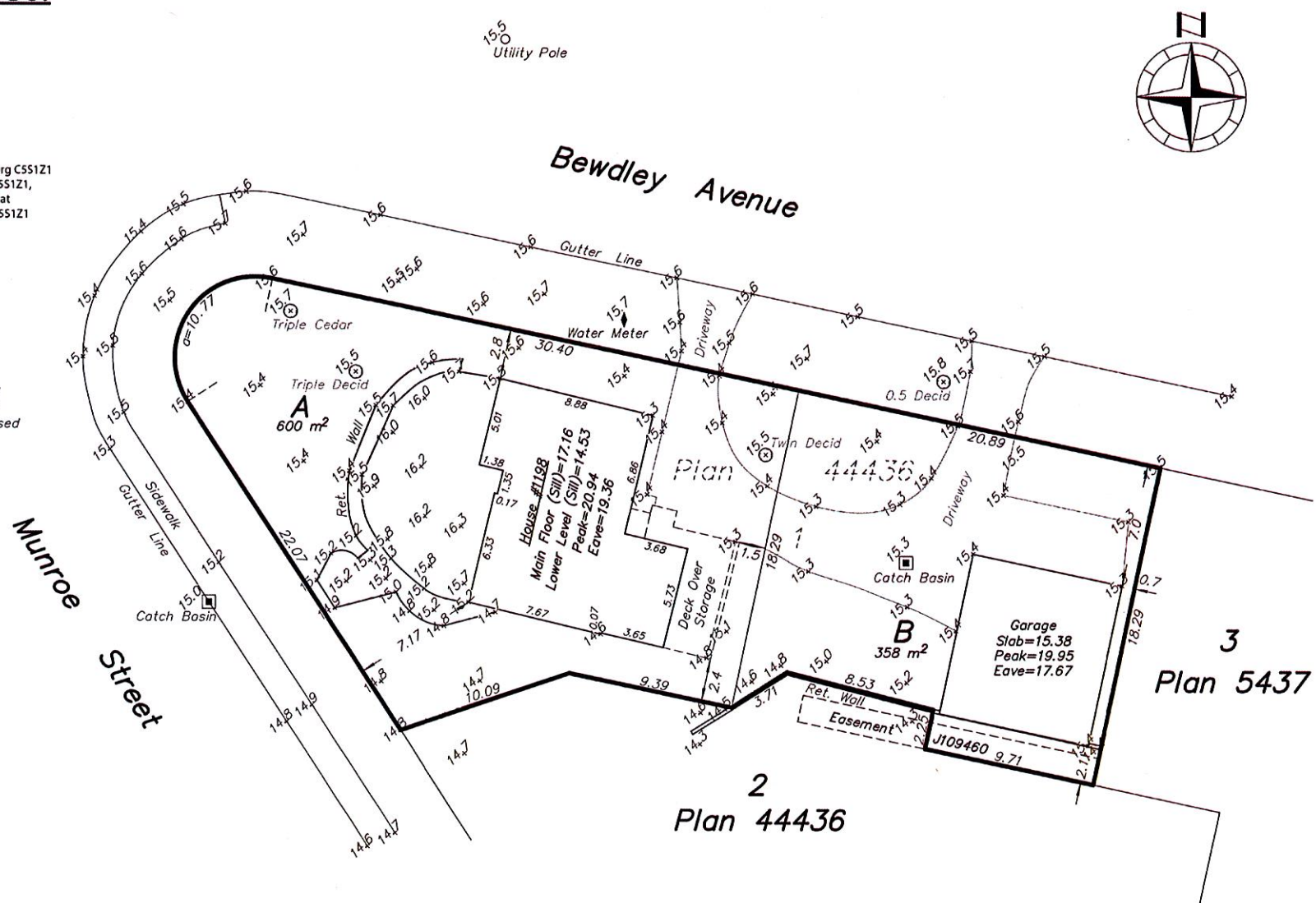
The subject property is affected by  
 the following registered documents:  
J109460.

**Wey Mayenburg Land Surveying Inc.**

[www.weysurveys.com](http://www.weysurveys.com)

#4-2227 James White Boulevard  
 Sidney, BC V8L 1Z5  
 Telephone (250) 656-5155

File: 180193\SIT\GH



① SURVEY  
 1/16" = 1'-0"

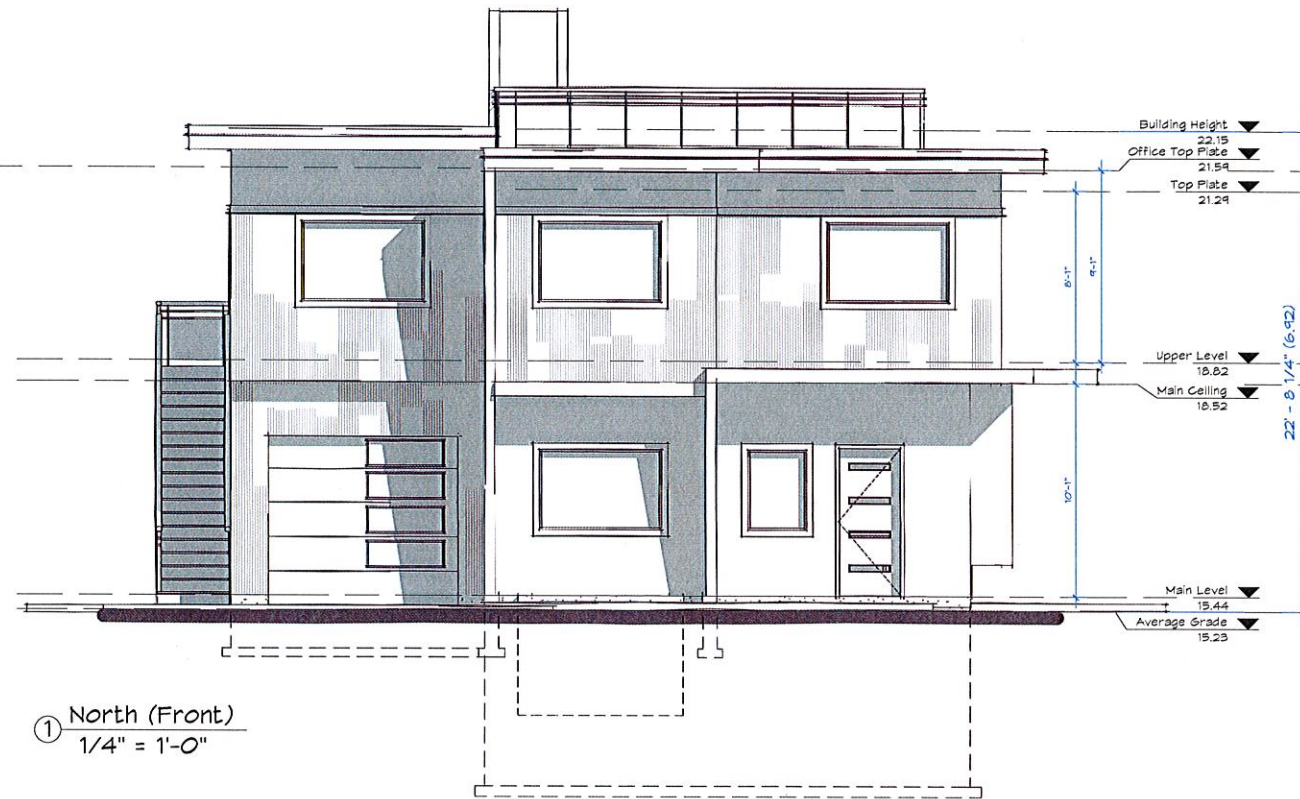


1198 MUNRO St.  
 Esquimalt, BC

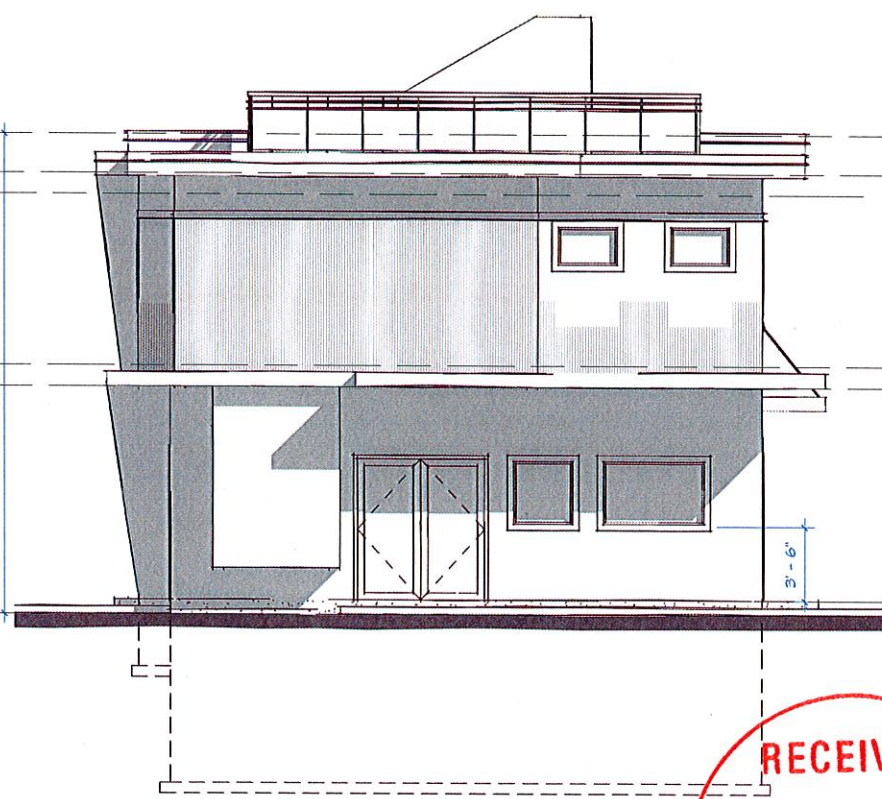
Client:  
 Byron ROTGANS

DATE:	ISSUED FOR:
REZONE	
Survey	
SHEET ISSUE DATE	Sept. 17, 2018
PROJECT NUMBER	1809
DRAWN BY	AJM
CHECKED BY	DE
<b>A2.2</b>	
SCALE	1/16" = 1'-0"

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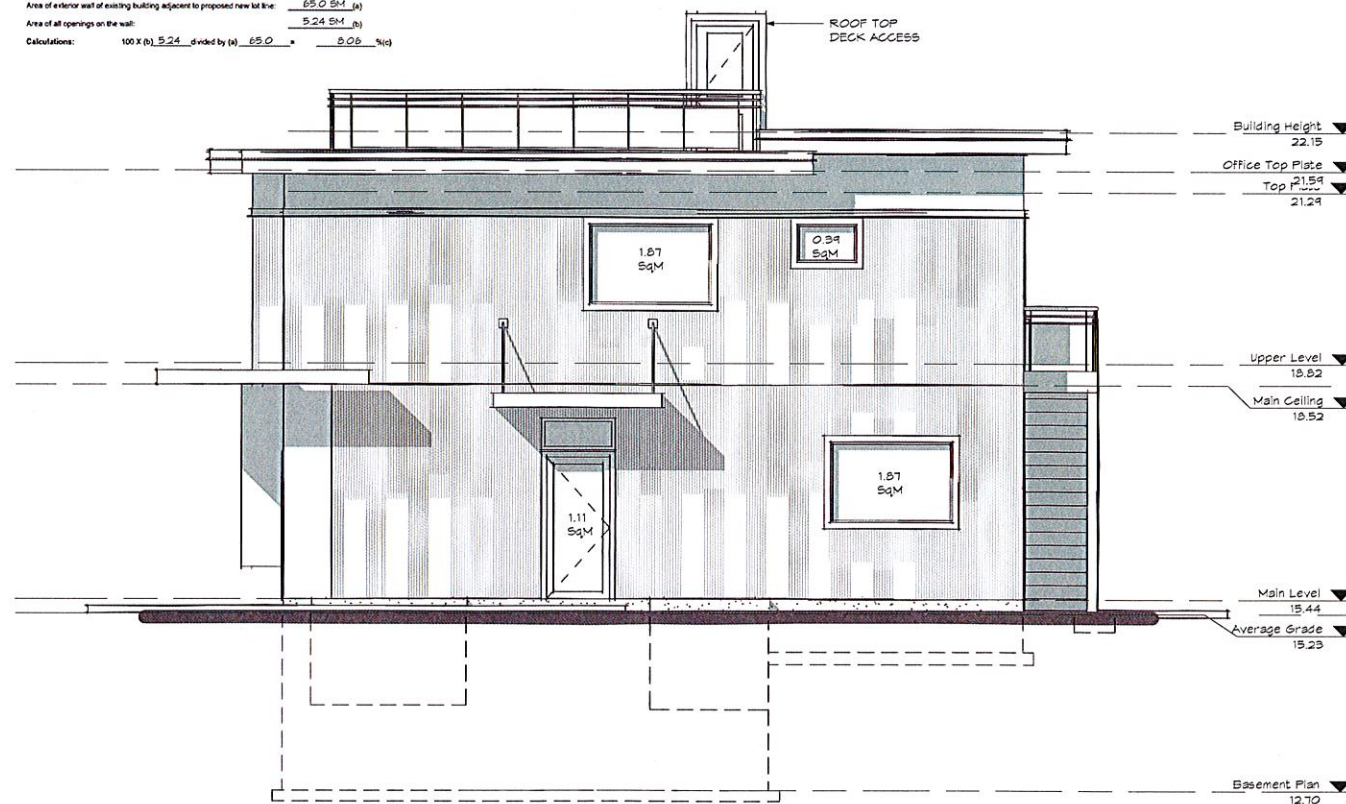
① North (Front)  
1/4" = 1'-0"



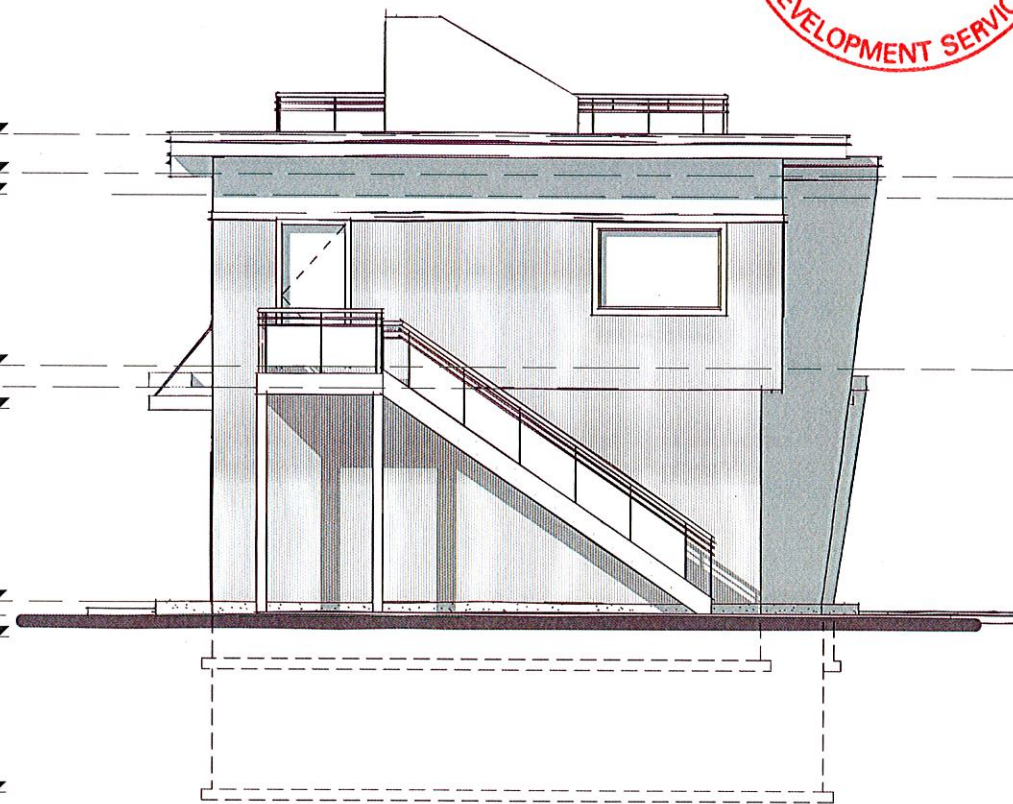
② West (Right)  
1/4" = 1'-0"

Column 1	Column 2: Maximum Aggregate Area of Glazed Openings % of Existing Building Face Area
Maximum Area of Existing Building Face (sq ft)	Limiting Distance, in
100	1.2
200	1.8
300	2.4
400	3.0
500	3.6
600	4.2
700	4.8
800	5.4
900	6.0
1000	6.6
1100	7.2
1200	7.8
1300	8.4
1400	9.0
1500	9.6
1600	10.2
1700	10.8
1800	11.4
1900	12.0
2000	12.6
2100	13.2
2200	13.8
2300	14.4
2400	15.0
2500	15.6
2600	16.2
2700	16.8
2800	17.4
2900	18.0
3000	18.6

PLEASE PROVIDE THE FOLLOWING INFORMATION:  
 Area of exterior wall of existing building adjacent to proposed new lot line: 65.0 SqM (a)  
 Area of all openings on the wall: 5.24 SqM (b)  
 Calculations: 100 x (a) 5.24, divided by (a) 65.0 = 0.08 % (c)



③ South (Rear)  
1/4" = 1'-0"



④ East (Left)  
1/4" = 1'-0"

**RECEIVED**  
 SEP. 17 2018  
 CORP. OF TOWNSHIP  
 OF ESQUIMALT  
 DEVELOPMENT SERVICES

**Villamar**  
 DESIGN  
 6825A  
 VICTANESS ROAD  
 VICTORIA, BC  
 V8M 5A7  
 778-951-4088

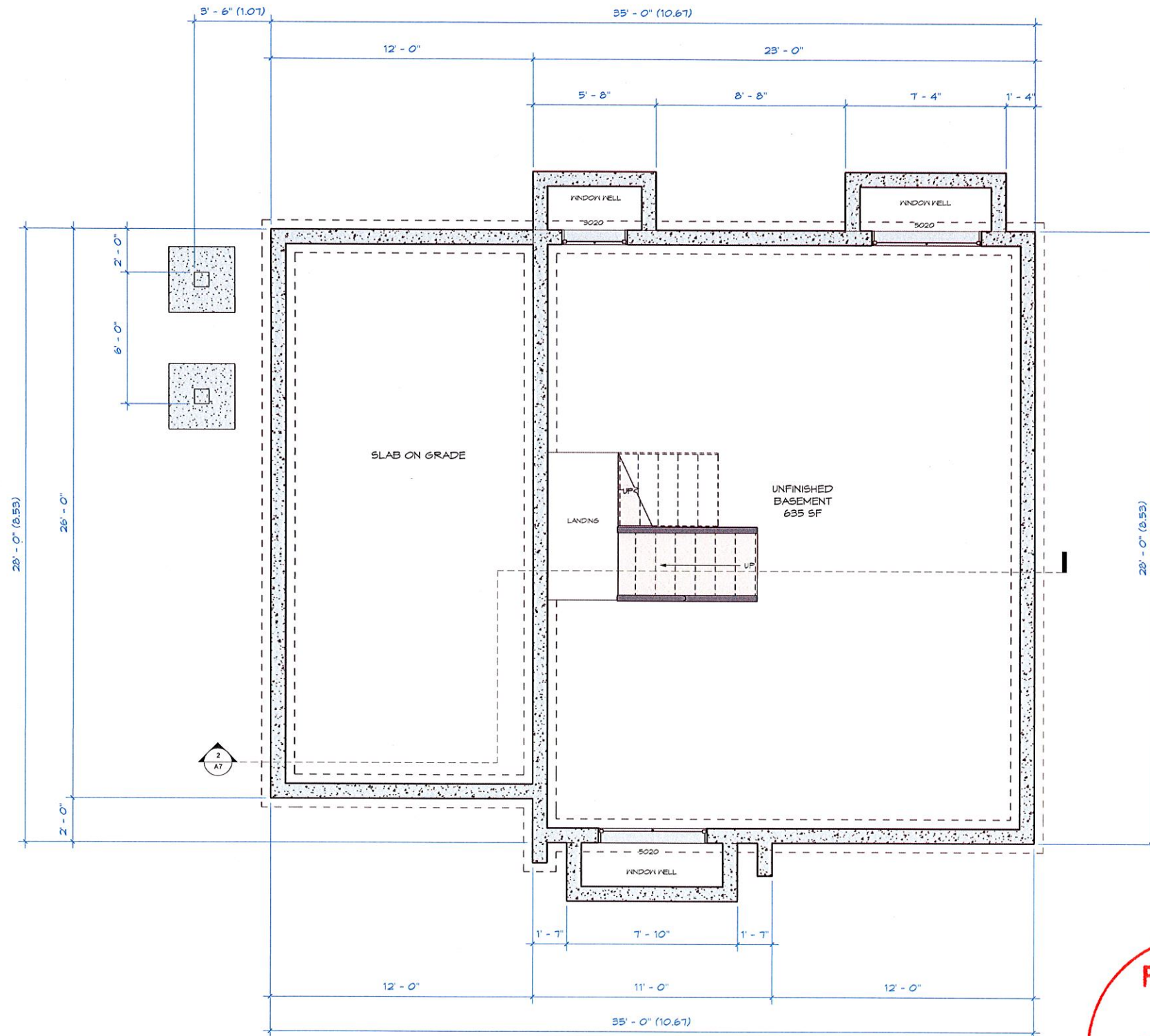
1198 MUNRO St.  
 Esquimalt, BC

Client:  
 Byron ROTGANS

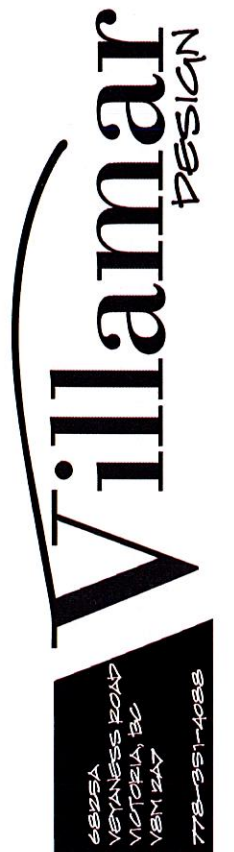
DATE:	ISSUED FOR:
REZONE	
Elevations	
SHEET ISSUE DATE	Sept. 17, 2018
PROJECT NUMBER	1809
DRAWN BY	AJK
CHECKED BY	DE
<b>A3</b>	
SCALE	1/4" = 1'-0"



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① Basement Plan  
3/8" = 1'-0"



1198 MUNRO St.  
Esquimalt, BC

Client:  
Byron ROTGANS

DATE: ISSUED FOR:

REZONE

Foundation Plan

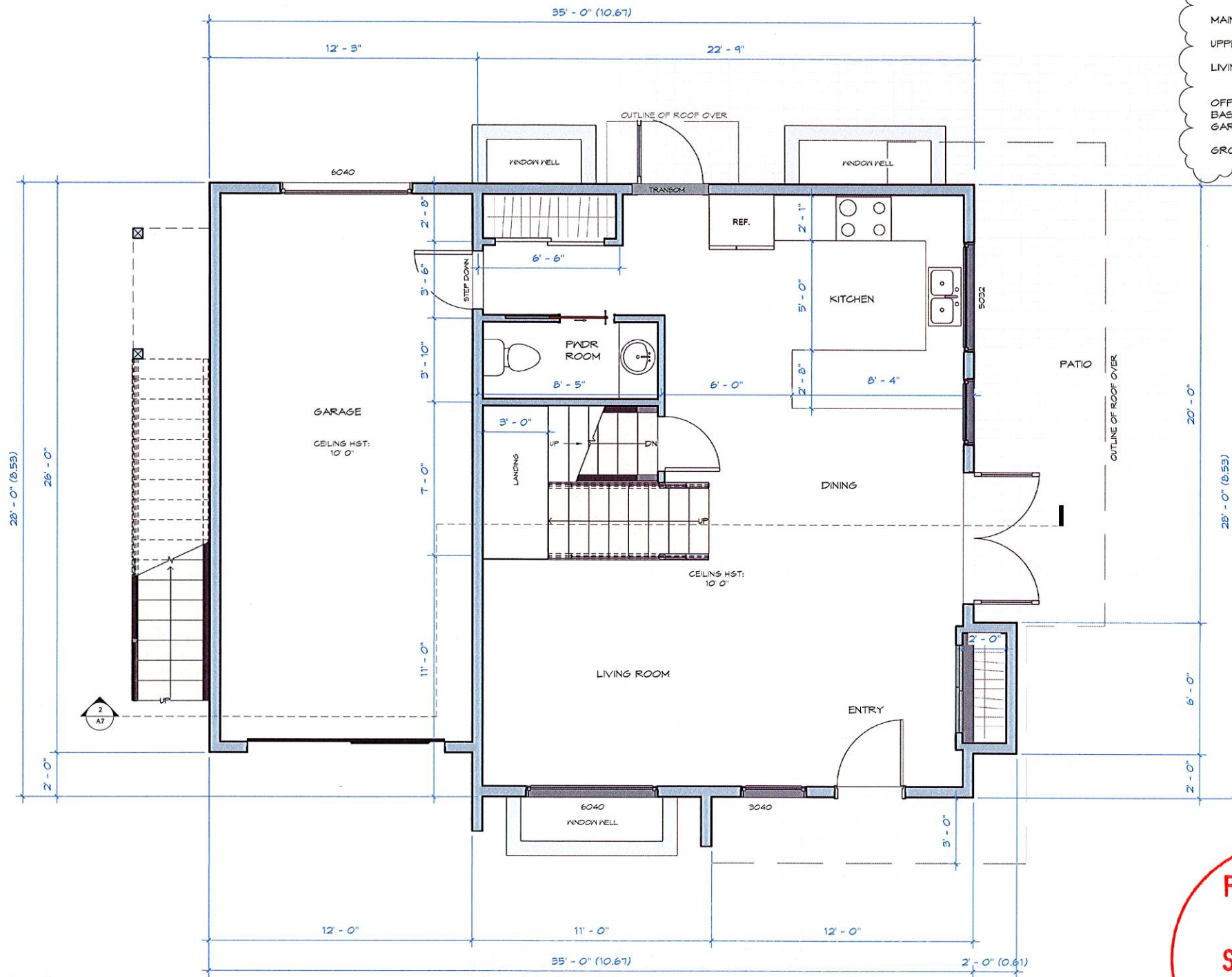
SHEET ISSUE DATE  
Sept. 17, 2018

PROJECT NUMBER 1809  
DRAWN BY AJM  
CHECKED BY DE

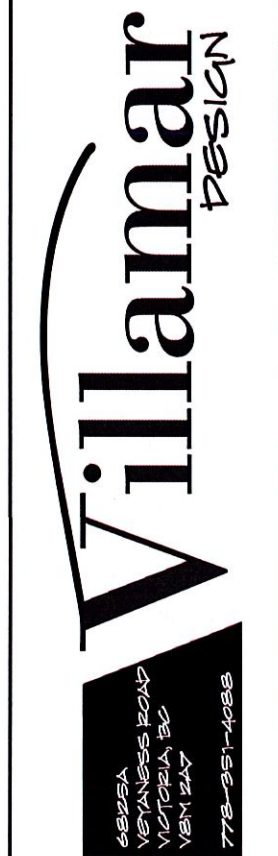
A4

SCALE 3/8" = 1'-0"

① Main Level  
3/8" = 1'-0"



FLOOR AREAS:		
	SqM.	SF
MAIN:	56.1	604
UPPER:	51.8	558
LIVING AREA TOTAL:	107.9	1162
OFFICE:	27.9	300
BASEMENT:	53.7	578 (exempt)
GARAGE:	26.8	288 (exempt)
GROSS AREA:	216.3	2328



1198 MUNRO St.  
Esquimalt, BC

Client:  
Byron ROTGANS

DATE:	ISSUED FOR:
Sept.17	Revised floor areas per Esquimalt

REZONE  
Main Floor Plan

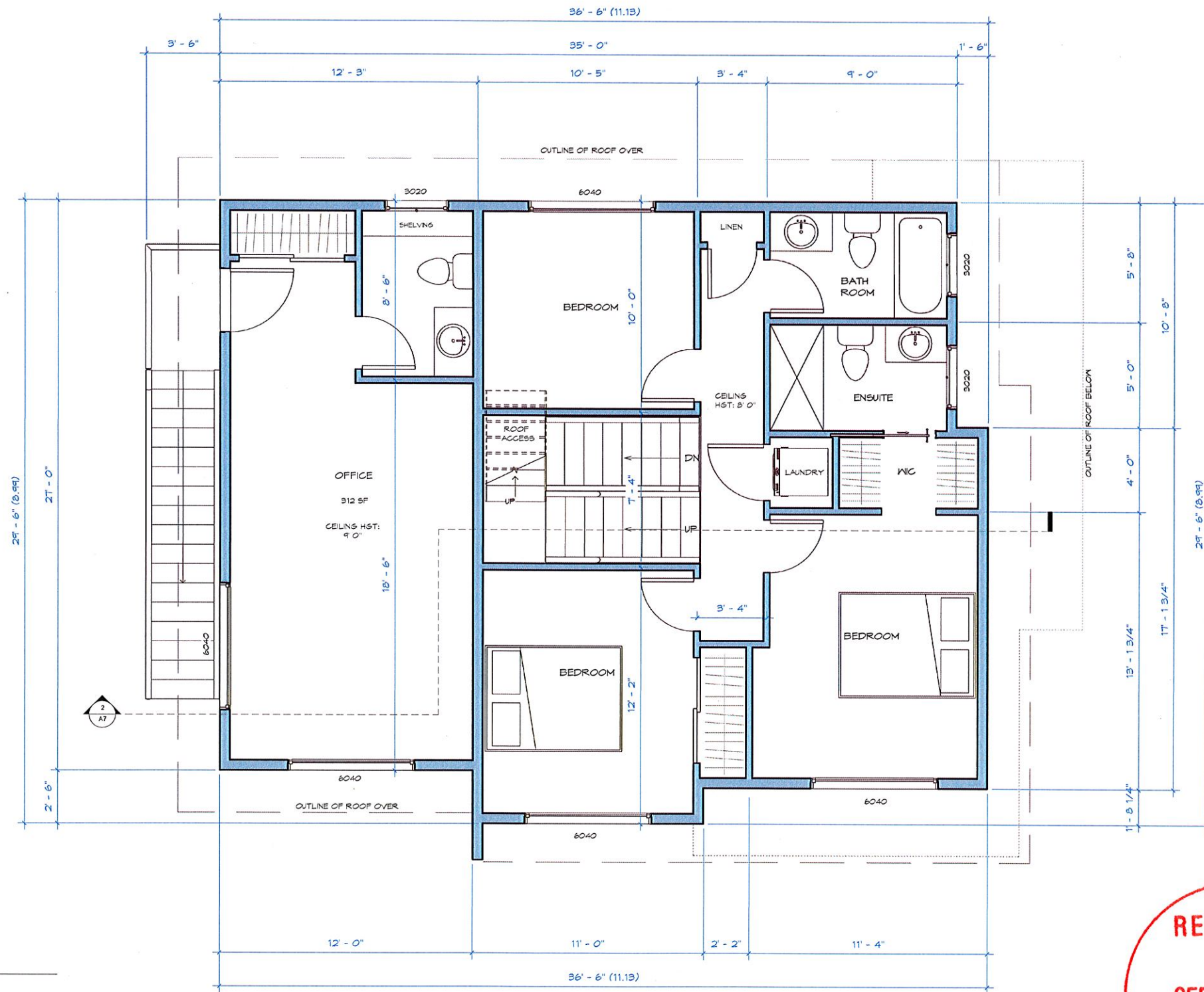
SHEET ISSUE DATE  
Sept. 17, 2018

PROJECT NUMBER: 1809  
DRAWN BY: AJM  
CHECKED BY: DE

A5  
SCALE: As indicated

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① Upper Level  
3/8" = 1'-0"



1198 MUNRO St.  
Esquimalt, BC

Client:  
Byron ROTGANS

DATE: ISSUED FOR:

REZONE  
Upper Floor Plan

SHEET ISSUE DATE  
Sept. 17, 2018

PROJECT NUMBER 1809  
DRAWN BY AJN  
CHECKED BY DE

A6  
SCALE As indicated



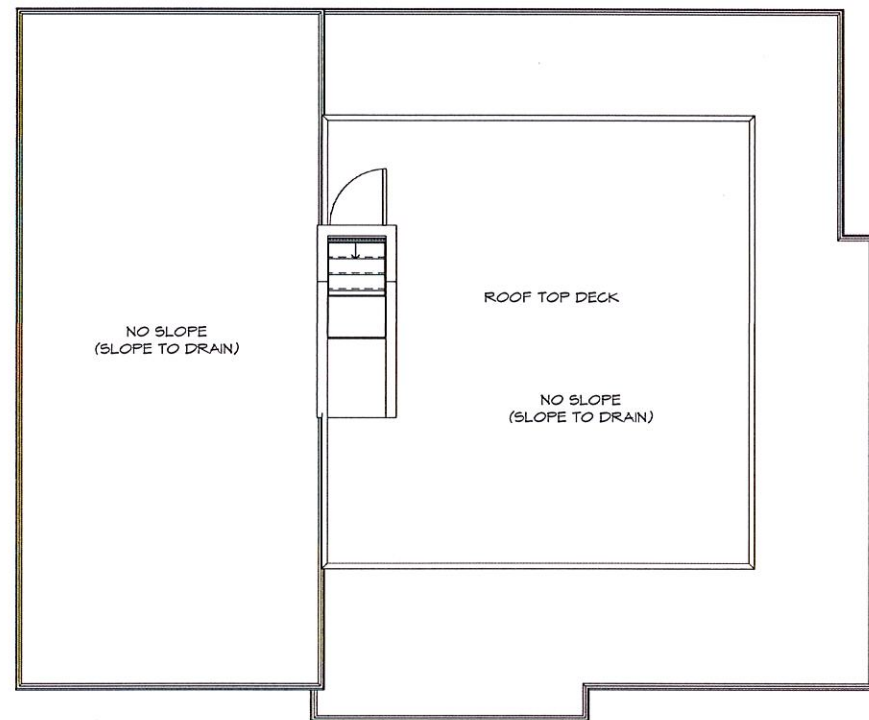
**ROOF AREAS:**

UPPER ROOF: 1300 SF  
 VERANDAH ROOFS: 234 SF  
 TOTAL: 1534 SF

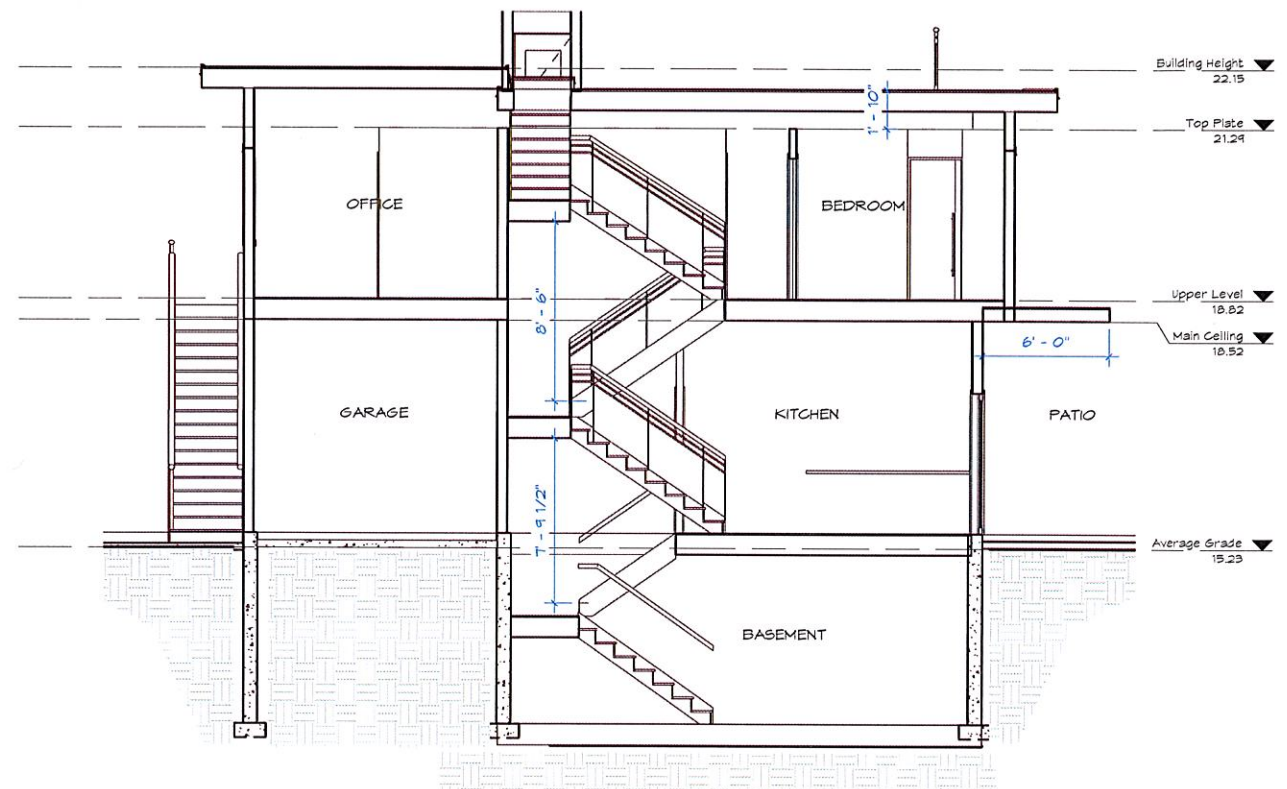
\* THIS IS FOR REFERENCE ONLY  
 AND MUST BE CONFIRMED BY  
 ROOFING CONTRACTOR.

**ROOF VENTILATION:**

- SUGGESTED INTAKE TO BE 3" CONTINUOUS SOFFIT SLOT, AS PER INTAKE RATE OF 1/300.
- SUGGESTED EXHAUST TO BE 1 BUR FLAT TOP VENTS, AS PER EXHAUST RATE OF 1/300.



① Roof Plan  
 1/4" = 1'-0"



② Section 1  
 1/4" = 1'-0"

**Villamar**  
 DESIGN

6875A  
 VERANESS ROAD  
 VICTORIA BC  
 V8M 5A7  
 778-351-4088

1198 MUNRO St.  
 Esquimalt, BC

Client:  
 Byron ROTGANS

DATE: ISSUED FOR:

REZONE

Roof Plan & Section

SHEET ISSUE DATE  
 Sept. 17, 2018

PROJECT NUMBER 1809  
 DRAWN BY AJM  
 CHECKED BY DE

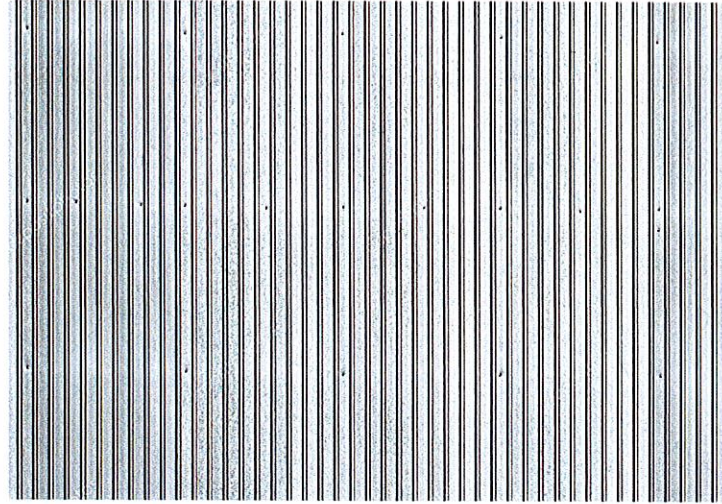
A7

SCALE 1/4" = 1'-0"

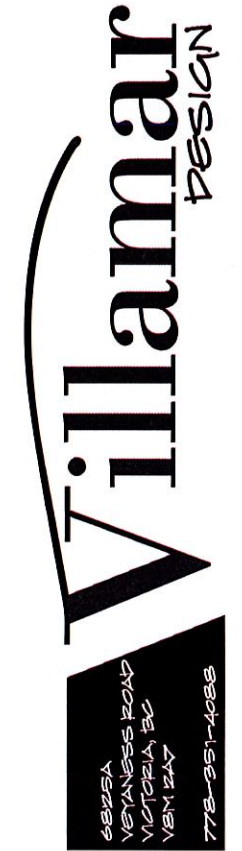
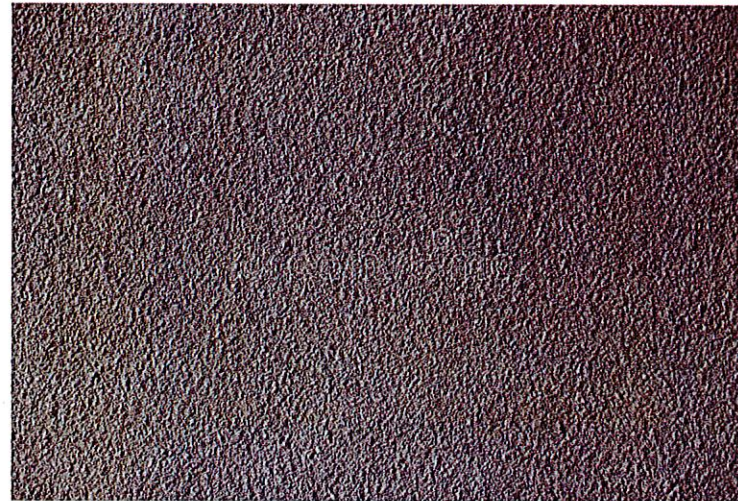


SIDING MATERIALS:

CORRUGATED SHEET METAL



GREY STUCCO



1198 MUNRO St.  
Esquimalt, BC

Client:  
Byron ROTGANS

DATE:	ISSUED FOR:
REZONE	
Siding Materials	
SHEET ISSUE DATE	Sept. 17, 2018
PROJECT NUMBER	1809
DRAWN BY	AJM
CHECKED BY	DE
A9	
SCALE	

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General Notes

Dimensions provided shall take preference over scale. Contractor to verify all dimensions of Building Designer and Consultant's drawings prior to work commencement.

Demolition

Contractor is liable to maintain the strength and stability of existing structure where renovations and/or additions are proposed, including but not limited to providing and installing all shoring and props to uphold existing construction.

Structural Design

Structural is based on criteria stated in Part 4 of the 2012 B.C. Building Code. Design live loads as follows, or as directed by Structural Engineer:

Table with 2 columns: Design load and value. Includes Design main floor load (41.8 p.s.f. / 2.00 kPa), Design bedroom floor load (41.8 p.s.f. / 2.00 kPa), Design decks and balconies (62.7 p.s.f. / 3.00 kPa), Design roof load (62.7 p.s.f. / 3.00 kPa).

For heavier snow loading, drawings must be revised.

All interior and exterior wall bracing to resist lateral loads to comply with B.C.B.C. 4.29.19, and to be designed by structural engineer unless noted elsewhere.

Concrete

All concrete used for footings and foundations is to be not less than 15 MPa @ 28 days unless otherwise noted. All concrete used for floors is to be not less than 20 MPa @ 28 days unless otherwise noted.

Rough Carpentry

All construction and materials to comply with the 'approved' current issue and amendments of C.N.C. and B.C.B.C. Pre-manufactured homes and walls to comply with B.C.B.C. and C.S.A. requirements.

FIRE SAFETY

All concealed spaces to be fireblocked in compliance with B.C.B.C. 4.10.16. Fire block materials to comply with B.C.B.C. 4.10.16.3.

Doors, Windows, & Skylights

All windows, doors, and skylights to meet the requirements laid forth in B.C.B.C. 4.17 and 4.36. All manufactured windows, doors and skylights to comply B.C.B.C. 4.4.11 (1)(a) and with A444024-VC24 1014.5.2 (A440) NAFS (North American Fenestration Standard) Application for Windows, Doors, and Skylights.

Table with 2 columns: Item and value. Includes Windows and Doors (U 0.32 - 1.60 USI), Front Entrance Door (U 0.46 - 2.60 USI), Glass Block (U 0.51 - 2.40 USI), Skylight (U 0.51 - 2.40 USI), Skylight shaft walls (R 15.14 - 2.78 RSI), Overhead Garage Doors (R 6.25 - 1.10 RSI).

Site built doors and windows to comply with B.C.B.C. 5.10.2 and 4.36.2.1(3). Flashing to be above all doors and windows not directly protected by eaves.

Stairs & Handrails

Stairs to be minimum of 36" wide. 3 3/4" max. rise, 11" min. tread, with 1" nosings. Handrails to be installed between 865mm and 965mm (34"-38") above tread nosing, or 36" above floor.

Crawlspaces

Crawl spaces to comply with 4.16. Heated crawl space ventilation to comply with B.C.B.C. 4.52.3.1. Contractor to ensure heated crawl space is vented into primary living space above by two (2) grilles of the sizes noted in Mechanical subsection.

Insulation and Vapour Barrier

Insulation to be continuous around all openings. Effective R-51 values are calculated using the Parallel Path Method, with all parts of the assembly taken into account.

Table with 2 columns: Item and value. Includes Trusses or Rafters with Ceiling Joists (R 34.24 - 6.91 RSI), Floors over unheated exterior spaces (R 26.52 - 4.67 RSI), Floors over Garages (R 25.61 - 4.51 RSI), Cathedral Vaults or Flat roofs (R 26.51 - 4.67 RSI), Exterior walls above grade (R 15.74 - 2.76 RSI), Between Garage and Primary Residence (R 14.68 - 2.62 RSI), Foundation walls below grade or < 600mm above grade (R 11.50 - 1.94 RSI), Heated Concrete Slabs (beneath entire slab) (R 19.17 - 2.32 RSI), Concrete Floor Slabs < 600mm below grade (R 11.19 - 1.96 RSI), Concrete Floor Slabs > 600mm below grade (N/A - N/A).

All 'rigid insulation' to be extruded polystyrene insulation. If contractor/builder uses expanded polystyrene insulation they must use equivalent RSI values as shown in the insulation table on this page and is to ensure correct RSI values are used.

Mechanical & Ventilation

Plumbing installation shall comply with B.C.B.C. Part 1, B.C.B.C. 4.31, 4.36.4, and the 'Canadian Electrical Code'. Plumbing contractor is to allow for (min.) 2 exterior hose bibs at convenient locations.

Electrical Panel

Electrical Facilities to comply with B.C.B.C. 4.34 and 4.36. All electrical facilities, panels, lighting and any fixed equipment shall comply with the Canadian Electrical Code, BCBC 4.34 and 4.36, and shall be installed by a certified electrician.

Secondary Suites

Secondary suites to comply with B.C.B.C. 4.37. Secondary suite to be heated by independent electric baseboard heating system. Secondary suite to have a separate Principal Exhaust Fan and Passive Supply Ventilation.

NAFS CALCULATIONS

Building and Site data

GEOGRAPHIC LOCATION: VICTORIA, BC; BUILDING HEIGHT: 10 M. & under; TERRAIN: Rough; CLASS: R (Residential)

Calculations

Minimum Performance Grade: 20; Minimum Positive Design Pressure: 960 PA; Minimum Negative Design Pressure: 960 PA; Minimum Water Penetration Resistance Test Pressure: 220 PA

EFFECTIVE R-VALUE FOR EXTERNAL WALLS ABOVE GRADE:

Table with 2 columns: Item and value. Includes Exterior Air Film (0.03), Sheet Metal Siding (0), 1/2" Rain Screen Air Cavity (0.15), Building Paper (0), 7/16" OSB Sheathing (0.11), R-20 Batt Insulation (2.36), 2x6 Studs @ 16" O.C. (RSIp=100/((23/1.19)+(77/3.34)) = 2.36), 6 MIL Poly VB (0), 1/2" Gypsum Board (0.08), Interior Air Film (0.11), RSI=2.84.

Values from Table A-9.36.2.4(1)D

EFFECTIVE R-VALUE FOR HOUSE TO GARAGE WALLS:

Table with 2 columns: Item and value. Includes Exterior Air Film (0.03), 1/2" Gypsum Board (0.08), R-20 Batt Insulation (2.36), 2x6 Wood Studs @ 16" O.C. (RSIp=100/((23/1.19)+(77/3.34)) = 2.36), 6 MIL Poly VB (0), 1/2" Gypsum Board (0.08), Interior Air Film (0.12), RSI=2.67.

Values from Table A-9.36.2.4(1)D

\*Since an enclosed space rating can be reduced by 0.16\*

EFFECTIVE R-VALUE FOR FOUNDATION WALLS:

Table with 2 columns: Item and value. Includes Damp proofing (0), 8" poured-in place Concrete (0), (2.5") R12 Rigid Insulation (2.11), RSI=2.11.

Values from Table A-9.36.2.4(1)D

EFFECTIVE R-VALUE FOR FLOOR OVER UNHEATED SPACE (OUTSIDE):

Table with 2 columns: Item and value. Includes Exterior Air Film (0.03), Aluminum Soffit (0.00), R31 Batt Insulation (4.70), 2x12 Wood Joists @ 16" O.C. (RSIp=100/((13/2.43)+(87/5.46)) = 4.70), 3/4" Sheathing (0.16), Interior Air Film (0.16), RSI=5.05.

Values from Table A-9.36.2.4(1)D

EFFECTIVE R-VALUE FOR UNHEATED FLOOR ABOVE FROST LINE:

Table with 2 columns: Item and value. Includes Interior Air Film (0.11), 4" poured-in place concrete (0), 2.5" R12 Rigid Insulation (2.11), Exterior Air Film (0.03), RSI=2.25.

Values from Table A-9.36.2.4(1)D

EFFECTIVE R-VALUE FLOOR OVER GARAGE:

Table with 2 columns: Item and value. Includes Exterior Air Film (0.03), 1/2" Gypsum Board (0.08), R-31 Batt Insulation (4.70), 2x12 Wood Joists @ 16" O.C. (RSIp=100/((13/2.43)+(87/5.46)) = 4.70), 3/4" Sheathing (0.16), Interior Air Film (0.12), RSI=5.131.

Values from Table A-9.36.2.4(1)D



1198 MUNRO St. Esquimalt, BC

Client: Byron ROTGANS



Table with 2 columns: Field and value. Includes DATE: ISSUED FOR:, SHEET ISSUE DATE: Sept. 17, 2018, PROJECT NUMBER: 1809, DRAWN BY: AJM, CHECKED BY: DE, REZONE, Notes & RSI, SCALE: 1/2" = 1'-0"

**Proposed Subdivision Plan Of:  
 Lot 1, Section 11,  
 Esquimalt District, Plan 44436.  
 P.I.D. 005-455-031**



Scale = 1:250

Dated this 5th day of July, 2018.

**Brent Mayenburg**  
**C5S1Z1**

Digitally signed by Brent Mayenburg C5S1Z1  
 DN: c=CA, cn=Brent Mayenburg C5S1Z1,  
 o=BC Land Surveyor, ou=Verify ID at  
 www.juricert.com/LKUP.cfm?id=C5S1Z1  
 Date: 2018.10.12 09:49:38 -07'00'

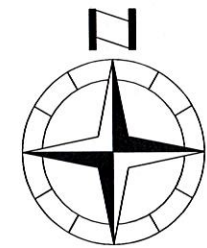
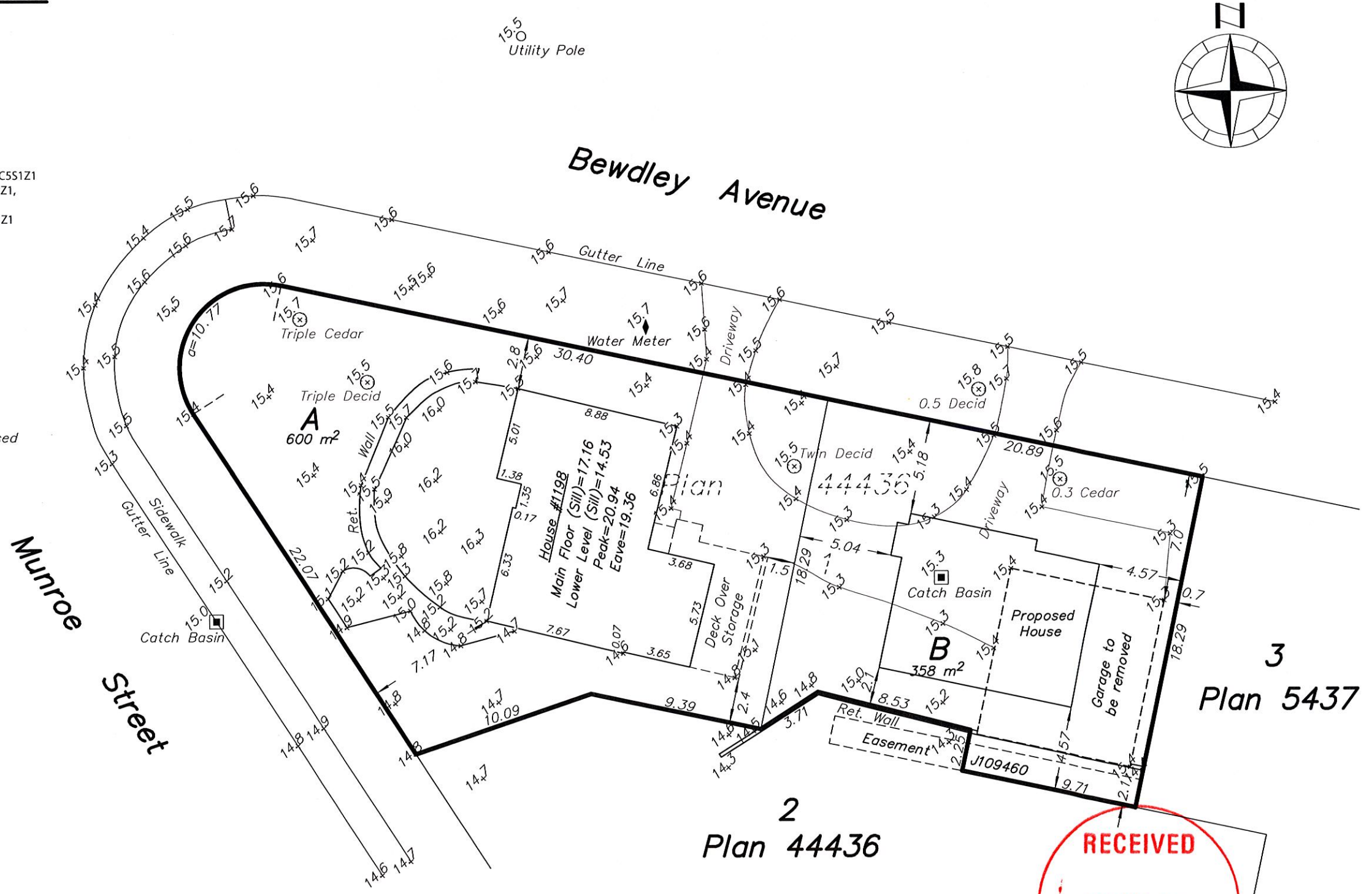
B.C.L.S. (Not valid unless originally signed & sealed)

Distances and elevations shown are in metres.

Elevations are based on geodetic datum CVD28BC  
 and derived from OCM 87H3781.

This site plan is for building and design purposes and is  
 for the exclusive use of our client.

This document shows the relative location of the surveyed  
 structures and features with respect to the boundaries of  
 the parcel described above. This document shall not be used  
 to define property lines or property corners.



The subject property is affected by  
 the following registered documents:  
J109460.

**Wey Mayenburg Land Surveying Inc.**  
 www.weysurveys.com  
 #4-2227 James White Boulevard  
 Sidney, BC V8L 1Z5  
 Telephone (250) 656-5155  
 File: 180193\SIT\GH



**2**  
**Plan 44436**

**3**  
**Plan 5437**



# CORPORATION OF THE TOWNSHIP OF ESQUIMALT

Municipal Hall, 1229 Esquimalt Road, Esquimalt, B.C. V9A 3P1  
Telephone (250) 414-7100 Fax (250) 414-7111

APC Meeting: October 16, 2018

## STAFF REPORT

**DATE:** October 11, 2018

**TO:** Chair and Members of the Advisory Planning Commission

**FROM:** Janany Nagulan, Planner  
Bill Brown, Director of Development Services

**SUBJECT: TEMPORARY USE PERMIT  
1237 Esquimalt Road  
PID: 006-386-423, Lot 273 VIP2854 Subsidy Lot 40 Esquimalt District Plan,  
Lot 274 Plan VIP2854 Subsidy Lot 40 Esquimalt Land District**

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### RECOMMENDATION:

The Esquimalt Advisory Planning Commission recommends to Council that the application for a Temporary Use Permit authorizing the site at 1237 Esquimalt Road [PID: 006-386-423, Lot 273 VIP2854 Subsidy Lot 40 Esquimalt District Plan, Lot 274 Plan VIP2854 Subsidy Lot 40 Esquimalt Land District] be temporarily used as a parking lot, be forwarded to Council with a recommendation to either **approve, approve with additional conditions or deny the application; and provide reasons for chosen recommendations.**

### BACKGROUND:

#### Purpose of the Application

The purpose of this Temporary Use Permit is to allow the site at 1237 Esquimalt Road be temporarily used as a parking lot. The proposed parking lot will have 26 parking stalls and will include one parking stall for persons with disabilities which will be paved for easy access and maneuvering. There will also be a parking space suitable for a food truck no larger than 18 foot long, to be located at the south east corner of the site. In addition there will be 2 planters to be added along the north lot line of the property and 2 at each end of the middle lane of parking stalls for a total 6 planters on the property.

The Esquimalt Official Community Plan and the Zoning Bylaw allow Council to consider approving a commercial or industrial land use on a temporary basis for a period up to 3 year, with appropriate notification (as required by the *Local Government Act*). If necessary, the temporary accessory land use may be permitted for a second term, however, only one renewal is permitted.

The *Local Government Act* allows the local government to 'specify conditions under which the temporary use may be carried on'. Staff is recommending the following conditions would form part of the Temporary Use Permit:



1. 'Parking Lot' means the use of public parking is allowed on the site at 1237 Esquimalt Road subject to the following conditions:

- a. That no more than 26 parking stalls shall be located on the site which includes one parking stall for persons with disabilities;
- b. There will be no more than one designated parking stall for a food truck no longer than 18 foot long;
- c. That no trucks with a Gross Vehicle Weight over 1500 kg, no semi-trailers or tandem axle trucks, shall be parked on the site except for one Food Truck which will be permitted in the designated food truck parking area;
- d. Access to the site may be permitted 24 hours a day 7 days a week. However parking is limited to two hours;
- e. No washing or maintenance of vehicles is allowed on the site;
- f. No fuel storage, or storage of waste fluids for the vehicles is allowed on the site;
- g. No parking or storage of vehicles containing 'dangerous goods', as defined by the *Transport of Dangerous Goods Act* allowed on the site;
- h. Permit shall be valid until \_\_\_\_\_, 2021 [3 years from the date of approval];
- i. The 'Parking Lot' use shall be removed from the site within forty-eight [48] hours of the expiry of the Temporary Use Permit;

### **Context**

**Owner/ Applicant:** Laurie Hurst (Township of Esquimalt)

**Property Size:** Metric: 488.47 m<sup>2</sup>                      Imperial: 5257.85 ft<sup>2</sup>

**Existing Land Use:** Vacant

**Surrounding Land Uses:**

**North:** Commercial

**South:** Institutional

**East:** Vacant

**West:** Commercial

**Existing Zoning:** C-3 [Core Commercial]

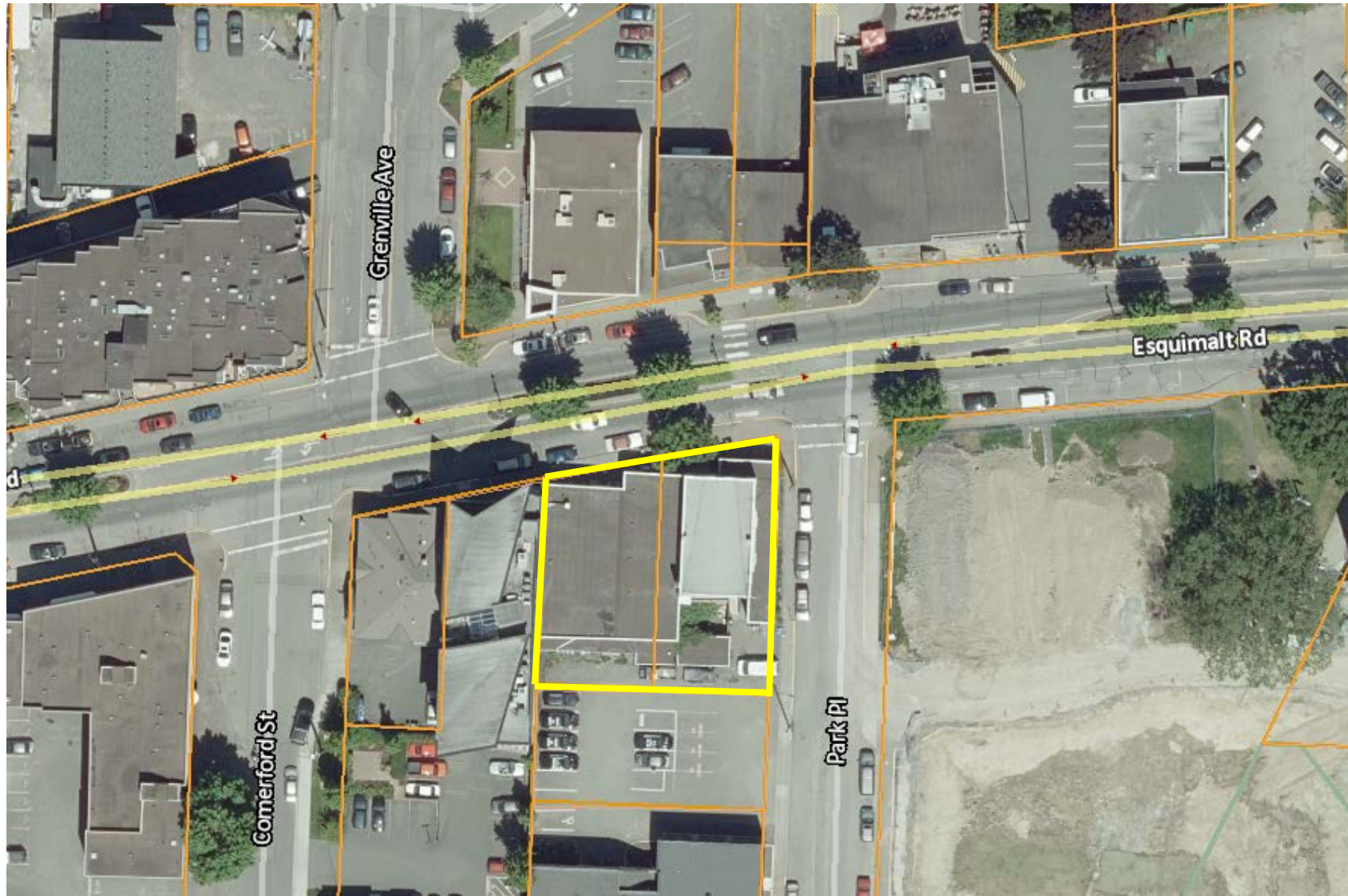
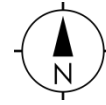
### **PUBLIC NOTIFICATION:**

As this application includes a Temporary Use Permit application, should it proceed to Council, a notice will be mailed to tenants and owners of properties within 100 metres (328 feet) of the subject property. A notice would also be placed in one edition of the Victoria News; as required by the *Local Government Act*.

**ALTERNATIVES:**

1. Forward the application for a Temporary Use Permit to Council with a **recommendation of approval.**
2. Forward the application for a Temporary Use Permit to Council with a **recommendation of approval with additional conditions.**
3. Forward the application for a Temporary Use Permit to Council with a **recommendation of denial.**

1237 Esquimalt Road



Reference Plan of  
 Lot A, Suburban Lot 40, Esquimalt District, Plan 31764

Pursuant to Section 100(1)(a) of the Land Title Act

BCGS 92B.043



All distances are shown in metres.

The intended plot size of this plan is 432mm in width by 560mm in height (C size) when plotted at a scale of 1:400.

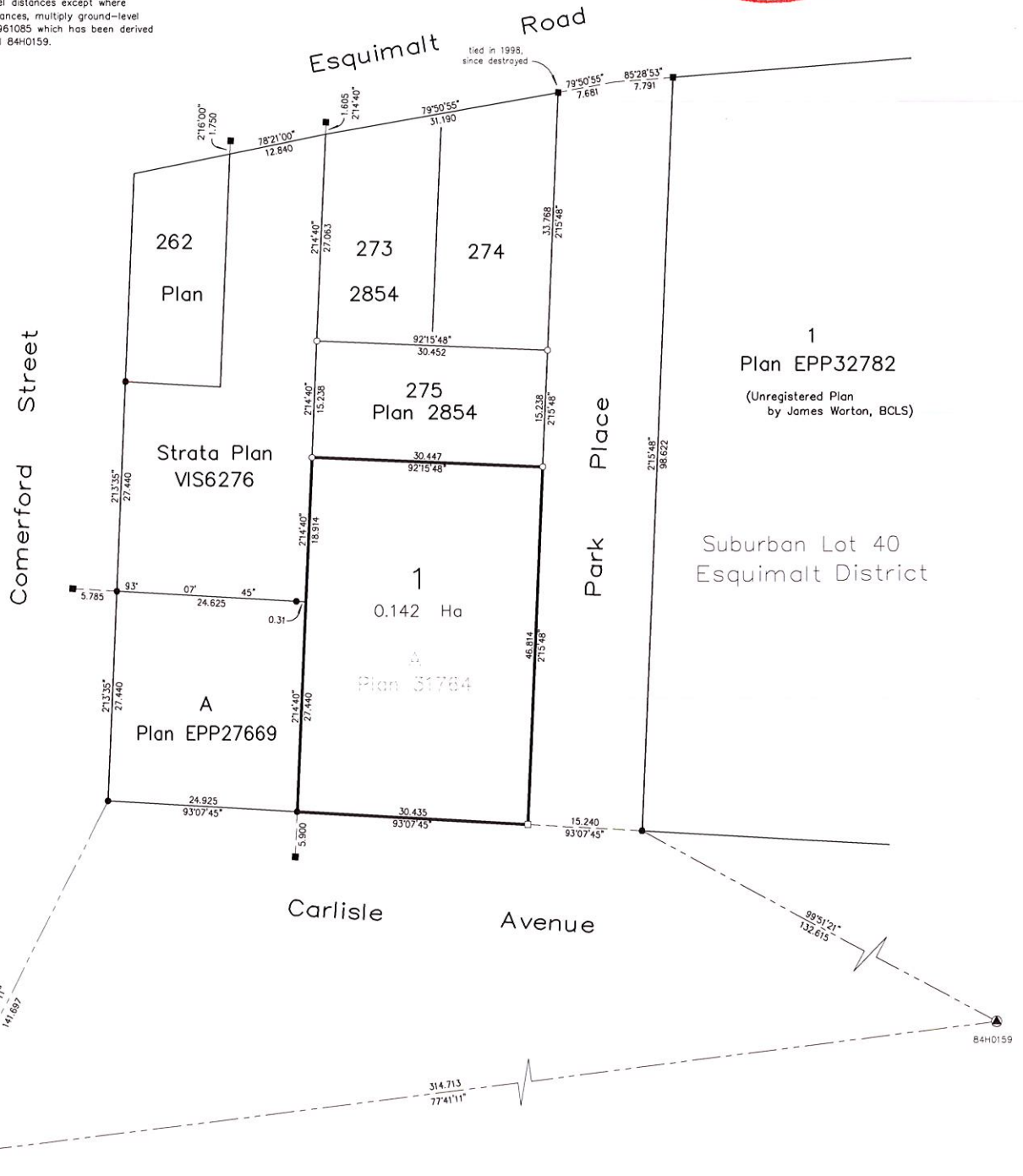
**LEGEND**

Integrated Survey Area No. 38, Township of Esquimalt, NAD83 (CSRS).

Grid bearings are derived from observations between geodetic control monuments 84H0148 and 84H0159.

This plan shows horizontal ground-level distances except where otherwise noted. To compute grid distances, multiply ground-level distances by combined factor of 0.99961085 which has been derived from control monuments 84H0148 and 84H0159.

Found	Set	Denotes
●	○	Standard Iron Post
■	□	Standard Lead Plug
▲		Control Monument



1  
 Plan EPP32782  
 (Unregistered Plan  
 by James Worton, BCLS)

Suburban Lot 40  
 Esquimalt District

1  
 0.142 Ha  
 A  
 Plan 31764

Strata Plan  
 VIS6276

A  
 Plan EPP27669

262  
 Plan

273  
 2854

274

275  
 Plan 2854

This plan lies within the  
 Capital Regional District.

The field survey represented by this plan was  
 completed on the 9th day of September, 2013.  
 James Worton, BCLS 757

File : 11621 REF03-19

POWELL & ASSOCIATES  
 B C Land Surveyors  
 250-2950 Douglas Street  
 Victoria, BC V8T 4N4  
 phone (250) 382-8855



# Electronic Quote

**Date :** May 5, 2015  
**To :** Rick Daykin - Corporation of the Township of Esquimalt via e-mail  
**From :** Tetie Ma for Dave Warner  
**Subject :** **Victor Stanley Quote - Fiberglass Planters - Updated**

Dear Rick,

Thank you for the opportunity to provide pricing on the following items. Below are the details of your quote.

<u>Qty.</u>	<u>Model #</u>	<u>Description</u>	<u>Price</u>
2	Urban-3027Q Square Planter	Victor Stanley Fiberglass Series 30-in width x 27-in height, 55lbs, black matte finish @ \$1,537 each	\$3,074.00
4	Urban-2X433 Long Planter	Victor Stanley Fiberglass Series 24 x 48-in width x 33-in height, 75lbs, black matte finish @ \$2,196 each	<u>\$8,784.00</u>
<b>Subtotal</b>			<b>\$11,858.00</b>
GST @ 5%			\$592.90
PST @ 7%			\$830.06
Total			\$13,280.96

Listed taxes (GST & PST) are applicable and need to be paid by the purchaser.

Pricing includes items in manufacturer's standard finishes and colours.

Pricing includes freight cost to Esquimalt, BC and is based on the above items shipping together. Please note that some assembly may be required. Quotation does not include off-loading or installation. Pricing is valid for 30 days. Credit application may be required. Delivery is approximately 8-12 weeks.

If you wish to place an order, please sign where indicated below and fax back to our office toll free to 1 (866) 294-4002.

Signature of Acceptance: \_\_\_\_\_ Date: \_\_\_\_\_

Name: \_\_\_\_\_ PO #: \_\_\_\_\_

Delivery Address: \_\_\_\_\_

Installation Address: \_\_\_\_\_

Invoicing Address: \_\_\_\_\_

If you require any additional information or have any questions, please call toll free to 1 (866) 422-4828.

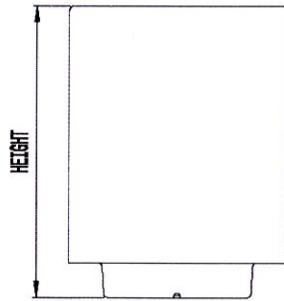
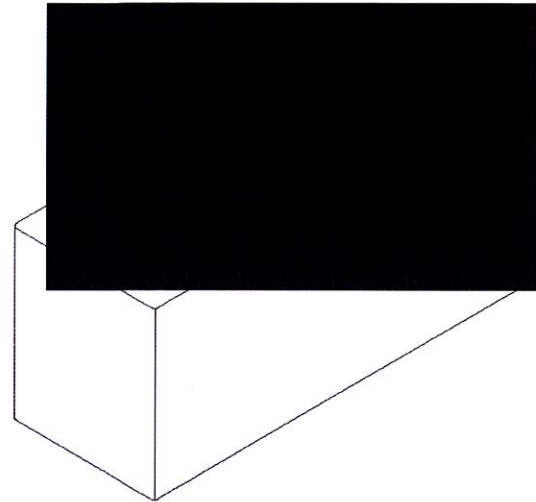
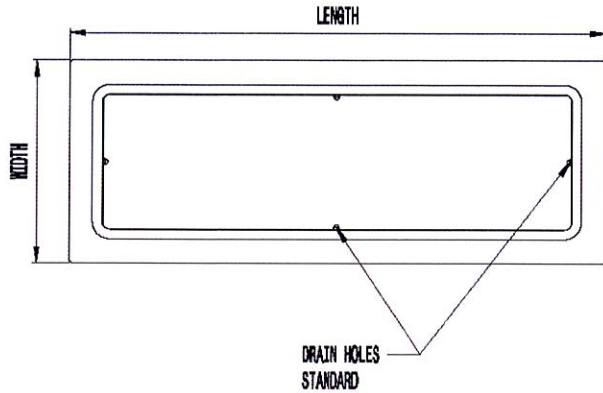
Regards,  
Habitat Systems Inc.

Tetie Ma  
Client Services  
tma@habitat-systems.com



P.O. DRAWER 330 - DUNKIRK, MD 20754 USA  
 TOLL FREE: (800) 368-2573 (USA & CANADA)  
 TEL (301) 855-8300 - FAX (410) 257-7579  
 WEB SITE: HTTP://WWW.VICTORSTANLEY.COM

\* ALL DIMENSIONS ARE IN INCHES \*



SIZING CHART								
WIDTH	LENGTH			HEIGHT				
12	48	60	72	21		24		
15	36			21	24	27		
18	48	60	72	21	24	27	33	
24	48	60	72	96	21	24	27	33
30	60	72	96	21	24	27	33	39
48	72			21	24	27	33	39

AVAILABLE OPTIONS:

FINISHES

WATTE OR GRAIN

COLORS: BLACK, ESPRESSO, GINGER, MUSHROOM, PEBBLE, SANDAL, SPRUCE

METALLIC

COLORS: BRONZE, SILVER, WARM SILVER

COARSE

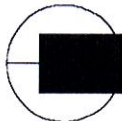
COLORS: AVENUE, FAWN, HEATHER, RIVER BED, SAND

FEATURES

AVAILABLE WITH DRAIN HOLE REMOVAL (NOT RECOMMENDED FOR COLD CLIMATES), CONCEALED CASTERS, FIRE-RETARDANT RESIN, COLORED BASE, AND FALSE BOTTOM WITH DRAIN HOLES REMOVED

NOTES:

1. DRAWINGS NOT TO SCALE. DO NOT SCALE DRAWINGS.
2. HANDMADE USING APPLIED LAYERS OF GLASS-FIBER REINFORCED THERMOSETTING RESIN. SEAMLESS CONSTRUCTION.
3. EACH PLANTER IS DESIGNED AND CONSTRUCTED WITH ENOUGH STRUCTURAL REINFORCEMENT TO MINIMIZE WALL DEFLECTION AND TO ACCOMMODATE THE PROPORTIONAL WEIGHT OF A PLANTED TREE.
4. ALL SPECIFICATIONS ARE SUBJECT TO CHANGE. CONTACT MANUFACTURER FOR DETAILS.
5. THIS PRODUCT IS SHIPPED FULLY ASSEMBLED.



**URBAN**

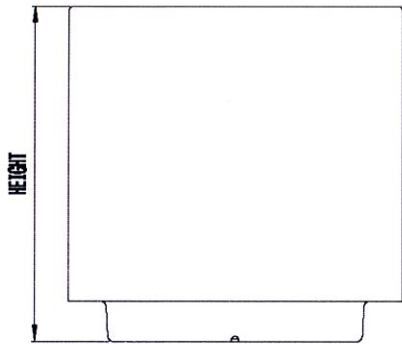
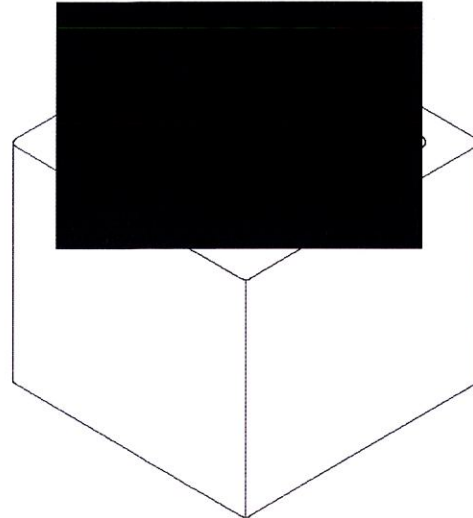
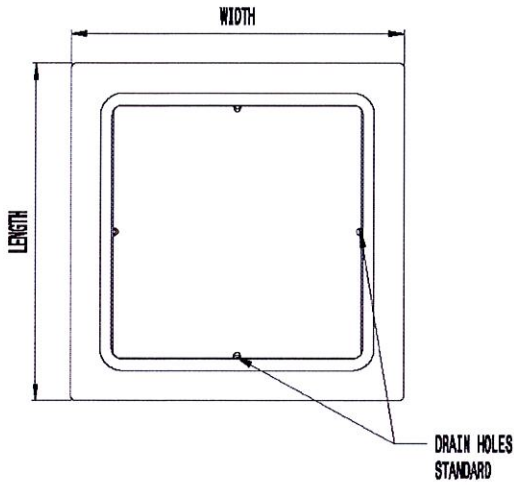
FIBERGLASS SERIES

THERMOSETTING RESIN FIBERGLASS PLANTER  
 SHOWN: LONG PLANTER  
 STANDARD DRAIN HOLES



P.O. DRAWER 330 - DUNKIRK, MD 20754 USA  
 TOLL FREE: (800) 368-2573 (USA & CANADA)  
 TEL (301) 855-8300 - FAX (410) 257-7579  
 WEB SITE: HTTP://WWW.VICTORSTANLEY.COM

\* ALL DIMENSIONS ARE IN INCHES \*



SIZING CHART								
WIDTH	LENGTH	HEIGHT						
24	24	21	24	27	33	36	39	42
30	30	21	24	27	33	36	39	42
36	36	21	24	27	33	36	39	42
42	42	21	24	27	33	36	39	42
48	48	24	27	33	36	39	42	48
60	60	24	27	33	36	39	42	60
72	72	21	24	27	33	36	39	42
96	96	24	27	33	36	39	42	96

AVAILABLE OPTIONS:

FINISHES

MATTE OR GRAIN

COLORS: BLACK, ESPRESSO, GINGER, MUSHROOM, PEBBLE, SANDAL, SPRUCE

METALLIC

COLORS: BRONZE, SILVER, WARM SILVER

COARSE

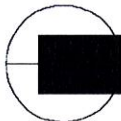
COLORS: AVENUE, FAWN, HEATHER, RIVER BED, SAND

FEATURES

AVAILABLE WITH DRAIN HOLE REMOVAL (NOT RECOMMENDED FOR COLD CLIMATES), CONCEALED CASTERS, FIRE-RETARDANT RESIN, COLORED BASE, AND FALSE BOTTOM WITH DRAIN HOLES REMOVED

NOTES:

1. DRAWINGS NOT TO SCALE. DO NOT SCALE DRAWINGS.
2. HANDMADE USING APPLIED LAYERS OF GLASS-FIBER REINFORCED THERMOSETTING RESIN. SEAMLESS CONSTRUCTION.
3. EACH PLANTER IS DESIGNED AND CONSTRUCTED WITH ENOUGH STRUCTURAL REINFORCEMENT TO MINIMIZE WALL DEFLECTION AND TO ACCOMMODATE THE PROPORTIONAL WEIGHT OF A PLANTED TREE.
4. ALL SPECIFICATIONS ARE SUBJECT TO CHANGE. CONTACT MANUFACTURER FOR DETAILS.
5. THIS PRODUCT IS SHIPPED FULLY ASSEMBLED.

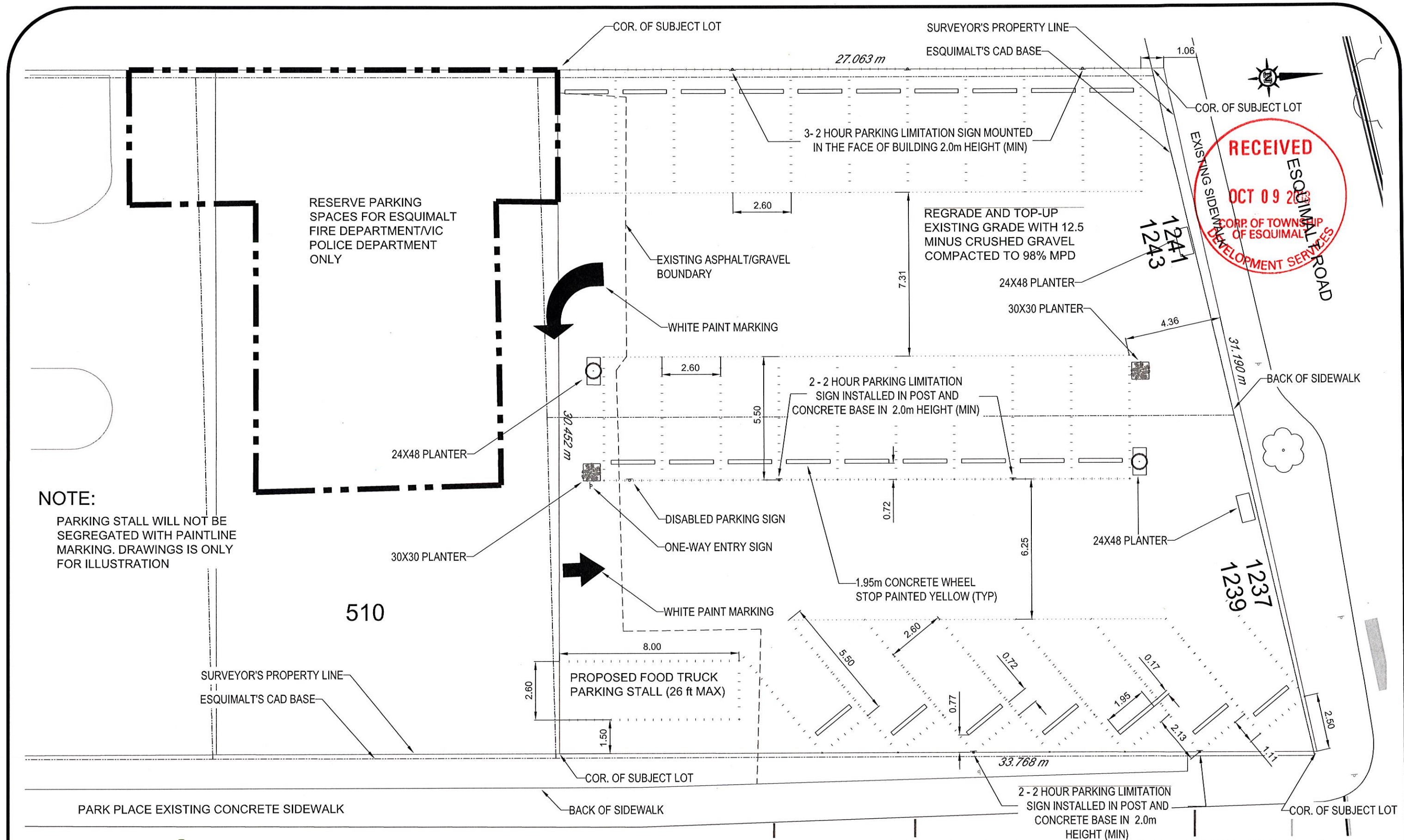


**URBAN**

FIBERGLASS SERIES

THERMOSETTING RESIN FIBERGLASS PLANTER  
 SHOWN: SQUARE PLANTER  
 STANDARD DRAIN HOLES





**NOTE:**  
 PARKING STALL WILL NOT BE SEGREGATED WITH PAINTLINE MARKING. DRAWINGS IS ONLY FOR ILLUSTRATION

RECEIVED  
 OCT 09 2013  
 CORP OF TOWNSHIP OF ESQUIMALT  
 DEVELOPMENT SERVICES

CONFIRM UNDERGROUND LOCATIONS WITH UTILITY COMPANIES			LEGEND - Existing services shown solid										REVISIONS			REVISIONS APPROVED			DESIGN APPROVED			TOWNSHIP OF ESQUIMALT 1237 ESQUIMALT PARKING																																
UTILITY	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	DATE	SIGNATURE	DESIGN DWG. NO.	SHEET #	TOTAL SHEETS																													
CURB	---	SIDEWALK	S/W	TREE	⊗	ELECTRIC POLE	⊙	TEL POLE	⊙	SURVEY MONUMENT	⊕	DRAIN	---	DRAIN MANHOLE	⊕	CATCH BASIN	⊕	DRAIN CLEANOUT	⊕	DRAIN VENT	⊕	IRON PIN	⊕	GAS	---	GAS VALVE	⊕	GAS SNIFFER	⊕	GAS METER	⊕	STREET LIGHT	⊕	LEAD PLUG	⊕	SEWER	---	SEWER MANHOLE	⊕	SEWER LAMPHOLE	⊕	SEWER CLEANOUT	⊕	SEWER VENT	⊕	TRAVERSE HUB	⊕	DESIGN ENG.		CONTROL MONUMENTS	NOT APPLICABLE			
WATER	---	WATER VALVE	⊕	FIRE HYDRANT	⊕	WATER METER	⊕	SERVICE VALVE	⊕	P.K. NAIL	⊕	ELECTRICAL	---	WATER VALVE	⊕	FIRE HYDRANT	⊕	WATER METER	⊕	SERVICE VALVE	⊕	P.K. NAIL	⊕	ASSIST. ENG.		DESIGN	EPS	DRAWN	EPS	SURVEY	DATE			Sheet #	1 OF 1																			