



CORPORATION OF THE TOWNSHIP OF ESQUIMALT

ADVISORY PLANNING COMMISSION

AGENDA

TUESDAY JUNE 18, 2019

7:00 P.M.

COUNCIL CHAMBER, MUNICIPAL HALL

-
- I. CALL TO ORDER
 - II. LATE ITEMS
 - III. ADOPTION OF AGENDA
 - IV. ADOPTION OF MINUTES – May 21, 2019
 - V. STAFF REPORTS

- 1) REZONING APPLICATION

1072 Colville Road

[PID 005-541-885, Lot 13, Block 12, Section 10, Esquimalt District, Plan 5241]

Purpose of Application:

The applicant is requesting a change in zoning from the current RS-1 zone [Single Family Residential] to a Comprehensive Development District zone [CD] to permit a new duplex. The existing single family dwelling must be demolished before the new duplex is constructed. There is a rezoning application for the property west of the subject property, at 1076 Colville Road. The rezoning application was submitted by the same owner for the same purpose however it will be rezoned separately.

Evaluation of this application should focus on issues relevant to zoning such as the appropriateness of the proposed uses, height, density, massing, proposed unit sizes, siting, setbacks, lot coverage, useable open space, parking, how the building relates to surrounding sites; and consistency with the overall direction contained within the Official Community Plan.

The site is located within the following Development Permit areas: Development Permit Area No. 1 – Natural Environment, No. 3 – Enhance Design Control Residential, No. 7 Energy Conservation and Greenhouse Gas Reduction and No. 8 – Water Conservation of the Township's Official Community Plan. If the application for rezoning is approved, a Development Permit governing the form and character of the buildings, landscaping, and consistency with guidelines relating to natural environment protection, energy conservation, green house gas reduction and water conservation would be considered by Council at a future date.

Recommendation:

The Esquimalt Advisory Planning Commission recommends to Council that the application for rezoning, authorizing one new duplex on the property in accordance with Site Plan prepared by McIlvaney Riley Land Surveying Inc. stamped "Received May 10, 2019" and be consistent with architectural plans provided by Adapt Design stamped "Received April 17, 2019" for the proposed development to be located at 1072 Colville Road [PID 005-541-885, Lot 13, Block 12, Section 10, Esquimalt District, Plan 5241] be forwarded to Council with a recommendation **to either approve, approve with conditions, or deny the application; and provide reasons for the chosen recommendation.**

2) REZONING APPLICATION

1076 Colville Road

[PID 000-716-901, Lot 12 Block 12 Section 10 Esquimalt District Plan 5241]

Purpose of the Application:

The applicant is requesting a change in zoning from the current RS-1 zone [Single Family Residential] to a Comprehensive Development District zone [CD] to permit a new duplex. The existing single family dwelling must be demolished before the new duplex is constructed. There is a rezoning application for the property east of the subject property, at 1072 Colville Road. The rezoning application was submitted by the same owner for the same purpose however it will be rezoned separately.

Evaluation of this application should focus on issues relevant to zoning such as the appropriateness of the proposed uses, height, density, massing, proposed unit sizes, siting, setbacks, lot coverage, useable open space, parking, how the building relates to surrounding sites; and consistency with the overall direction contained within the Official Community Plan.

The site is located within the following Development Permit areas: Development Permit Area No. 1 – Natural Environment, No. 3 – Enhance Design Control Residential, No. 7 Energy Conservation and Greenhouse Gas Reduction and No. 8 – Water Conservation of the Township’s Official Community Plan. If the application for rezoning is approved, a Development Permit governing the form and character of the buildings, landscaping, and consistency with guidelines relating to natural environment protection, energy conservation, green house gas reduction and water conservation would be considered by Council at a future date.

Recommendation:

The Esquimalt Advisory Planning Commission recommends to Council that the application for rezoning, authorizing one new duplex on the property in accordance with Site Plan prepared by prepared by McIlvaney Riley Land Surveying Inc. stamped “Received May 10, 2019” and be consistent with architectural plans provided by Adapt Design stamped “Received April 17, 2019” for the proposed development to be located at 1076 Colville Road [PID 000-716-901, Lot 12 Block 12 Section 10 Esquimalt District Plan 5241] be forwarded to Council with a recommendation **to either approve, approve with conditions, or deny the application; and provide reasons for the chosen recommendation.**

3) REZONING APPLICATION

1048 Tillicum Road

[Lot D, Section 10, Esquimalt District, Plan 11683]

Purpose of the Application:

The applicant is requesting a change in zoning from the current RD-1 [Two Family Residential] zone to a Comprehensive Development District Zone [CD] to accommodate the proposed five strata townhouse residences to be constructed in two buildings on the subject property.

The existing duplex would be demolished and the five new dwelling units would be constructed. Specific form and character issues relating to the aesthetics of the building, such as cladding materials, window materials, railings, fencing, doorways, streetscape improvements and detailed landscaping will be evaluated in a separate application for Development Permit should this rezoning application be approved by Council.

Evaluation of this application should focus on issues relevant to zoning such as the appropriateness of the proposed height, density and massing, proposed unit sizes, siting, setbacks, lot coverage, useable open space, how the building relates to adjacent and surrounding sites and whether the proposed uses are appropriate and consistent with the overall direction contained within the Official Community Plan.

Recommendation:

That the Esquimalt Advisory Planning Commission [APC] recommends that the application for rezoning to authorize development of five (5) Townhouse Residential units as sited on the survey plan prepared by Glen Mitchel Land Surveying Inc. and incorporating the height and massing consistent with the architectural plans provided by Zebra Design , both stamped “Received May 9, 2019”, detailing the development proposed to be located at 1048 Tillicum Road [Lot D, Section 10, Esquimalt District, Plan 11683], **be forwarded to Council with a recommendation to either approve, approve with conditions, or deny the application including reasons for the chosen recommendation.**

4) REZONING APPLICATION

829 Admirals Road

PID 001759817; Lot A, Section 10, Esquimalt District, Plan 28540, except part in Plan VIP86936

Purpose of the Application:

This rezoning application is to allow for the retail sale of cannabis in an existing building. The applicant proposes to rezone the property at 829 Admirals Rd. to a site specific (CD) zone. The proposal is for Unit C, on the ground floor of a mixed use building.

Evaluation of this application should focus on issues relevant to a change in zoning; such as the appropriateness of the proposed uses, the fit with the neighbourhood, parking, pedestrian and vehicle traffic levels, and consistency with the overall direction contained within the Official Community Plan.

Recommendation:

The Esquimalt Advisory Planning Commission recommends that the application for rezoning to allow for the operation of a Cannabis Sales Store, consistent with the site plan prepared by JE Anderson and Associates, stamped “Received May 6, 2019” be forwarded to Council with a recommendation to either **approve, approve with conditions, or deny the application; including reasons for the chosen recommendation.**

5) REZONING APPLICATION

1314-1322 Esquimalt Road

PID 002-535-939; Lot A, Suburban Lot 38, Esquimalt District, Plan 27046

Purpose of the Application:

This rezoning application is to allow for the retail sale of cannabis in an existing building. The applicant proposes to rezone the property at 1314-1322 Esquimalt Rd. to a site specific (CD) zone. The proposal is for Unit A, on the ground floor of a mixed use building.

Evaluation of this application should focus on issues relevant to a change in zoning; such as the appropriateness of the proposed uses, the fit with the neighbourhood, parking, pedestrian and vehicle traffic levels, and consistency with the overall direction contained within the Official Community Plan.

Recommendation:

The Esquimalt Advisory Planning Commission recommends that the application for rezoning to allow for the operation of a Cannabis Sales Store at 1318A Esquimalt Rd., consistent with the site plan prepared by EDDA Creative, stamped “Received June 7, 2019” be forwarded to Council with a recommendation to either **approve, approve with conditions, or deny the application; including reasons for the chosen recommendation.**

VI. ADJOURNMENT



CORPORATION OF THE TOWNSHIP OF ESQUIMALT

**ADVISORY PLANNING COMMISSION
MINUTES OF MAY 21, 2019
COUNCIL CHAMBERS, MUNICIPAL HALL**

PRESENT: Graeme Dempster Helen Edley
Fil Ferri Chris Munkacsi
Michael Angrove Marie Fidoe

STAFF: Bill Brown, Director of Development Services, Staff Liaison
Trevor Parkes, Senior Planner
Alex Tang, Planner
Janany Nagulan, Planner
Fred Billingham, Planning Technician

REGRETS: Duncan Cavens

COUNCIL LIAISON: Councillor Meagan Brame
Councillor Jacob Helliwell

I. CALL TO ORDER

Graeme Dempster, Chair, called the Advisory Planning Commission meeting to order at 7:05 p.m.

II. LATE ITEMS

There were no late items

III. APPROVAL OF THE AGENDA

Moved by Helen Edley, seconded by Chris Munkacsi: That the agenda be approved as circulated.
Carried Unanimously

IV. ADOPTION OF MINUTES

Moved by Fil Ferri seconded by Helen Edley: That the minutes of April 16, 2019 be adopted as circulated. **Carried Unanimously**

V. STAFF REPORTS

**1) DEVELOPMENT PERMIT and DEVELOPMENT VARIANCE PERMIT
1129 Munro Street**

Fil Ferri declared a conflict of interest since the applicant is a friend of his. Mr. Ferri left the Council Chambers at 7:07 p.m.

Jeffrey Duffield, applicant / owner provided an overview of the Development Permit and Development Variance Permit Applications for 1129 Munro Street.

Commission comments and questions included (*response in italics*):

- Has the Commission seen this application before? *It was on an earlier agenda but pulled by the applicant so that modifications to the application could be made.*

RECOMMENDATION:

Moved by Helen Edley, seconded by Marie Fidoe: That the application for a Development Permit and a Development Variance Permit allowing construction of a new accessory building as illustrated in the architectural drawings and landscape plan prepared by Jeffrey A. Duffield, stamped "Received April 8 2019", sited as detailed on the survey plan prepared by Ryan P. Hourston BCLS, stamped "Received April 8 2019", and including the following variances for the property located at PID 026-958-376, Lot 2, Section 11, Esquimalt District, Plan VIP82523 [1129 Munro Street]] **be forwarded to Council with a recommendation by the Esquimalt Advisory Planning Commission to approve; as the design is in keeping with the house and the neighbourhood and it is not obvious that it is in front of the house. In addition, there is still room for cars to be parked on the site. Carried Unanimously**

Zoning Bylaw, 1992, No. 2050, Section 34 (9)(b)(i) – Siting Requirements – Accessory Building – Front Setback: Exemption from the requirement that no Accessory Building shall be located in front of the front face of the Principal Building

Parking Bylaw No. 1992, No. 2011, Part 4 (9)(4) – Provisions and Maintenance of Off-Street Parking and Loading Areas: Exemption to the requirement that Parking Spaces in Residential zones be located no closer to the Front Lot Line than the front face of the Principal Building [i.e. the one required parking space will be located in the new accessory building].

Fil Ferri returned to the Council Chambers at 7:14.

**2) DEVELOPMENT VARIANCE PERMIT
1217 Juno Street**

Graham Busch, applicant / owner provided an overview of the Development Variance Permit Application for 1217 Juno Street.

Commission comments and questions included (*response in italics*):

- The Commission had not questions.

RECOMMENDATION:

Moved by Michael Angrove, seconded by Helen Edley: That the application for a Development Variance Permit, permitting the enclosure of the existing carport as per Architectural Plans prepared by Maverick Solution Limited stamped "Received May 2, 2019" and to include the following variances to the Zoning Bylaw 1992, No. 2050, for the property located at 1217 Juno Street [PID:007-993-501, Lot 5, Section 11, Esquimalt District, Plan 1104] **be forwarded to Council with a recommendation by the Esquimalt Advisory Planning Commission to approve; as the proposal improves the design by reorienting the front door to the street. In addition, there are no parking issues. Carried Unanimously**

Zoning Bylaw, 1992, No.2050, Section 34 (9)(a)(i) – Setback Requirements – Principal Building – Front Setback. A 0.7 metre decrease to the requirement that no principal building shall be located within 7.5 metres of the Front Lot Line, [i.e. from 7.5 metres to 6.8 metres]

Zoning Bylaw, 1992, No. 2050, Section 34 (9)(a)(ii) – Setback Requirements – Principal Building – Side Setback. A 0.9 metres decrease to the total Setback of all Side yards not to be less than 4.5 metres. [i.e. from 4.5 metres to 3.6 metres]

Parking Bylaw, 1992, No. 2050, Section 9 (4) – Provision and Maintenance of Off – Street Parking and Loading Areas. An exemption from the requirement that parking spaces in residential zones shall be located no closer to the Front Lot Line than the front face of the Principal Building.

**3) DEVELOPMENT VARIANCE PERMIT
502 Paradise Street**

The applicants did not provide an overview of the Development Variance Permit Application for 502 Paradise Street.

Commission comments and questions included (*response in italics*):

- The Commission did not have any questions.

RECOMMENDATION:

Moved by Chris Munkacsi seconded by Fil Ferri: That the application for a Development Variance Permit, bringing the existing principal building into compliance to allow for the reconstruction of the front stairs and construction of a porch roof as per plans stamped “Received April 5, 2019” and BC Surveyor Site Plan prepared by Wey Mayenburg Land Surveying Inc. stamped “Received April 5, 2019” and to include the following variances to the Zoning Bylaw 1992, No. 2050, for the property located at 502 Paradise Street [PID:009-173-242, Lot 37, Block F, Section 11, Esquimalt District, Plan 292] **be forwarded to Council with a recommendation by the Esquimalt Advisory Planning Commission to approve; as it brings the development into compliance. Carried Unanimously**

Zoning Bylaw, 1992, No.2050, Section 34 (9)(a)(i) – Setback Requirements – Principal Building – Front Setback. A 4.2 metre decrease to the requirement that no principal building shall be located within 7.5 metres of the Front Lot Line [i.e. from 7.5 metres to 6.8 metres]

Zoning Bylaw, 1992, No. 2050, Section 34 (9)(a)(ii) – Setback Requirements – Principal Building – Side Setback. A 0.8 metres decrease to the requirement that no principal building shall be located within 1.5 metres of an Interior Lot Line. [i.e. from 1.5 metres to 0.7 metres]

**4) DEVELOPMENT PERMIT AND DEVELOPMENT VARIANCE PERMIT APPLICATION
10-300 PLASKETT PLACE**

Gary Brennan, applicant / owner provided an overview of the Development Permit and Development Variance Permit Application for 10-300 Plaskett Place.

Commission comments and questions included (*response in italics*):

- Are there any other agencies involved in the approval process? *No.*
- What is the height of the deck? *It will not affect any views.*
- Was the 10 m setback brought in after the houses were built? *Yes*

RECOMMENDATION:

Moved by Helen Edley, seconded by Chris Mukacsi: That the application for a Development Permit and a Development Variance Permit, authorizing construction of a patio deck as illustrated in the plans prepared by Java Designs, and sited in accordance with the BC Land Surveyor’s Site Plan prepared by Michael E. Claxton, both stamped “Received April 9, 2019”, and including the following variances for the property located at 10-300 Plaskett Place [PID 017-658-187 Strata Lot 10, Section 11, Esquimalt District, Strata Plan VIS2246, together with an interest in the common property in proportion to the unit entitlement of the

strata lot as shown on Form 1] **be forwarded to Council with a recommendation by the Esquimalt Advisory Planning Commission to approve as the variance is minimal. Carried Unanimously**

Zoning Bylaw, 1992, No. 2050, Section 34 (8)(a) – Lot Coverage: A 1.2% increase to the requirement that all Principal Buildings, Accessory Buildings and Structures combined, shall not cover more than 30% of the Area of a Parcel [i.e. from 30% to 31.2%].

Zoning Bylaw, 1992, No. 2050, Section 34 (9)(b)(i) – Siting Requirements – Accessory Building – Front Setback: Exemption from the requirement that no Accessory Building shall be located in front of the front face of the Principal Building.

Zoning Bylaw, 1992, No. 2050, Section 34 (9)(a)(ii) – Siting Requirements – Accessory Building – Side Setback: A 1.1 metre decrease to the requirement that no Accessory Building shall be located within 1.5 metres of an Interior Side Lot Line [i.e. from 1.5 metres to 0.4 metre].

Zoning Bylaw, 1992, No. 2050, Section 34 (9)(a)(iv) – Siting Requirements – Accessory Building – Building Separation: Exemption from the requirement that no Accessory Building shall be located within 2.5 metres of a Principal Building.

5) DEVELOPMENT VARIANCE PERMIT APPLICATION 835 DUNSMUIR ROAD

Heather Spinney, Praxis Architects Inc. provided an overview of the Development Variance Permit Application for 835 Dunsmuir Road.

Commission comments and questions included (*response in italics*):

- Does the wall extension affect any parking spaces? *It will allow proper sized parking stalls.*

RECOMMENDATION:

Moved by Helen Edley, seconded by Chris Mukacsi: That the Development Variance Permit application for the following variance to Zoning Bylaw, 1992, No. 2050, as shown on the architectural plan of the parking level, provided by Praxis Architects Inc., stamped "Received May 15, 2019", for the proposed 5 storey 32 unit apartment building at 835 Dunsmuir Road [PID 030-709-156 Parcel A (Being a consolidation of Lots 2 and 3, see CA7353737), Section 11, Esquimalt District, Plan 9757] **be forwarded to Council with a recommendation by the Esquimalt Advisory Planning Commission to approve;** as it is a minor variation and increases the stability of the building. **Carried Unanimously**

Zoning Bylaw, 1992, No. 2050, Section 67.95. (9)(a)(v) – Siting Exceptions – Principal Building - A 0.7 metre decrease to the requirement that no principal building shall be located within 2.0 metres of the northern Exterior Side Lot Line to accommodate the parking structure situated below the First Storey [i.e. from 2.0 metres to 1.3 metre]

6) REZONING APPLICATION 937 COLVILLE ROAD

Ryan Jabs, Lapis Homes Ltd., Inc. provided an overview of the Rezoning Application for 937 Colville Road.

Commission comments and questions included (*response in italics*):

- Did you consider lot consolidation with the adjacent lot? *Yes, however it would have been difficult to consolidate given where the design was. We are proposing something that is sympathetic to the proposed adjacent development. The two developments will work well together.*
- Did you incorporate the Design Review Committee's comments into your design? *The Design Review Committee wanted the building designed to the RM3 zone. The project would not be doable under the RM3 zone. We have now shown the proposed project in a future street scape as opposed to the existing one. We have also removed one of the front stairways. In addition, a lattice and vine wall has been added at the back to soften things up.*
- What happens if someone buys a car after they move in? *Everyone will be told when they move in that there is limited on-site parking.*
- What is the street parking situation? *There is plenty of street parking.*

RECOMMENDATION:

Moved by Michael Angrove, seconded by Marie Fidoe: That the application for a rezoning, authorizing six (6) townhouse dwelling units as sited on the survey plan prepared by Island Land Surveying Ltd., stamped "Received May 14, 2019" and incorporating the height and massing consistent with the architectural plans provided by Christine Lintott Architects, stamped "Received April 23, 2019", detailing the development proposed to be located at 937 Colville Road [PID 003-679-144, Lot 4, Block 1, Section 10, Esquimalt District, Plan 6277], **be forwarded to Council with a recommendation by the Esquimalt Advisory Planning Commission to approve subject to Council considering requiring more green space because the project fits into the neighbourhood but seems to lack green space.**

Carried Graeme Dempster opposed

VI. ADJOURNMENT

The meeting adjourned 8:18 p.m.

CERTIFIED CORRECT

CHAIR, ADVISORY PLANNING COMMISSION
THIS 18th DAY OF JUNE 2019

ANJA NURVO, CORPORATE OFFICER



CORPORATION OF THE TOWNSHIP OF ESQUIMALT

Municipal Hall, 1229 Esquimalt Road, Esquimalt, B.C. V9A 3P1
Telephone (250) 414-7100 Fax (250) 414-7111

APC Meeting: June 18, 2019

STAFF REPORT

DATE: June 13, 2019

TO: Chair and Members of the Advisory Planning Commission

FROM: Janany Nagulan, Planner
Bill Brown, Director of Development Services

**SUBJECT: REZONING APPLICATION -
1072 Colville Road
[PID 005-541-885, Lot 13, Block 12, Section 10, Esquimalt District, Plan 5241]**

RECOMMENDATION:

The Esquimalt Advisory Planning Commission recommends to Council that the application for rezoning, authorizing one new duplex on the property in accordance with Site Plan prepared by McIlvaney Riley Land Surveying Inc. stamped "Received May 10, 2019" and be consistent with architectural plans provided by Adapt Design stamped "Received April 17, 2019" for the proposed development to be located at 1072 Colville Road [PID 005-541-885, Lot 13, Block 12, Section 10, Esquimalt District, Plan 5241] be forwarded to Council with a recommendation **to either approve, approve with conditions, or deny the application; and provide reasons for the chosen recommendation.**

BACKGROUND:

Purpose of the Application

The applicant is requesting a change in zoning from the current RS-1 zone [Single Family Residential] to a Comprehensive Development District zone [CD] to permit a new duplex. The existing single family dwelling must be demolished before the new duplex is constructed. There is a rezoning application for the property west of the subject property, at 1076 Colville Road. The rezoning application was submitted by the same owner for the same purpose however it will be rezoned separately.

Evaluation of this application should focus on issues relevant to zoning such as the appropriateness of the proposed uses, height, density, massing, proposed unit sizes, siting, setbacks, lot coverage, useable open space, parking, how the building relates to surrounding sites; and consistency with the overall direction contained within the Official Community Plan.

The site is located within the following Development Permit areas: Development Permit Area No. 1 – Natural Environment, No. 3 – Enhance Design Control Residential, No. 7 Energy Conservation and Greenhouse Gas Reduction and No. 8 – Water Conservation of the Township's Official Community Plan. If the application for rezoning is approved, a Development Permit governing the form and character of the buildings, landscaping, and consistency with guidelines relating to natural environment protection, energy conservation, green house gas reduction and water conservation would be considered by Council at a future date.

Context**Applicant:** Denise Kors [Kors Development Services]**Owners:** David Kindrod [1112202 B.C. LTC]**Property Size:** Metric: 639 m² Imperial: 6878.14 ft²**Existing Land Use:** Single Family Dwelling**Surrounding Land Uses:**

North: Golf Course [P-3]

South: Single Family Residential [RS-1]

West: Single Family Residential [RS-1]

East: Single Family Residential [RS-1]

Existing Zoning: RS-1 [Single Family Residential]**Proposed Zoning:** CD [Comprehensive Development District]**Existing OCP Designation:** Low Density Residential [No change required]**Zoning and Parking**

The proposed Comprehensive Development District zone would be consistent with duplex projects and would contain the following uses: two family residential, home occupation, boarding and urban hens. The applicant has not proposed accessory building on the lot.

Density, Lot Coverage, Siting and Parking: The following chart compares the floor area ratio, lot coverage, setbacks, building height, and parking of this proposal with the requirements of the RD-1 [Two Family Residential zone] and its current zone RS-1 [Single Family]:

| | Current RS-1 [Single Family Residential] | RD-1 [Two Family Residential] | Proposed CD Zone 1072 Colville Road |
|--------------------------------|---|--|--|
| Minimum Parcel Size | 530 m ² | 668 m ² | 646 m ² |
| Floor Area Ratio | 0.35 | 0.40 | 0.40 |
| Lot Coverage | 30% | 30% | 36% |
| Setbacks | | | |
| • Front | 7.5 m | 7.5 m | 6.8 m |
| • Rear | 7.5 m | 7.5 m | 7.5 m |
| • Side | 3.0 m/1.5 m | 3.0 m/1.5 m | 2.1 m /2.2 m |
| Building Height | 7.3 m | 7.3 m | 7.3m |
| Off Street Parking | 1 space | 1 space | 1 space |

The Floor Area Ratio [FAR]: The new proposed duplex has a FAR of 0.40 which is consistent with the maximum FAR allowed for a lot less than 800 m² in the RD-1 zone.

Lot Coverage: The Lot Coverage of the current proposal is 36% which exceeds the typical requirement for a RD-1 Zone. Accessory buildings are not proposed therefore are not included Lot Coverage calculations.

Setbacks: The Eastern Side Setback of the proposed duplex is 2.2 m and the proposed Western Side Setback is 2.1 m. To be consistent with the RD-1 Zone the Side Setback requirements are 3.0 m and 1.5 m. The proposed front setback is 6.8 m and the rear setback is 7.7 m and within the RD-1 Zone the Front and Rear Setback are 7.5 m each.

Official Community Plan

This proposal is consistent with the 'Present' and the 'Proposed' Land Use Designations applied to the subject property, "Low Density Residential".

The following policies were considered in evaluating this development application:

Section 5 Housing & Residential Land Use

Objective: Support the expansion of housing types within Esquimalt while addressing concerns such as tree protection, parking, traffic, noise, effects on neighbouring properties, and neighbourhood character.

- Policy: Support the development of a variety of housing types and designs to meet the anticipated housing needs of residents. This may include non-market and market housing options that are designed to accommodate young and multi-generational families, the local workforce, as well as middle and high income households.

Section 5.2 Low Density Residential Redevelopment

Objective: Strive for redevelopment and infill development that improves and enhances the appearance and livability of neighbourhoods and the community as a whole.

- Policy: Proposed redevelopment or infill within present low density residential land use designated areas should be built to high quality design and landscaping standards and respond sensitively to existing neighbourhood amenities.

Green Building Features

The applicant has completed the Esquimalt Green Building Checklist [attached].

Comments From Other Departments

Building Inspection: No concerns. Subject to review for Building Code and Bylaw compliance at time of Building Permit Application.

Engineering Services: Engineering has completed a preliminary review of the proposed development and have the following comments:

Completion of Works and Services

According to Bylaw 2175, including all Schedules, the developer may be required to provide all Works and Services up to the road centreline. All Works and Services that are required to be constructed and installed at the expense of the Owner shall be constructed before the Approving Officer approves the development unless the Owner:

- Deposits with the Municipality a Security Deposit in the amount of 120% of the estimated construction cost, and
- Enters into a Servicing Agreement with the Municipality

Serviceability

A preliminary review reveals that the drain service connection for the subject property is discharged to the yard. The proposed development is to have Services as per Bylaw 2175 (Subdivision and Development Control Bylaw), including, but not limited to, new sewer and drain connections to each side of the duplex and underground H/T/C. New curb, gutter, and sidewalk along the frontage is also required.

Engineering

The Applicant is responsible for retaining the services of a qualified professional for the design and construction supervision of all Works and Services, including construction cost, engineering fees, administrative fees, and as indicated in Bylaw 2175.

Additional comments

Additional review comments will be provided when detailed engineering drawings are submitted.

Fire Services: No Concerns

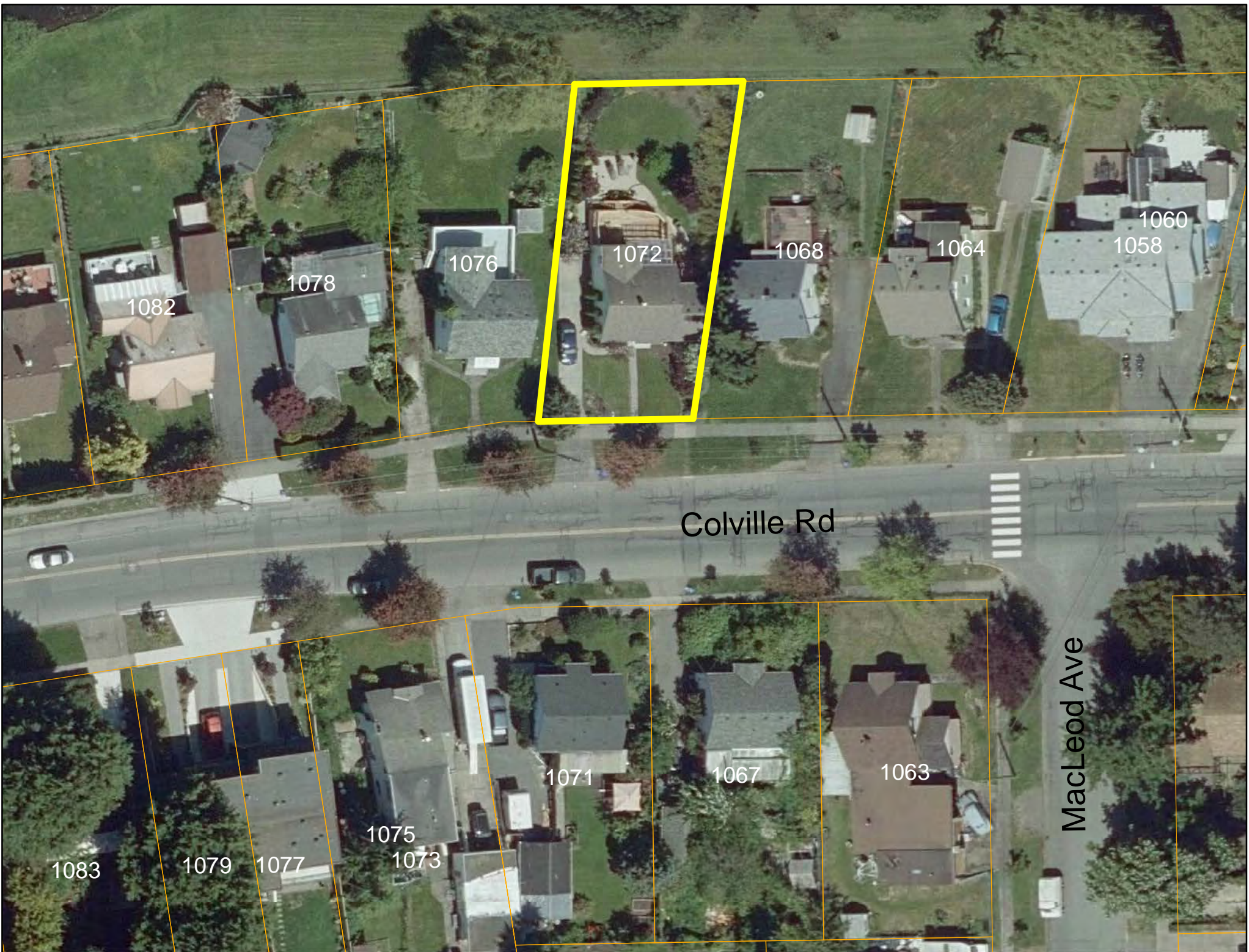
Parks Services: A tree cutting permit application must be submitted for all trees that are planned to be removed as part of the construction, including boulevard trees. All trees that are to be retained must have tree protection fencing, erected at the drip line prior to commencement of work. No trees are to be removed prior to receiving an approved tree cutting permit.

Public Notification

As this is a rezoning application, should it proceed to a Public Hearing, notices will be mailed to tenants and owners of properties within 100m (328 ft.) of the subject property. One sign on the property indicating that the property is under consideration for a change in zoning has been installed on the property since May 2019. The sign will be updated to include the date, time, and location of the Public Hearing.

ALTERNATIVES:

1. Forward the application for Rezoning to Council with a **recommendation of approval including reasons for the recommendation.**
2. Forward the application for Rezoning to Council with a **recommendation of approval including specific conditions and including reasons for the recommendation.**
3. Forward the application for Rezoning to Council with a **recommendation of denial including reasons for the recommendation.**



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Colville Rd

MacLeod Ave

1083

1079

1077

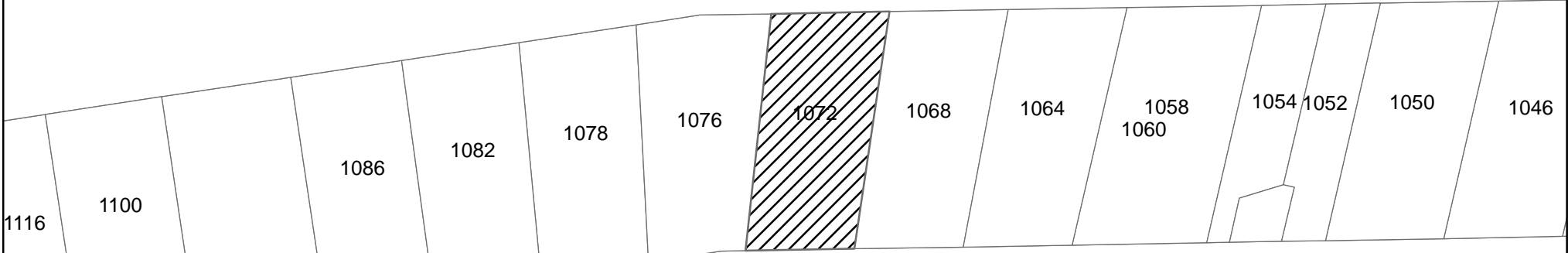
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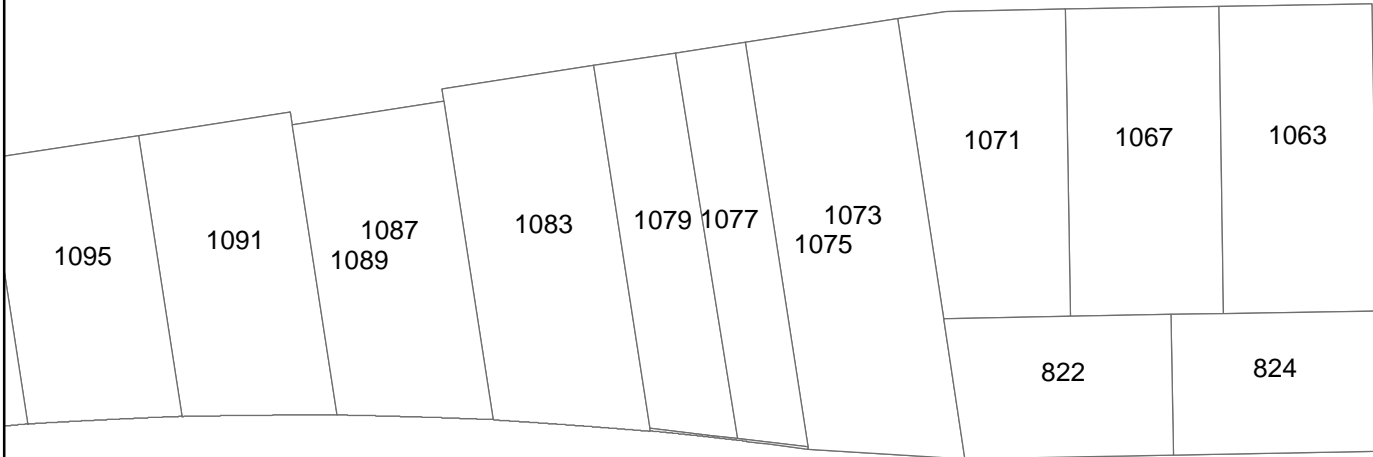
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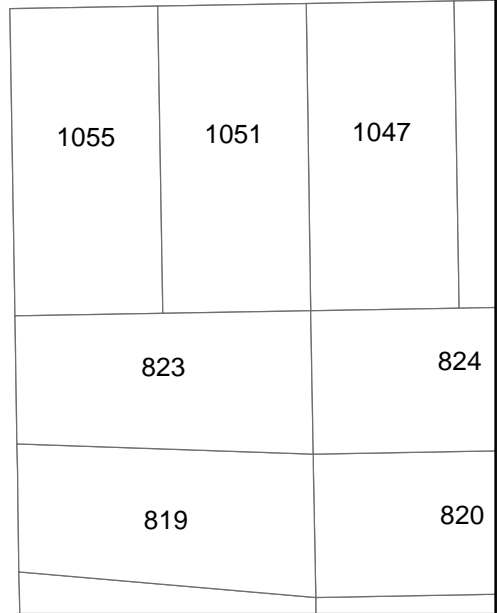
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Colville Rd

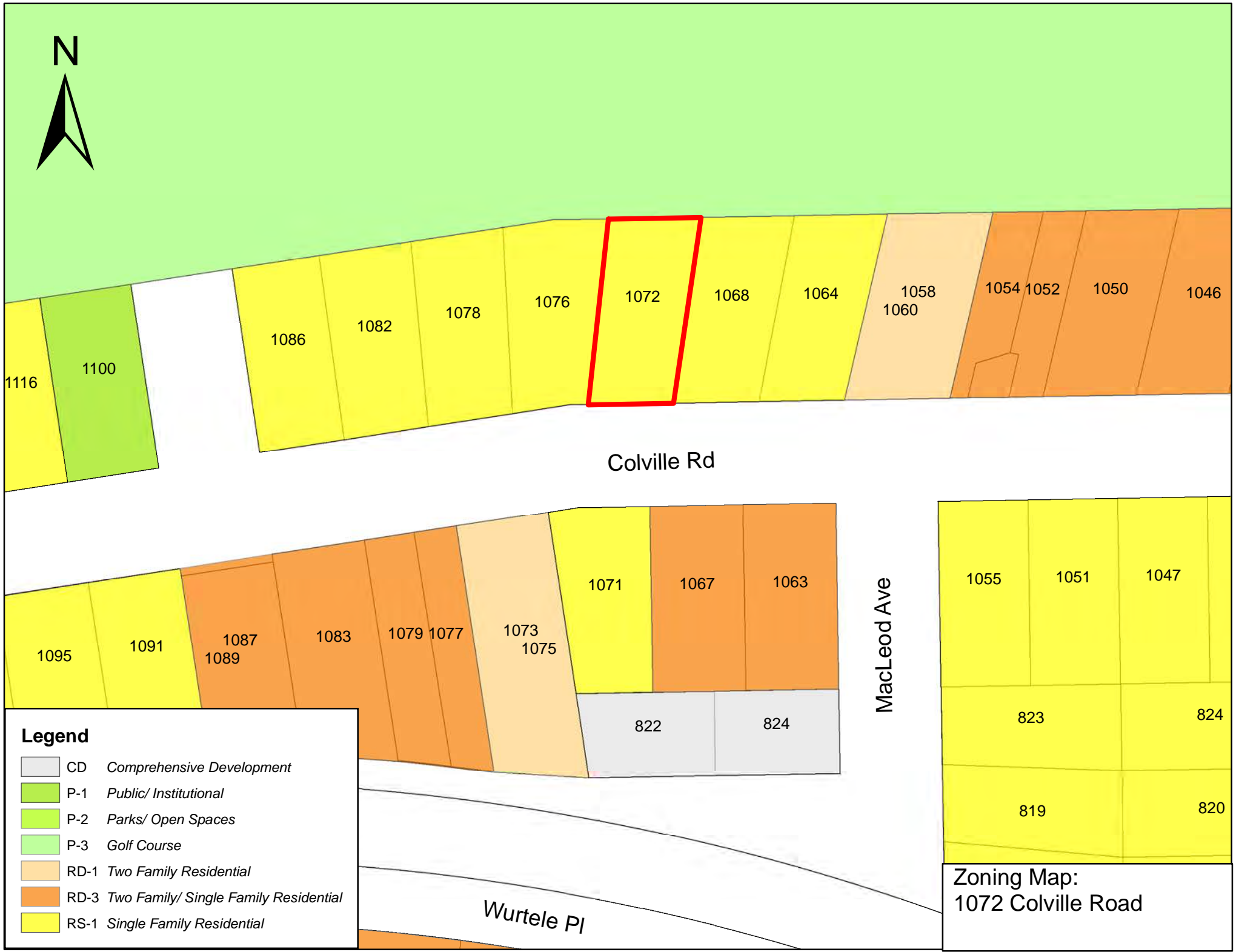


MacLeod Ave



Wurtele Pl

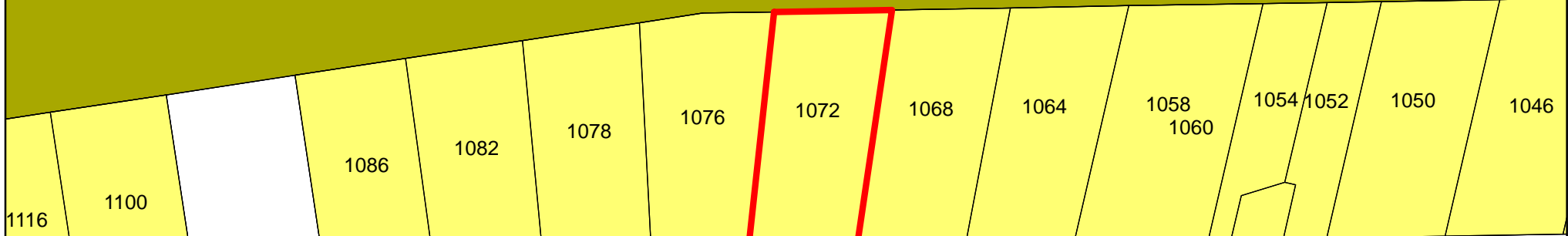
Subject Property Map:
1072 Colville Road



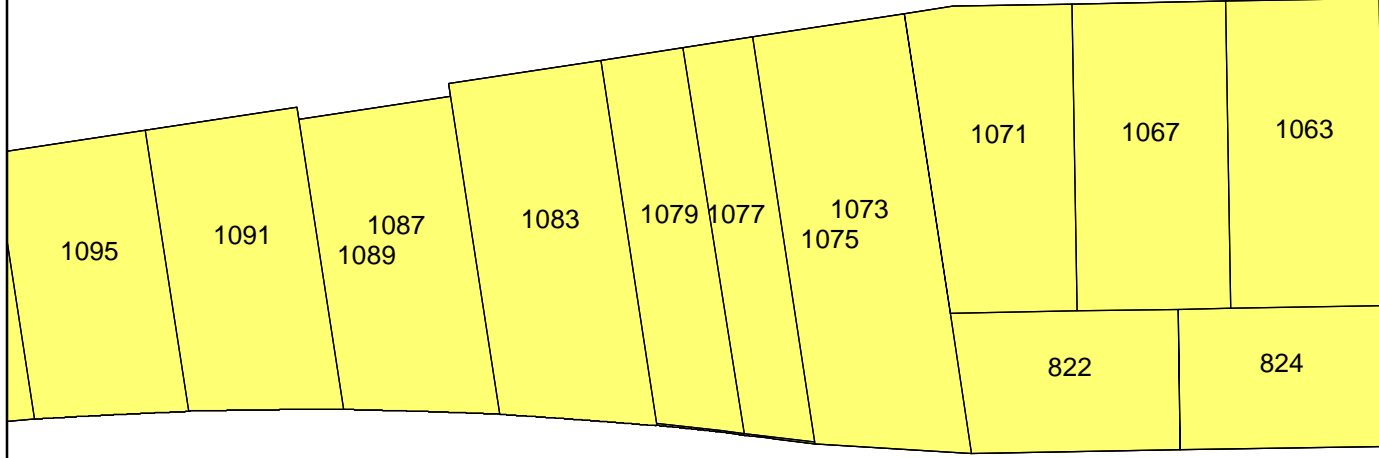
Legend

- CD *Comprehensive Development*
- P-1 *Public/ Institutional*
- P-2 *Parks/ Open Spaces*
- P-3 *Golf Course*
- RD-1 *Two Family Residential*
- RD-3 *Two Family/ Single Family Residential*
- RS-1 *Single Family Residential*

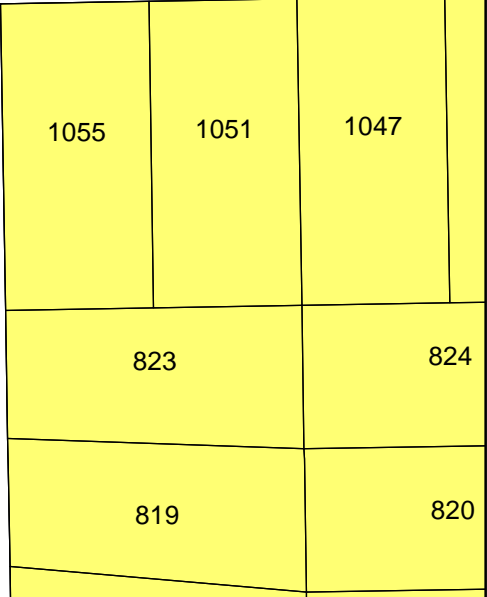
Zoning Map:
1072 Colville Road






Colville Rd



MacLeod Ave



Legend

-  Low Density Residential
-  Parks and Open Space
-  Agricultural Land Reserve

Wurtele Pl

Official Community Plan
Land Designation Map:
1072 Colville Road

For Both 1072 and 1076
Colville Road

Township of
ESQUIMALT



GREEN BUILDING CHECKLIST

The purpose of this Checklist is to make property owners and developers aware of specific green features that can be included in new developments to reduce their carbon footprints to help create a more sustainable community.

Creating walkable neighbourhoods, fostering green building technologies, making better use of our limited land base and ensuring that new development is located close to services, shops and transit are some of the means of achieving sustainability.

The Checklist which follows focuses on the use of **Green Technologies** in new buildings and major renovations. The Checklist is not a report card, it is a tool to help identify how your project can become 'greener' and to demonstrate to Council how your project will help the Township of Esquimalt meet its sustainability goals. It is not expected that each development will include all of the ideas set out in this list but Council is looking for a strong commitment to green development.

There are numerous green design standards, for example, Built Green BC; LEED ND; Living Building Challenge; Green Shores; Sustainable Sites Initiative. Esquimalt is not directing you to follow any particular standard, however, you are strongly encouraged to incorporate as many green features as possible into the design of your project .

As you review this checklist, if you have any questions please contact **Development Services** at 250.414.7108 for clarification.

**New development is essential to Esquimalt.
We look forward to working with you
to ensure that development is
as green and sustainable as possible.**

Other documents containing references to building and site design and sustainability, which you are advised to review, include:

- Esquimalt's Official Community Plan
- Development Protocol Policy
- Esquimalt's Pedestrian Charter
- Tree Protection Bylaw No. 2664
- A Sustainable Development Strategic Plan for the Township of Esquimalt

Adopted on January 10th, 2011



“One-third of Canada’s energy use goes to running our homes, offices and other buildings. The federal government’s Office of Energy Efficiency (Natural Resources Canada) reports that a corresponding one-third of our current greenhouse gas (GHG) emissions come from the built environment.”
 [Green Building and Development as a Public Good, Michael Buzzelli, CPRN Research Report June 2009]

Please answer the following questions and describe the green and innovative features of your proposed development. Depending on the size and scope of your project, some of the following points may not be applicable.

Green Building Standards
Both energy use and emissions can be reduced by changing or modifying the way we build and equip our buildings.

- 1 Are you building to a recognized green building standard? If yes, to what program and level? Yes No
- 2 If not, have you consulted a Green Building or LEED consultant to discuss the inclusion of green features? Yes No
- 3 Will you be using high-performance building envelope materials, rainscreen siding, durable interior finish materials or safe to re-use materials in this project? If so, please describe them. Flossing Yes No
- 4 What percentage of the existing building[s], if any, will be incorporated into the new building? 0 %
- 5 Are you using any locally manufactured wood or stone products to reduce energy used in the transportation of construction materials? Please list any that are being used in this project. Yes - where available
- 6 Have you considered advanced framing techniques to help reduce construction costs and increase energy savings? Yes No
- 7 Will any wood used in this project be eco-certified or produced from sustainably managed forests? If so, by which organization? TBD
 For which parts of the building (e.g. framing, roof, sheathing etc.)? TBD
- 8 Can alternatives to Chlorofluorocarbon’s and Hydro-chlorofluorocarbons which are often used in air conditioning, packaging, insulation, or solvents] be used in this project? If so, please describe these. Heat Pump Yes No
- 9 List any products you are proposing that are produced using lower energy levels in manufacturing. Not aware at this time
- 10 Are you using materials which have a recycled content [e.g. roofing materials, interior doors, ceramic tiles or carpets]? Yes No
- 11 Will any interior products [e.g. cabinets, insulation or floor sheathing] contain formaldehyde? Yes No

Water Management

The intent of the following features is to promote water conservation, re-use water on site, and reduce storm water run-off.

Indoor Water Fixtures

| | | | |
|----|---|--------------------------------------|--------------------------|
| 12 | Does your project exceed the BC Building Code requirements for public lavatory faucets and have automatic shut offs? <i>N/A.</i> | Yes | No |
| 13 | For commercial buildings, do flushes for urinals exceed BC Building Code requirements? <i>N/A.</i> | Yes | No |
| 14 | Does your project use dual flush toilets and do these exceed the BC Building Code requirements? | <input checked="" type="radio"/> Yes | <input type="radio"/> No |
| 15 | Does your project exceed the BC Building Code requirements for maximum flow rates for private showers? | <input checked="" type="radio"/> Yes | <input type="radio"/> No |
| 16 | Does your project exceed the BC Building Code requirements for flow rates for kitchen and bathroom faucets? | <input checked="" type="radio"/> Yes | <input type="radio"/> No |

Storm Water

| | | | | |
|----|--|--------------------------------------|-------------------------------------|--------------------------------------|
| 17 | If your property has water frontage, are you planning to protect trees and vegetation within 60 metres of the high water mark? [Note: For properties located on the Gorge Waterway, please consult Sections 7.1.2.1 and 9.6 of the Esquimalt Official Community Plan.] | Yes | No | <input checked="" type="radio"/> N/A |
| 18 | Will this project eliminate or reduce inflow and infiltration between storm water and sewer pipes from this property? | Yes | No | <input checked="" type="radio"/> N/A |
| 19 | Will storm water run-off be collected and managed on site (rain gardens, wetlands, or ponds) or used for irrigation or re-circulating outdoor water features? If so, please describe. <u>Bio Swales @ rear.</u> | <input checked="" type="radio"/> Yes | <input type="radio"/> No | <input type="radio"/> N/A |
| 20 | Have you considered storing rain water on site (rain barrels or cisterns) for future irrigation uses? | Yes | <input checked="" type="radio"/> No | <input type="radio"/> N/A |
| 21 | Will surface pollution into storm drains will be mitigated (oil interceptors, bio-swales)? If so, please describe. <u>Bio swales @ rear</u> | <input checked="" type="radio"/> Yes | <input type="radio"/> No | <input type="radio"/> N/A |
| 22 | Will this project have an engineered green roof system or has the structure been designed for a future green roof installation? | Yes | <input checked="" type="radio"/> No | <input type="radio"/> N/A |
| 23 | What percentage of the site will be maintained as naturally permeable surfaces? <i>approx 74</i> % | | | |

Waste water

| | | | | |
|----|--|-----|----|--------------------------------------|
| 24 | For larger projects, has Integrated Resource Management (IRM) been considered (e.g. heat recovery from waste water or onsite waste water treatment)? If so, please describe these. | Yes | No | <input checked="" type="radio"/> N/A |
|----|--|-----|----|--------------------------------------|

Natural Features/Landscaping

The way we manage the landscape can reduce water use, protect our urban forest, restore natural vegetation and help to protect the watershed and receiving bodies of water.

| | | | | |
|----|--|--------------------------------------|--------------------------|---------------------------|
| 25 | Are any healthy trees being removed? If so, how many and what species? <u>One Boulevard Hawthorn.</u> | <input checked="" type="radio"/> Yes | <input type="radio"/> No | <input type="radio"/> N/A |
| | Could your site design be altered to save these trees? <i>No</i> | | | |
| | Have you consulted with our Parks Department regarding their removal? <i>No</i> | | | |

- 26 Will this project add new trees to the site and increase our urban forest?
If so, how many and what species? 4 Trees - Medium Maples Yes No N/A
- 27 Are trees [existing or new] being used to provide shade in summer or to buffer winds? Retained + new trees Yes No N/A
- 28 Will any existing native vegetation on this site be protected?
If so, please describe where and how. _____ Yes No N/A
- 29 Will new landscaped areas incorporate any plant species native to southern Vancouver Island? Yes No N/A
- 30 Will xeriscaping (i.e. the use of drought tolerant plants) be utilized in dry areas? Yes No N/A
- 31 Will high efficiency irrigation systems be installed (e.g. drip irrigation; 'smart' controls)? Yes No N/A
- 32 Have you planned to control invasive species such as Scotch broom, English ivy, Himalayan and evergreen blackberry growing on the property? Yes No N/A
- 33 Will topsoil will be protected and reused on the site? Yes No N/A

Energy Efficiency

Improvements in building technology will reduce energy consumption and in turn lower greenhouse gas [GHG] emissions. These improvements will also reduce future operating costs for building occupants.

- 34 Will the building design be certified by an independent energy auditor/analyst?
If so, what will the rating be? _____ Yes No N/A
- 35 Have you considered passive solar design principles for space heating and cooling or planned for natural day lighting? Yes No N/A
- 36 Does the design and siting of buildings maximize exposure to natural light?
What percentage of interior spaces will be illuminated by sunlight? _____% Yes No N/A
- 37 Will heating and cooling systems be of enhanced energy efficiency (ie. geothermal, air source heat pump, solar hot water, solar air exchange, etc.).
If so, please describe. Heat Pumps + Solar Ready
If you are considering a heat pump, what measures will you take to mitigate any noise associated with the pump? _____ Yes No N/A
- 38 Has the building been designed to be solar ready? Yes No N/A
- 39 Have you considered using roof mounted photovoltaic panels to convert solar energy to electricity? Yes No N/A
- 40 Do windows exceed the BC Building Code heat transfer coefficient standards? Yes No N/A
- 41 Are energy efficient appliances being installed in this project?
If so, please describe. YES
- 42 Will high efficiency light fixtures be used in this project?
If so, please describe. Yes No N/A
- 43 Will building occupants have control over thermal, ventilation and light levels? Yes No N/A
- 44 Will outdoor areas have automatic lighting [i.e. motion sensors or time set]? Yes No N/A
- 45 Will underground parking areas have automatic lighting? Yes No N/A

| Air Quality | | | |
|--|--|------------|---------------|
| <i>The following items are intended to ensure optimal air quality for building occupants by reducing the use of products which give off gases and odours and allowing occupants control over ventilation.</i> | | | |
| 46 | Will ventilation systems be protected from contamination during construction and certified clean post construction? | Yes | No <u>N/A</u> |
| 47 | Are you using any natural, non-toxic, water soluble or low-VOC [volatile organic compound] paints, finishes or other products? If so, please describe. _____ | <u>Yes</u> | No N/A |
| 48 | Will the building have windows that occupants can open? | <u>Yes</u> | No N/A |
| 49 | Will hard floor surface materials cover more than 75% of the liveable floor area? | Yes | <u>No</u> N/A |
| 50 | Will fresh air intakes be located away from air pollution sources? | <u>Yes</u> | No N/A |
| Solid Waste | | | |
| <i>Reuse and recycling of material reduces the impact on our landfills, lowers transportation costs, extends the life-cycle of products, and reduces the amount of natural resources used to manufacture new products.</i> | | | |
| 51 | Will materials be recycled during demolition of existing buildings and structures? If so, please describe. <u>Hiring a Building Salvage Company</u> | <u>Yes</u> | No N/A |
| 52 | Will materials be recycled during the construction phase? If so, please describe. _____ | <u>Yes</u> | No N/A |
| 53 | Does your project provide enhanced waste diversion facilities i.e. on-site recycling for cardboard, bottles, cans and or recyclables or on-site composting? | Yes | No <u>N/A</u> |
| 54 | For new commercial development, are you providing waste and recycling receptacles for customers? | Yes | No <u>N/A</u> |
| Green Mobility | | | |
| <i>The intent is to encourage the use of sustainable transportation modes and walking to reduce our reliance on personal vehicles that burn fossil fuels which contributes to poor air quality.</i> | | | |
| 55 | Is pedestrian lighting provided in the pathways through parking and landscaped areas and at the entrances to your building[s]? | Yes | No <u>N/A</u> |
| 56 | For commercial developments, are pedestrians provided with a safe path[s] through the parking areas and across vehicles accesses? | Yes | No <u>N/A</u> |
| 57 | Is access provided for those with assisted mobility devices? | Yes | No <u>N/A</u> |
| 58 | Are accessible bike racks provided for visitors? | Yes | No <u>N/A</u> |
| 59 | Are secure covered bicycle parking and dedicated lockers provided for residents or employees? | Yes | No <u>N/A</u> |
| 60 | Does your development provide residents or employees with any of the following features to reduce personal automobile use [check all that apply]: <input type="checkbox"/> transit passes <input type="checkbox"/> car share memberships <input type="checkbox"/> shared bicycles for short term use <input type="checkbox"/> weather protected bus shelters <input checked="" type="checkbox"/> plug-ins for electric vehicles | | |
| Is there something unique or innovative about your project that has not been addressed by this Checklist? If so, please add extra pages to describe it. | | | |



ADAPT
DESIGN

1500 Storncliffe Road Victoria BC Canada
250 893 8127
www.adaptdesign.ca

**COLVILLE
ROAD 1072**

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COVER SHEET & GENERAL INFO

- A-001 COVER SHEET
- A-002 SITE PLAN

PLANS

- A-101 FOUNDATION PLAN
- A-102 BASEMENT AND ROOF PLAN
- A-103 MAIN AND UPPER FLOOR PLAN

ELEVATIONS

- A-201 ELEVATIONS
- A-202 ELEVATIONS

SECTIONS

- A-301 SECTIONS

- A-501 PERSPECTIVE VIEWS



NEW MODERN DUPLEX

1072/1076 COLVILLE ROAD, ESQUIMALT, BC

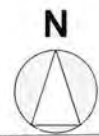
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COVER SHEET

A-001

- AVERAGE GRADE**
 A = 7.81m
 B = 6.81m
 C = 6.79m
 D = 6.83m
 E = 6.86m
 F = 6.90m
 G = 7.04m
 H = 7.83m
 I = 7.96m
 J = 8.00m
 K = 7.95m
 L = 7.95m
 M = 7.90m
 N = 7.81m
 104.44m/14 = 7.46m



Property Information

Project Type: New Duplex

Owner: David Kindrat

Address: 1072 Colville Road, Esquimalt, BC

Legal Description: LOT 11, BLOCK 6, SECTION 10, ESQUIMALT DISTRICT, PLAN 5240 PID: 001-478-656

Zoning: Proposed CD

| Setbacks: | Zoning | Proposed |
|--------------------------------|-----------|-------------|
| Rear | 7.5m | 11.20m |
| Side | 1.5m/1.5m | 2.16m/2.22m |
| Front | 7.5m | 8.73m |
| Garage Setback from Front Face | 1.5m | 1.5m |
| Height | 7.3m | 7.24m |

Floor Area:

| | |
|----------|---------|
| Basement | 1258 SF |
| Main | 1362 SF |
| Garage | 546 SF |
| Upper | 1559 SF |
| Total | 4725 SF |

Lot Area: 7028.83 SF

Building Footprint: 1908 SF

| | | |
|------------------|-----|--------|
| Lot Coverage | 30% | 27.14% |
| Floor Area Ratio | 0.4 | 0.4 |

Main Floor Elevation: 8.13m

Average Grade: 7.46m

Applicable Codes

- BC Building Code Current Edition (2018)

Energy

Compliance path: BCBC 9.36
 Requirements applicable to this project: Prescriptive Path

Ventilation

BCBC 9.32



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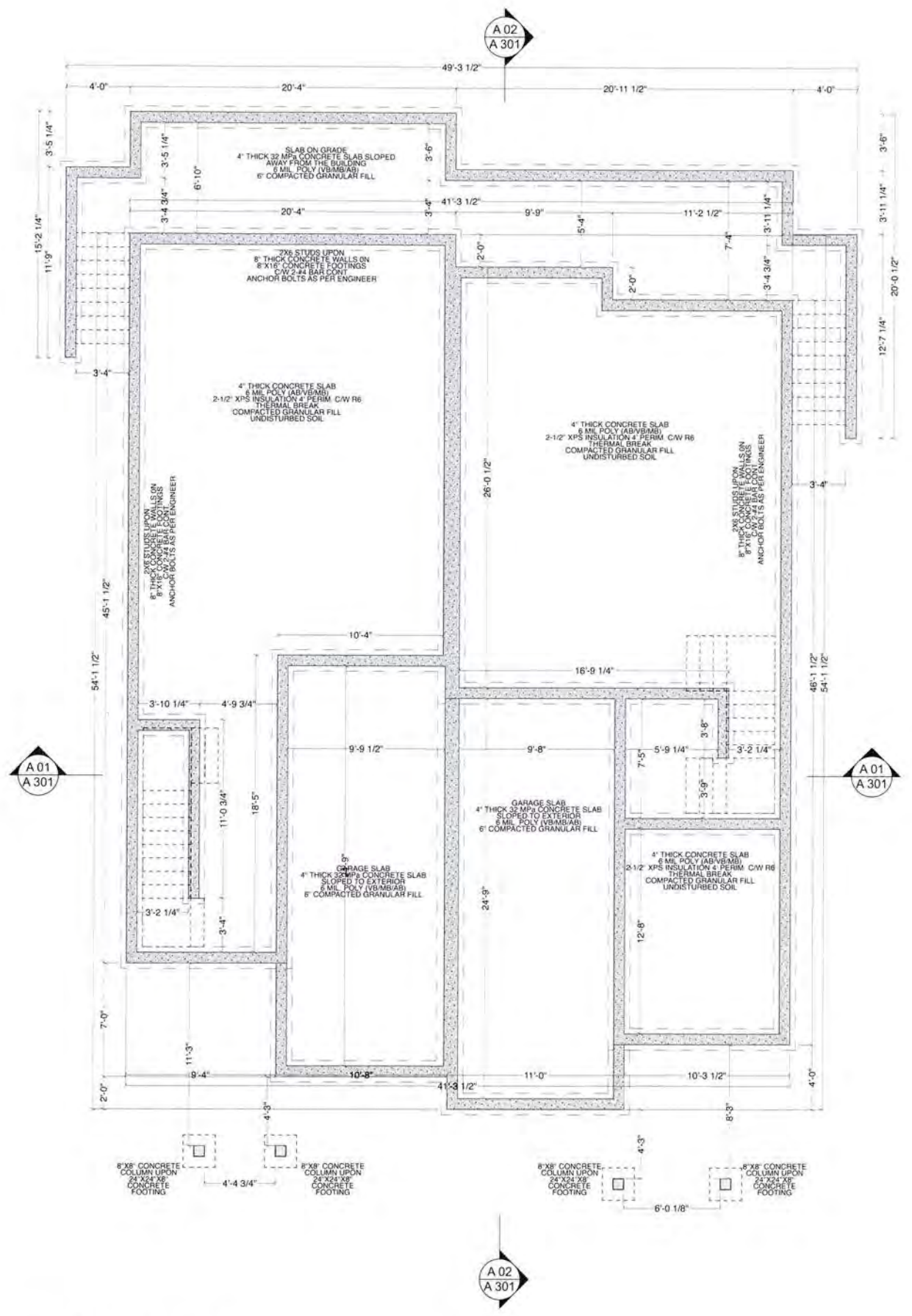
SITE PLAN

A-002

Printed: 2019-04-09

1 SITE PLAN
 SCALE 1/8" = 1'-0"





PLAN LEGEND

- EXTERIOR WALL
- PARTITION WALL
- FOUNDATION WALL
- FROST WALL
- BEAM COLUMN FLOOR DRAIN
- DIMENSION PLACEMENT

ROOM SIZES ARE INTERIOR DIMENSIONS
WIDTH X DEPTH

- HARDWIRED INTERCONNECTED CO DETECTOR
- HARDWIRED INTERCONNECTED IONIC SMOKE DETECTOR
- HARDWIRED PHOTOELECTRIC SMOKE DETECTOR
- BATH FAN: VENTILATION RATE 25 L/S INTERMITTENT
- KITCHEN FAN: VENTILATION RATE 47 L/S INTERMITTENT
- CONTINUOUS PRINCIPAL EXHAUST FAN: VENTILATION RATE AS PER T9.32.3.4 - 9.32.3.5
- FRESH AIR SUPPLY
- PASSIVE AIR INLET

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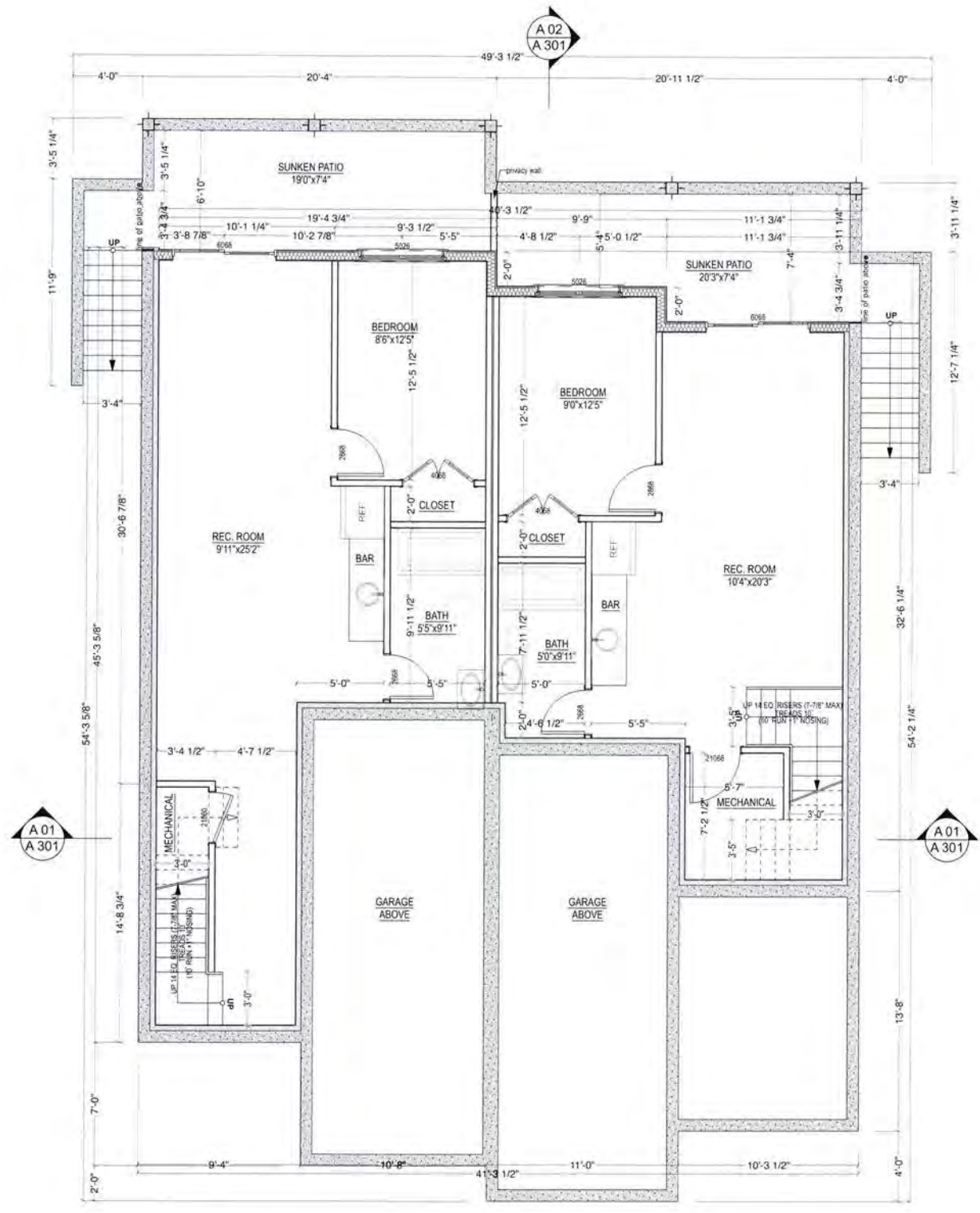
ISSUED:

FOUNDATION PLAN

A 101

Printed: 2019-04-08

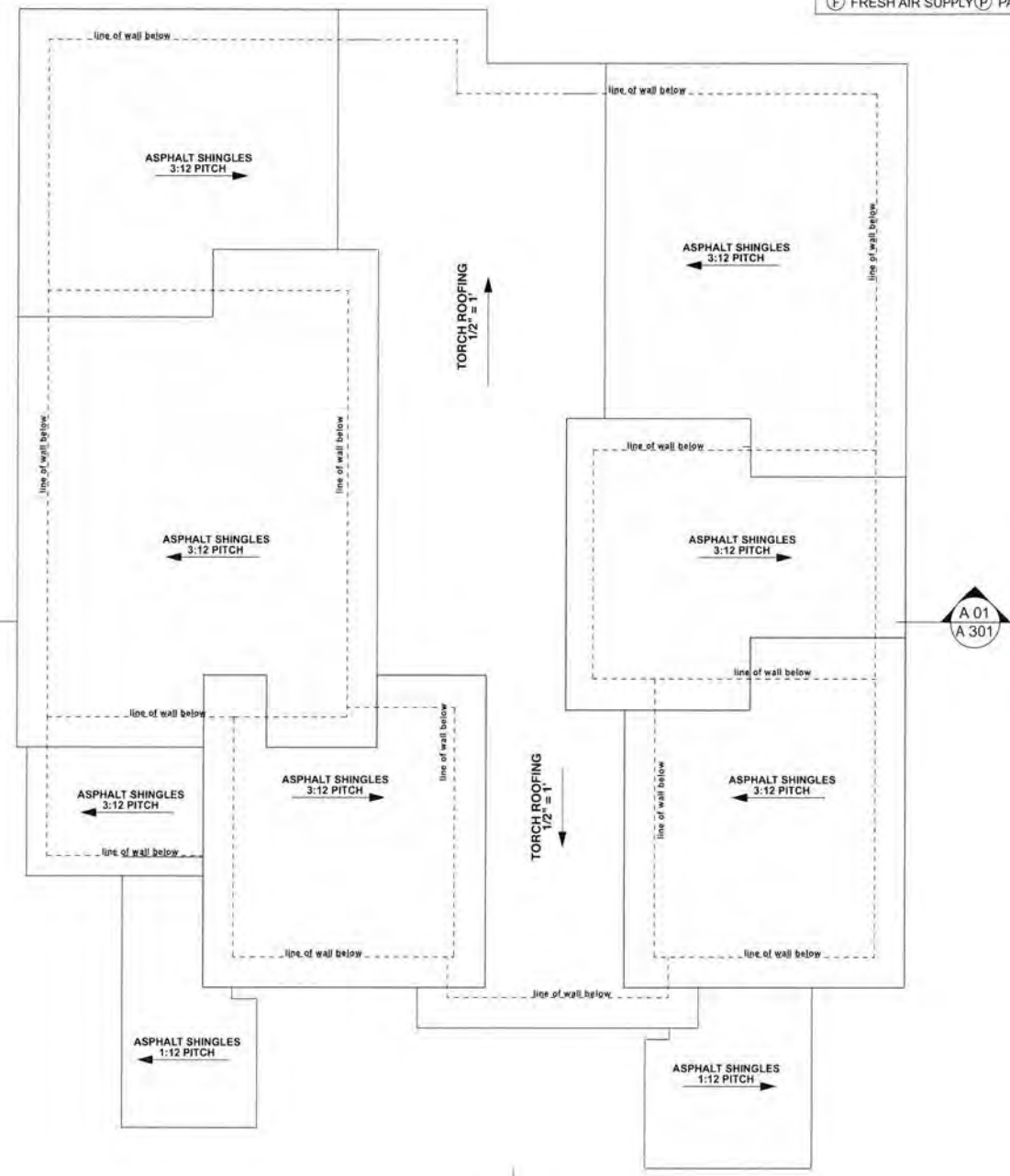
1 Foundation Plan
SCALE: 1/4" = 1'-0"



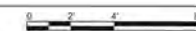
UNIT 1
BASEMENT AREA
679 sq ft

UNIT 2
BASEMENT AREA
579 sq ft

1 Basement
SCALE: 1/4" = 1'-0"



2 Roof Plan
SCALE: 1/4" = 1'-0"



PLAN LEGEND

| | |
|--|---------------------|
| | EXTERIOR WALL |
| | PARTITION WALL |
| | FOUNDATION WALL |
| | FROST WALL |
| | BEAM COLUMN |
| | FLOOR DRAIN |
| | DIMENSION PLACEMENT |

ROOM SIZES ARE INTERIOR DIMENSIONS
WIDTH X DEPTH

- HARDWIRED INTERCONNECTED CO DETECTOR
- HARDWIRED INTERCONNECTED IONIC SMOKE DETECTOR
- HARDWIRED PHOTOELECTRIC SMOKE DETECTOR
- BATH FAN - VENTILATION RATE 25 L/S INTERMITTENT
- KITCHEN FAN - VENTILATION RATE 47 L/S INTERMITTENT
- CONTINUOUS PRINCIPAL EXHAUST FAN - VENTILATION RATE AS PER T9.32.3.4 - 9.32.3.5
- FRESH AIR SUPPLY
- PASSIVE AIR INLET



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ISSUED:

BASEMENT AND ROOF
PLAN

A-102

Printed: 2019-04-05

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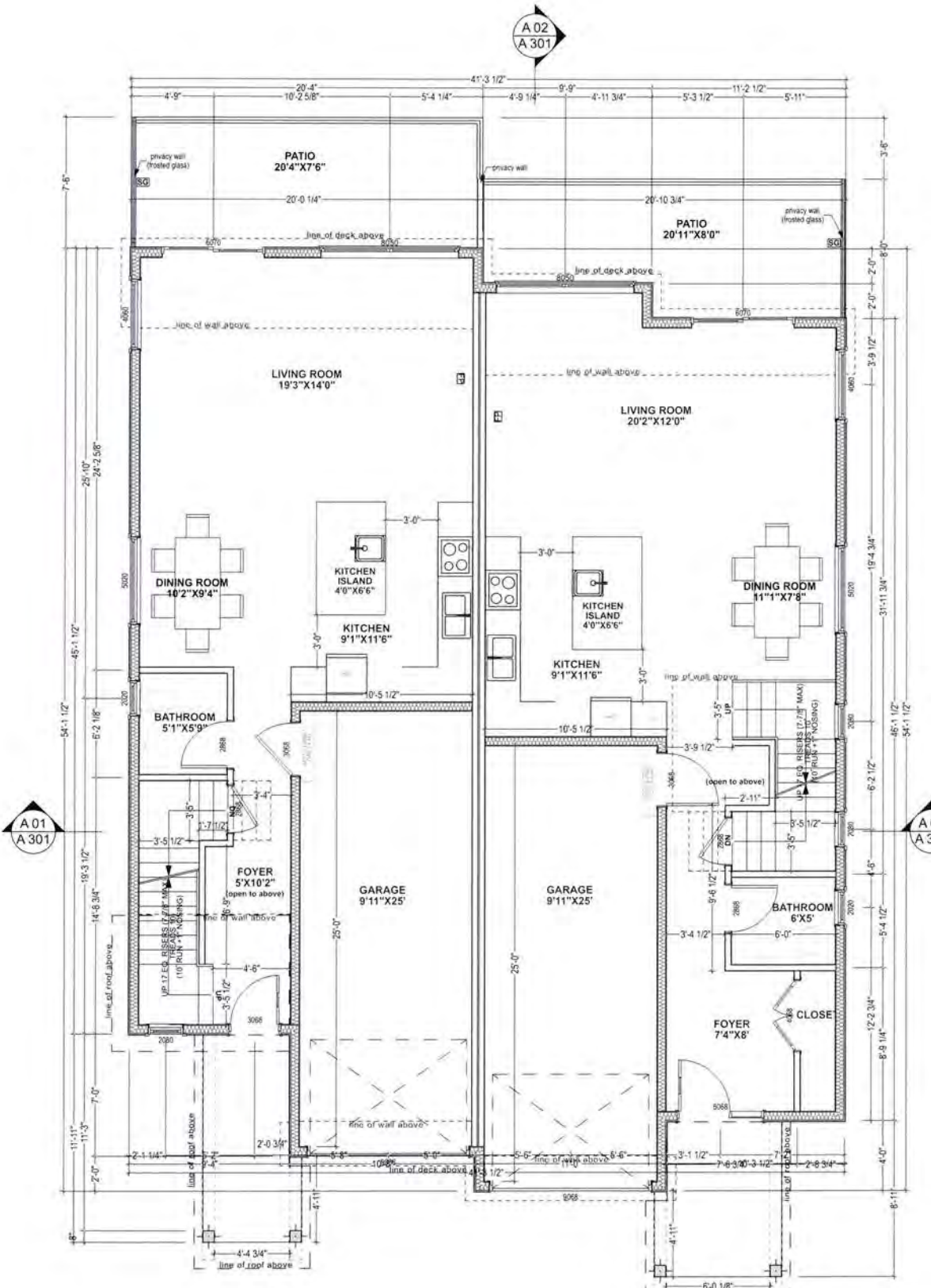
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PLAN LEGEND

- EXTERIOR WALL
- PARTITION WALL
- FOUNDATION WALL
- FROST WALL
- BEAM/COLUMN/FLOOR DRAIN
- DIMENSION PLACEMENT

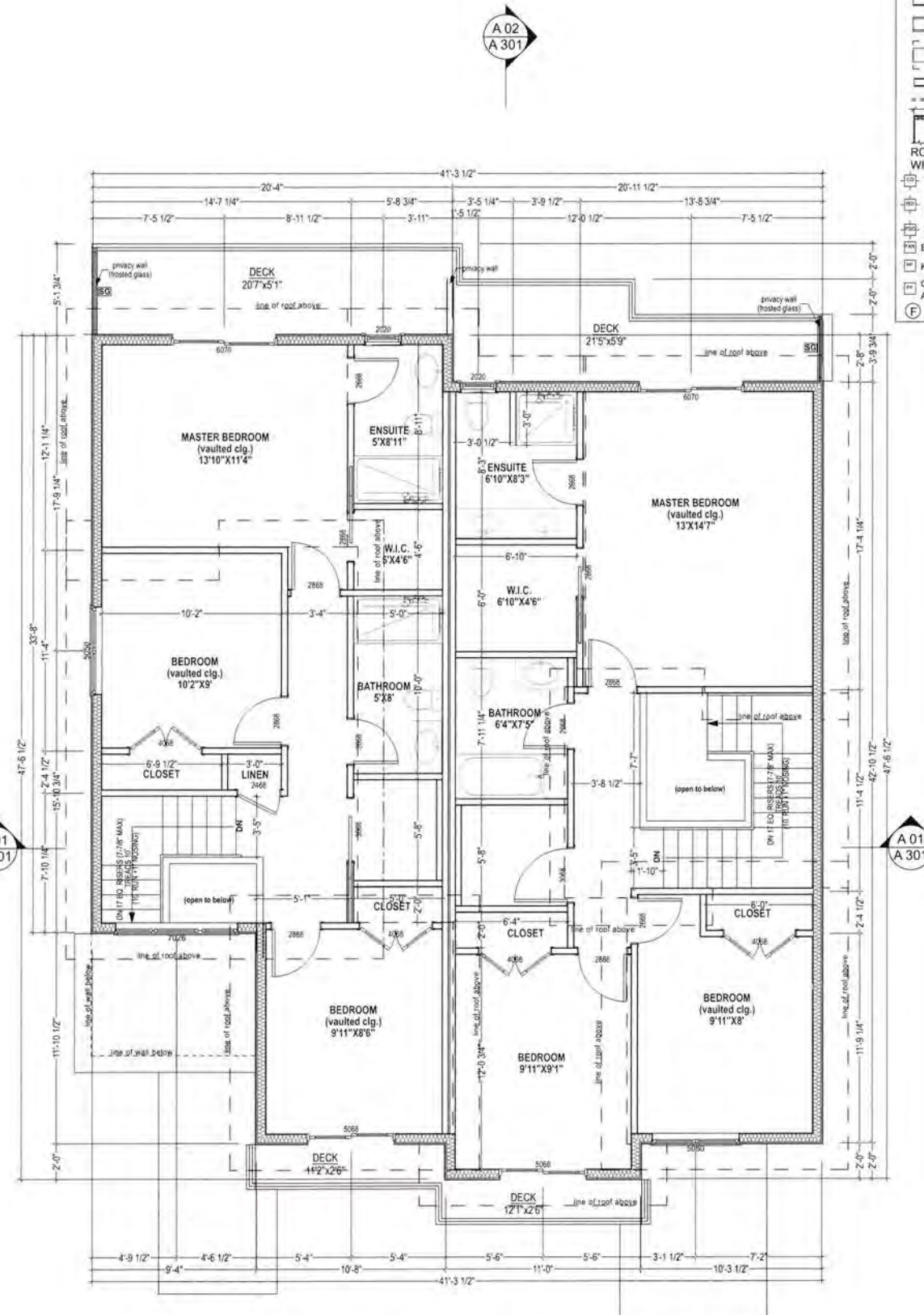
ROOM SIZES ARE INTERIOR DIMENSIONS
WIDTH X DEPTH

- HARDWIRED INTERCONNECTED CO DETECTOR
- HARDWIRED INTERCONNECTED IONIC SMOKE DETECTOR
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- CONTINUOUS PRINCIPAL EXHAUST FAN: VENTILATION RATE AS PER T9.32.3.4 - 9.32.3.5
- FRESH AIR SUPPLY
- PASSIVE AIR INLET



UNIT 1
MAIN FLOOR LIVABLE AREA
654 sq ft
GARAGE AREA
273 sq ft

UNIT 2
MAIN FLOOR LIVABLE AREA
708 sq ft
GARAGE AREA
273 sq ft



UNIT 1
UPPER FLOOR LIVABLE AREA
739 sq ft

UNIT 2
UPPER FLOOR LIVABLE AREA
820 sq ft

1 Main Floor Plan
SCALE 1/4" = 1'-0"

2 Upper Floor Plan
SCALE 1/4" = 1'-0"



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| |

MAIN AND UPPER
FLOOR PLAN



1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR CLADDING LEGEND

- 1 CLEAR CEDAR SIDING STAINED
- 2 STUCCO ACRYLIC FINISH
- 3 CONCRETE FOUNDATION
- 4 ASPHALT ROOFING SHINGLES
- 5 FROSTED GLASS

ADDITIONAL EXTERIOR FINISHINGS

- GUTTERS: 6" CONTINUOUS ALUMINUM (PREFINISHED)
- DOWNSPOUT: 4"x2" ALUMINUM DOWNSPOUT (PREFINISHED)
- SOFFIT: VENTED ALUMINUM (PREFINISHED)
- FASCIA: 2"x10 COMB FACED SPF (PAINTED)
- BELLY BAND: 2"x8 COMB FACED SPF (PAINTED)
- WINDOW TRIM: SHEET METAL REVEALS (PREFINISHED)
- DOOR TRIM: SHEET METAL REVEALS (PREFINISHED)

NOTE:
WINDOW OPERATION SHALL BE AS PER OWNERS DIRECTION AND CONFORM TO BCBC EGRESS REQUIREMENTS. CONTRACTOR TO VERIFY ALL R.O.C. PRIOR TO ORDERING WDW'S.
FLASH OVER ALL MATERIAL TRANSITIONS, DOOR AND WINDOW HEADERS.
ALL COLORS AS PER OWNER.



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COLVILLE ROAD 1072

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2 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

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ISSUED:

ELEVATIONS

A-201



3 REAR ELEVATION
SCALE: 1/4" = 1'-0"

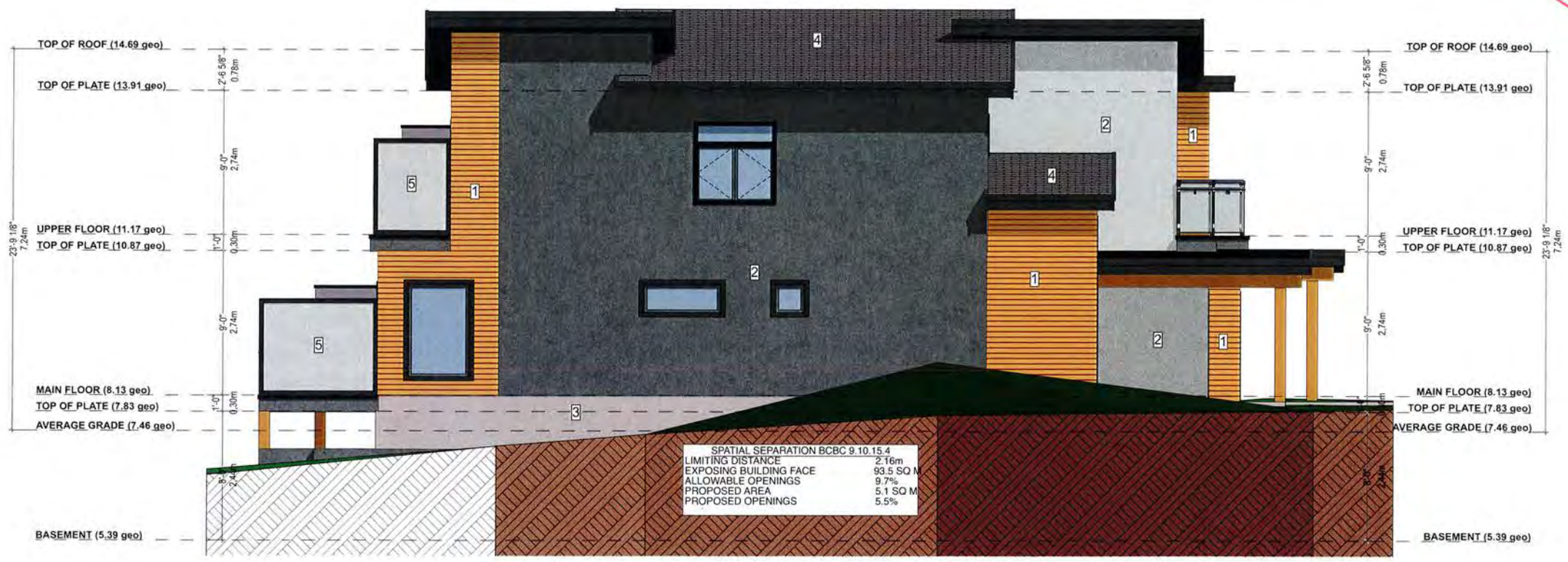
EXTERIOR CLADDING LEGEND

- 1 CLEAR CEDAR SIDING STAINED
- 2 STUCCO ACRYLIC FINISH
- 3 CONCRETE FOUNDATION
- 4 ASPHALT ROOFING SHINGLES
- 5 FROSTED GLASS

ADDITIONAL EXTERIOR FINISHINGS

GUTTERS: 6" CONTINUOUS ALUMINUM (PREFINISHED)
 SOFFIT: 1/2" ALUMINUM DOWNSPOUT (PREFINISHED)
 FASCIA: 2X10 COMB FACED SPF (PAINTED)
 BELLY BAND: 2X8 COMB FACED SPF (PAINTED)
 WINDOW TRIM: SHEET METAL REVEALS (PREFINISHED)
 DOOR TRIM: SHEET METAL REVEALS (PREFINISHED)

NOTE: WINDOW OPERATION SHALL BE AS PER OWNER'S DIRECTION AND CONFORM TO B.C. EGRESS REQUIREMENTS. CONTRACTOR TO VERIFY ALL R.O. PRIOR TO ORDERING GOODS.
 FLASH OVER ALL MATERIAL TRANSITIONS, DOOR AND WINDOW HEADERS.
 ALL COLORS AS PER OWNER.



4 LEFT ELEVATION
SCALE: 1/4" = 1'-0"

SPATIAL SEPARATION BCBC 9.10.15.4

| | |
|------------------------|-----------|
| LIMITING DISTANCE | 2.16m |
| EXPOSING BUILDING FACE | 93.5 SQ M |
| ALLOWABLE OPENINGS | 9.7% |
| PROPOSED AREA | 5.1 SQ M |
| PROPOSED OPENINGS | 5.5% |

ADAPT DESIGN

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 250.833.8127
 www.adaptdesign.ca

COLVILLE ROAD 1072

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The General Contractor is responsible for confirming and correlating dimensions at the job site. The Designer will not be responsible for construction means, methods, techniques, sequences, or procedures, or for safety precautions and programs in connection with the project.

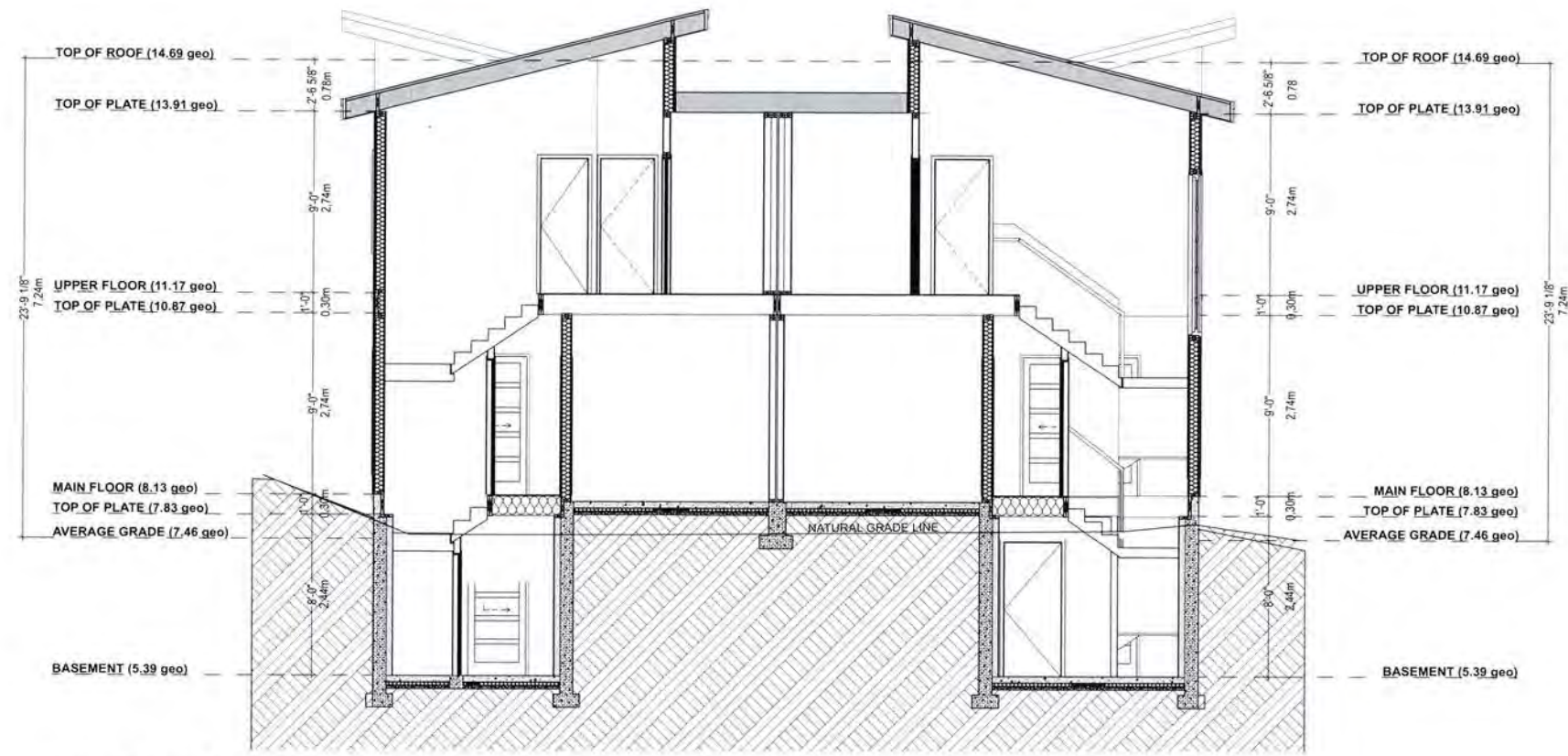
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ISSUED FOR DESIGN REVIEW

ISSUED:

ELEVATIONS

A-202



1 CROSS SECTION 01
SCALE: 1/4" = 1'-0"



2 CROSS SECTION 2
SCALE: 1/4" = 1'-0"

ISSUED FOR
DESIGN
REVIEW

ISSUED:

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| |

SECTIONS

A-301



1 PERSPECTIVE VIEW
NOT TO SCALE

2 PERSPECTIVE VIEW
NOT TO SCALE



3 PERSPECTIVE VIEW
NOT TO SCALE

4 PERSPECTIVE VIEW
NOT TO SCALE



ISSUED FOR
DESIGN
REVIEW

ISSUED:

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PERSPECTIVE VIEWS

Site Plan Showing Proposed Duplexes Situated on Lots 12 and 13, Esquimalt District, Plan 5241.

'Township of Esquimalt'



The intended plot size of this plan is 432 mm in width by 280 mm in height (B size) when plotted at a scale of 1:200

Legend:

Elevations are in metres, based on geodetic datum, and derived from geodetic control monument 84H0222 (elevation= 11.113) CGVD28.

All distances are in metres and decimals thereof unless otherwise indicated.

- 0.5 Pine denotes tree with associated type and diameter
- ◼ denotes water main
- _{Up} denotes utility pole

Siting and footprint of proposed duplexes derived from Adapt Designs house plans dated April 9, 2019, and is subject to an approved building permit.

Current Zone= RS-1

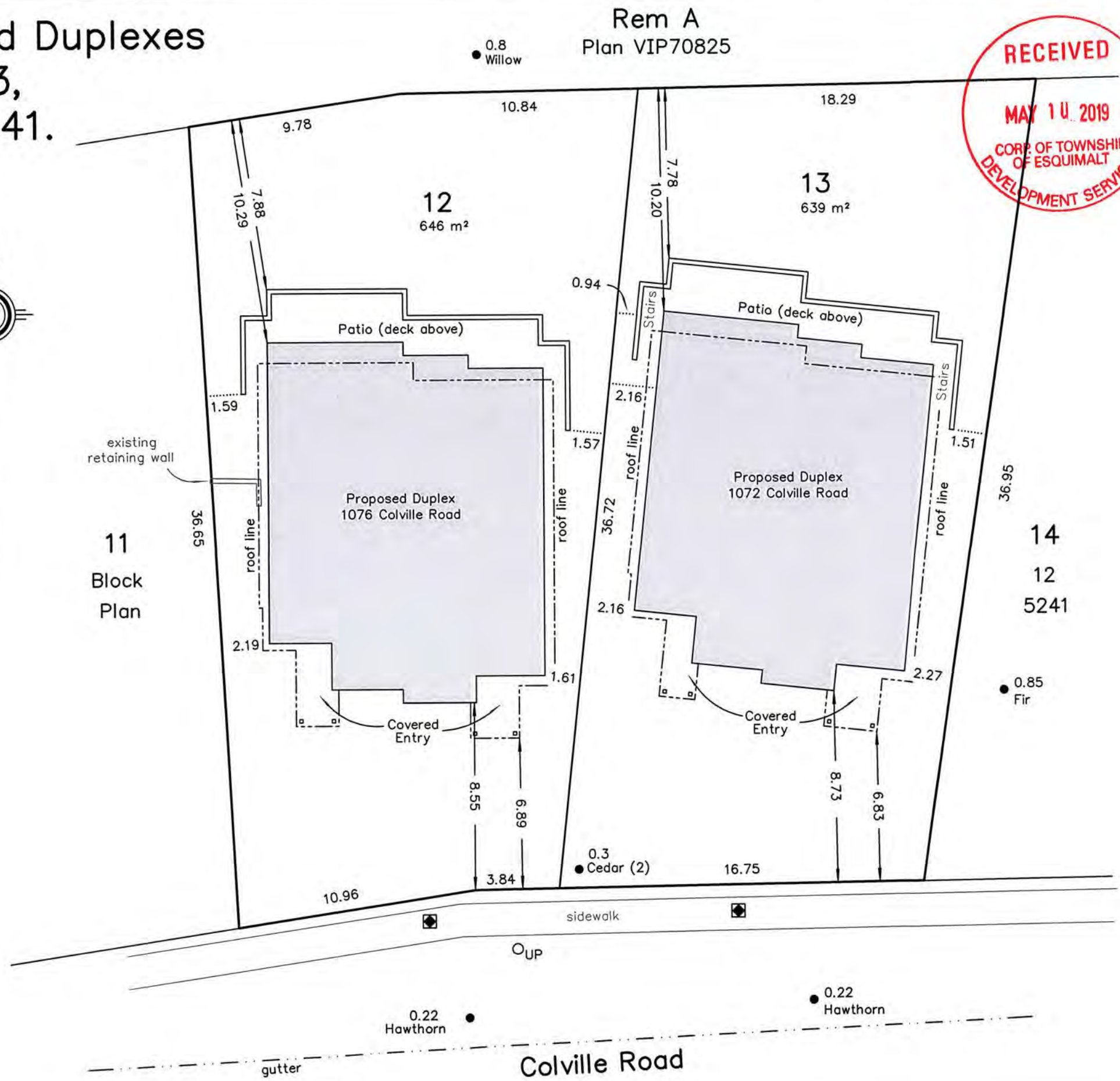
9 May 2019

Joseph S. Hadley, BCLS #925

McIlvaney Riley Land Surveying Inc.

#113 - 2244 Sooke Road
Victoria, B.C. V9B 1X1
(250) 474-5538
www.mrls.ca

File: 6091SITE-permit-20190509





CORPORATION OF THE TOWNSHIP OF ESQUIMALT

Municipal Hall, 1229 Esquimalt Road, Esquimalt, B.C. V9A 3P1
Telephone (250) 414-7100 Fax (250) 414-7111

APC Meeting: June 18, 2019

STAFF REPORT

DATE: June 13, 2019

TO: Chair and Members of the Advisory Planning Commission

FROM: Janany Nagulan, Planner
Bill Brown, Director of Development Services

**SUBJECT: REZONING APPLICATION-
1076 Colville Road
[PID 000-716-901, Lot 12 Block 12 Section 10 Esquimalt District Plan 5241]**

RECOMMENDATION:

The Esquimalt Advisory Planning Commission recommends to Council that the application for rezoning, authorizing one new duplex on the property in accordance with Site Plan prepared by prepared by McIlvaney Riley Land Surveying Inc. stamped "Received May 10, 2019" and be consistent with architectural plans provided by Adapt Design stamped "Received April 17, 2019" for the proposed development to be located at 1076 Colville Road [PID 000-716-901, Lot 12 Block 12 Section 10 Esquimalt District Plan 5241] be forwarded to Council with a recommendation **to either approve, approve with conditions, or deny the application; and provide reasons for the chosen recommendation.**

BACKGROUND:

Purpose of the Application

The applicant is requesting a change in zoning from the current RS-1 zone [Single Family Residential] to a Comprehensive Development District zone [CD] to permit a new duplex. The existing single family dwelling must be demolished before the new duplex is constructed. There is a rezoning application for the property east of the subject property, at 1072 Colville Road. The rezoning application was submitted by the same owner for the same purpose however it will be rezoned separately.

Evaluation of this application should focus on issues relevant to zoning such as the appropriateness of the proposed uses, height, density, massing, proposed unit sizes, siting, setbacks, lot coverage, useable open space, parking, how the building relates to surrounding sites; and consistency with the overall direction contained within the Official Community Plan.

The site is located within the following Development Permit areas: Development Permit Area No. 1 – Natural Environment, No. 3 – Enhance Design Control Residential, No. 7 Energy Conservation and Greenhouse Gas Reduction and No. 8 – Water Conservation of the Township's Official Community Plan. If the application for rezoning is approved, a Development Permit governing the form and character of the buildings, landscaping, and consistency with guidelines relating to natural environment protection, energy conservation, green house gas reduction and water conservation would be considered by Council at a future date.

Context**Applicant:** Denise Kors [Kors Development Services]**Owners:** David Kindrod [1112202 B.C. LTC]**Property Size:** Metric: 646 m² Imperial: 6953.49 ft²**Existing Land Use:** Single Family Dwelling**Surrounding Land Uses:**

North: Golf Course [P-3]

South: Single Family Residential [RS-1]

West: Single Family Residential [RS-1]

East: Single Family Residential [RS-1]

Existing Zoning: RS-1 [Single Family Residential]**Proposed Zoning:** CD [Comprehensive Development District]**Existing OCP Designation:** Low Density Residential [No change required]**Zoning and Parking**

The proposed Comprehensive Development District zone would be consistent with duplex projects and would contain the following uses: two family residential, home occupation, boarding and urban hens. The applicant has not proposed accessory building on the lot.

Density, Lot Coverage, Siting and Parking: The following chart compares the floor area ratio, lot coverage, setbacks, building height, and parking of this proposal with the requirements of the RD-1 [Two Family Residential zone] and its current zone RS-1 [Single Family]:

| | Current RS-1 [Single Family Residential] | RD-1 [Two Family Residential] | Proposed CD Zone 1076 Colville Road |
|--------------------------------|---|--|--|
| Minimum Parcel Size | 530 m ² | 668 m ² | 646 m ² |
| Floor Area Ratio | 0.35 | 0.40 | 0.40 |
| Lot Coverage | 30% | 30% | 36% |
| Setbacks | | | |
| • Front | 7.5 m | 7.5 m | 6.8 m |
| • Rear | 7.5 m | 7.5 m | 7.5 m |
| • Side | 3.0 m/1.5 m | 3.0 m/1.5 m | 2.1 m /1.6 m |
| Building Height | 7.3 m | 7.3 m | 7.3m |
| Off Street Parking | 1 space | 1 space | 1 space |

The Floor Area Ratio [FAR]: The new proposed duplex has a FAR of 0.40 which is consistent with the maximum FAR allowed for a lot less than 800 m² in the RD-1 zone.

Lot Coverage: The Lot Coverage of the current proposal is 36% which exceeds the typical requirement for a RD-1 Zone. Accessory buildings are not proposed therefore are not included Lot Coverage calculations.

Setbacks: The Eastern Side Setback of the proposed duplex is 1.6 m and the proposed Western Side Setback is 2.1 m. To be consistent with the RD-1 Zone the Side Setback requirements are 3.0 m and 1.5 m. The proposed front setback is 6.8 m and the rear setback is 7.8 m and within the RD-1 Zone the Front and Rear Setback are 7.5 m each.

Official Community Plan

This proposal is consistent with the 'Present' and the 'Proposed' Land Use Designations applied to the subject property, "Low Density Residential".

The following policies were considered in evaluating this development application:

Section 5 Housing & Residential Land Use

Objective: Support the expansion of housing types within Esquimalt while addressing concerns such as tree protection, parking, traffic, noise, effects on neighbouring properties, and neighbourhood character.

- Policy: Support the development of a variety of housing types and designs to meet the anticipated housing needs of residents. This may include non-market and market housing options that are designed to accommodate young and multi-generational families, the local workforce, as well as middle and high income households.

Section 5.2 Low Density Residential Redevelopment

Objective: Strive for redevelopment and infill development that improves and enhances the appearance and livability of neighbourhoods and the community as a whole.

- Policy: Proposed redevelopment or infill within present low density residential land use designated areas should be built to high quality design and landscaping standards and respond sensitively to existing neighbourhood amenities.

Green Building Features

The applicant has completed the Esquimalt Green Building Checklist [attached].

Comments From Other Departments

Building Inspection: No concerns. Subject to review for Building Code and Bylaw compliance at time of Building Permit Application.

Engineering Services: Engineering has completed a preliminary review of the proposed development and have the following comments:

Completion of Works and Services

According to Bylaw 2175, including all Schedules, the developer may be required to provide all Works and Services up to the road centreline. All Works and Services that are required to be constructed and installed at the expense of the Owner shall be constructed before the Approving Officer approves the development unless the Owner:

- Deposits with the Municipality a Security Deposit in the amount of 120% of the estimated construction cost, and
- Enters into a Servicing Agreement with the Municipality

Serviceability

A preliminary review reveals that the drain service connection for the subject property is discharged to the yard. The proposed development is to have Services as per Bylaw 2175 (Subdivision and Development Control Bylaw), including, but not limited to, new sewer and drain connections to each side of the duplex and underground H/T/C. New curb, gutter, and sidewalk along the frontage is also required.

Engineering

The Applicant is responsible for retaining the services of a qualified professional for the design and construction supervision of all Works and Services, including construction cost, engineering fees, administrative fees, and as indicated in Bylaw 2175.

Additional comments

Additional review comments will be provided when detailed engineering drawings are submitted.

Fire Services: No Concerns

Parks Services: A tree cutting permit application must be submitted for all trees that are planned to be removed as part of the construction, including boulevard trees. All trees that are to be retained must have tree protection fencing, erected at the drip line prior to commencement of work. No trees are to be removed prior to receiving an approved tree cutting permit.

Public Notification

As this is a rezoning application, should it proceed to a Public Hearing, notices will be mailed to tenants and owners of properties within 100m (328 ft.) of the subject property. One sign on the property indicating that the property is under consideration for a change in zoning has been installed on the property since May 2019. The sign will be updated to include the date, time, and location of the Public Hearing.

ALTERNATIVES:

1. Forward the application for Rezoning to Council with a **recommendation of approval including reasons for the recommendation.**
2. Forward the application for Rezoning to Council with a **recommendation of approval including specific conditions and including reasons for the recommendation.**
3. Forward the application for Rezoning to Council with a **recommendation of denial including reasons for the recommendation.**



1082

1078

1076

1072

1068

1064

1060
1058

Colville Rd

MacLeod Ave

1083

1079

1077

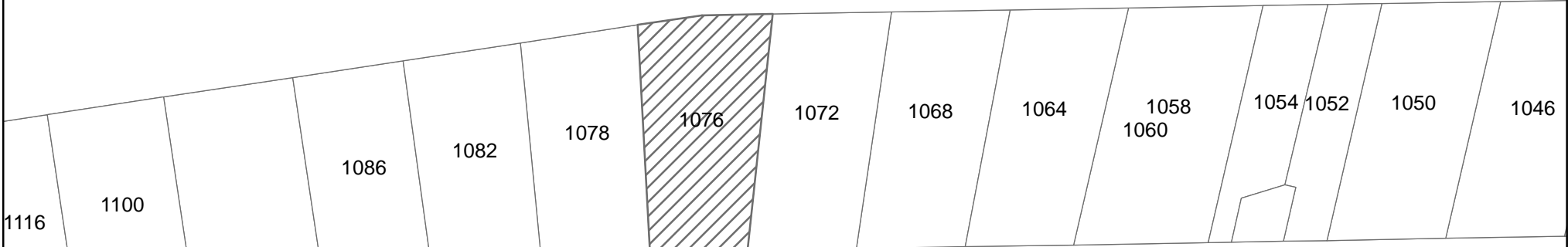
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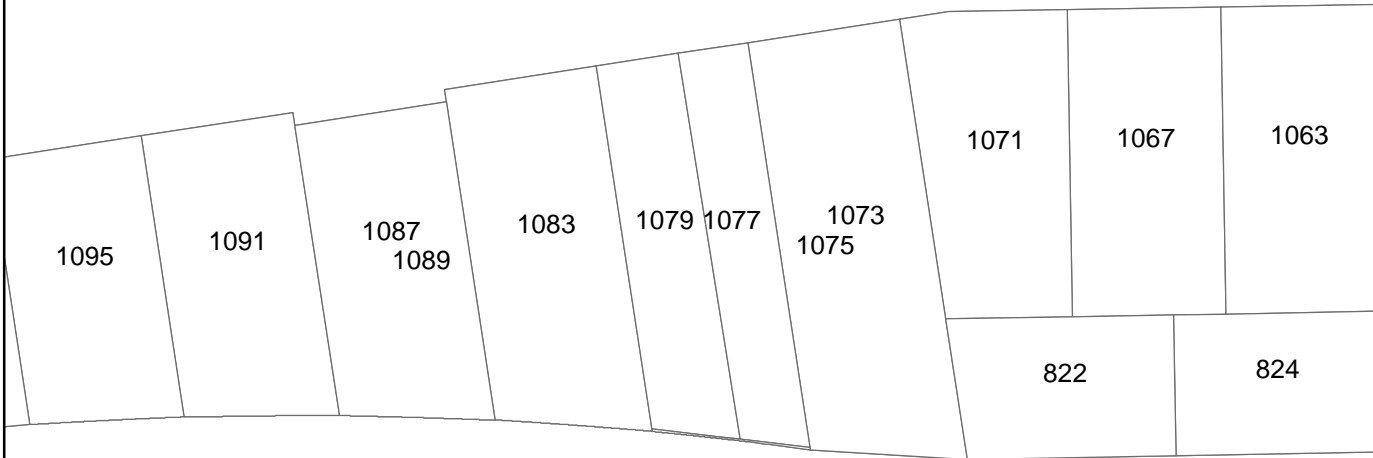
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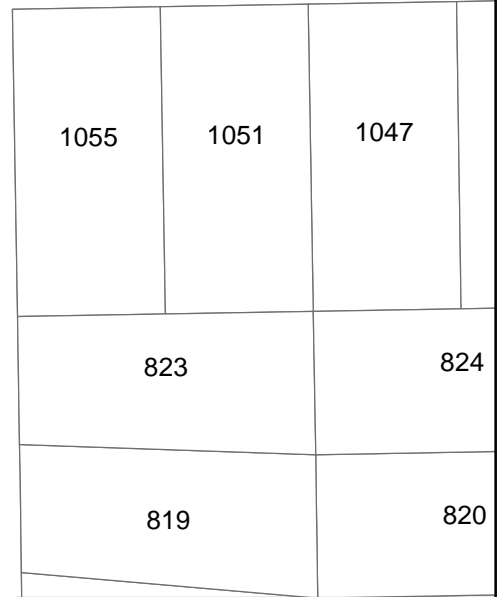
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Colville Rd

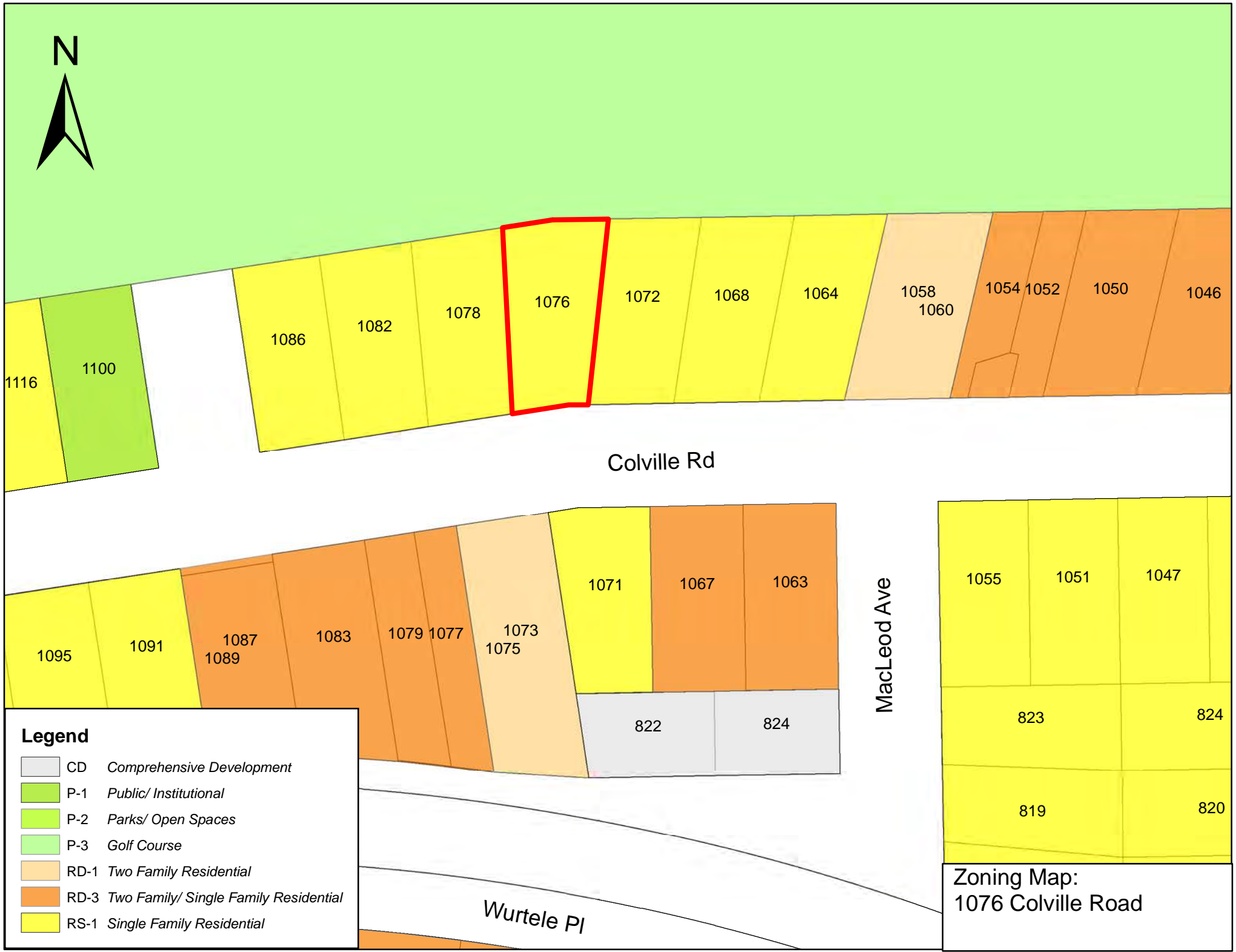


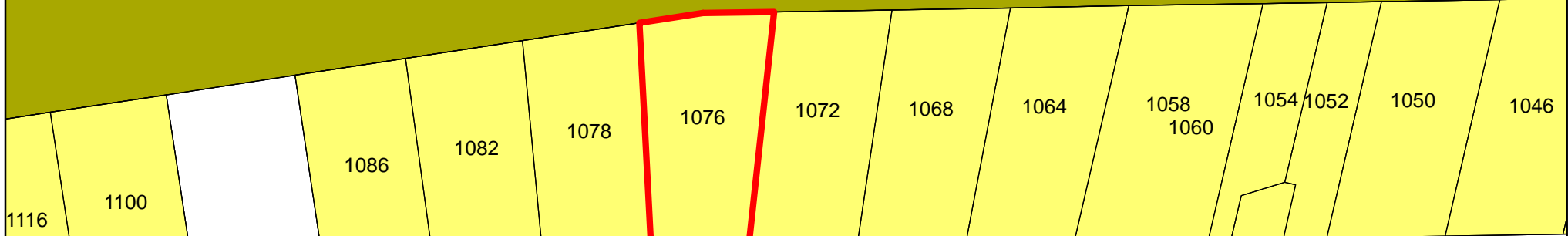
MacLeod Ave



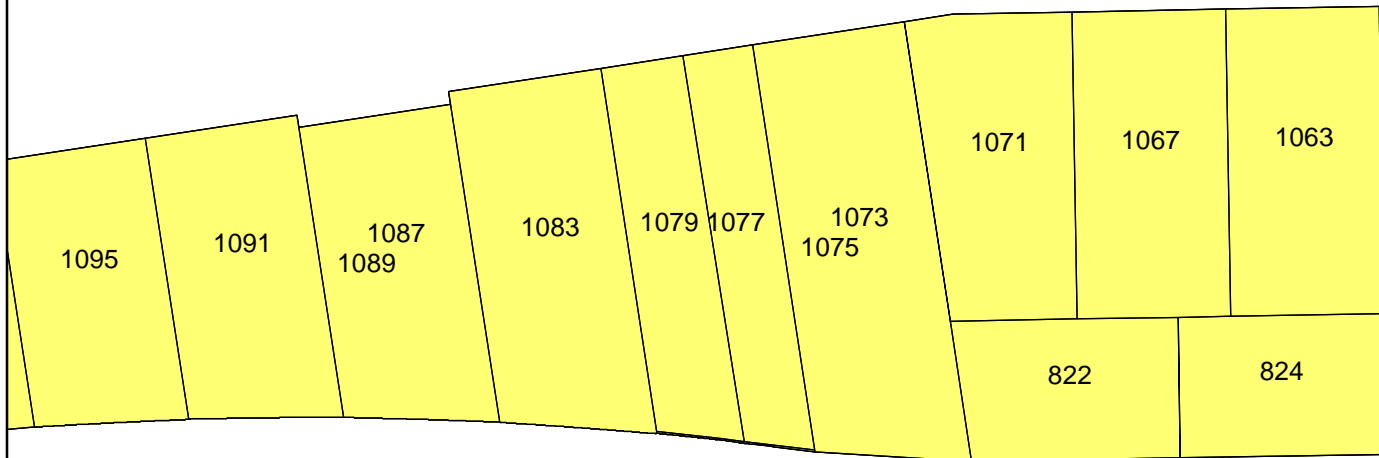
Wurtele Pl

Subject Property Map:
1076 Colville Road

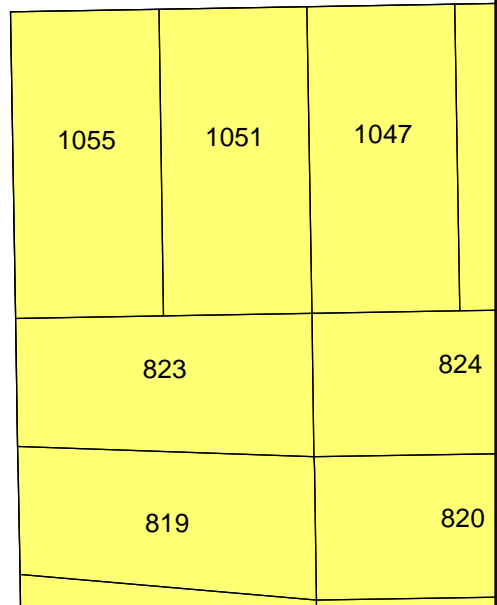







Colville Rd



MacLeod Ave



Legend

-  Low Density Residential
-  Parks and Open Space
-  Agricultural Land Reserve

Wurtele Pl

Official Community Plan
Land Designation Map:
1076 Colville Road

For Both 1072 and 1076
Colville Road

Township of
ESQUIMALT



GREEN BUILDING CHECKLIST

The purpose of this Checklist is to make property owners and developers aware of specific green features that can be included in new developments to reduce their carbon footprints to help create a more sustainable community.

Creating walkable neighbourhoods, fostering green building technologies, making better use of our limited land base and ensuring that new development is located close to services, shops and transit are some of the means of achieving sustainability.

The Checklist which follows focuses on the use of **Green Technologies** in new buildings and major renovations. The Checklist is not a report card, it is a tool to help identify how your project can become 'greener' and to demonstrate to Council how your project will help the Township of Esquimalt meet its sustainability goals. It is not expected that each development will include all of the ideas set out in this list but Council is looking for a strong commitment to green development.

There are numerous green design standards, for example, Built Green BC; LEED ND; Living Building Challenge; Green Shores; Sustainable Sites Initiative. Esquimalt is not directing you to follow any particular standard, however, you are strongly encouraged to incorporate as many green features as possible into the design of your project .

As you review this checklist, if you have any questions please contact **Development Services** at 250.414.7108 for clarification.

**New development is essential to Esquimalt.
We look forward to working with you
to ensure that development is
as green and sustainable as possible.**

Other documents containing references to building and site design and sustainability, which you are advised to review, include:

- Esquimalt's Official Community Plan
- Development Protocol Policy
- Esquimalt's Pedestrian Charter
- Tree Protection Bylaw No. 2664
- A Sustainable Development Strategic Plan for the Township of Esquimalt

Adopted on January 10th, 2011



“One-third of Canada’s energy use goes to running our homes, offices and other buildings. The federal government’s Office of Energy Efficiency (Natural Resources Canada) reports that a corresponding one-third of our current greenhouse gas (GHG) emissions come from the built environment.”
 [Green Building and Development as a Public Good, Michael Buzzelli, CPRN Research Report June 2009]

Please answer the following questions and describe the green and innovative features of your proposed development. Depending on the size and scope of your project, some of the following points may not be applicable.

Green Building Standards
Both energy use and emissions can be reduced by changing or modifying the way we build and equip our buildings.

| | | | |
|----|--|--------------------------------------|-------------------------------------|
| 1 | Are you building to a recognized green building standard? If yes, to what program and level? | Yes | <input checked="" type="radio"/> No |
| 2 | If not, have you consulted a Green Building or LEED consultant to discuss the inclusion of green features? | <input checked="" type="radio"/> Yes | <input type="radio"/> No |
| 3 | Will you be using high-performance building envelope materials, rainscreen siding, durable interior finish materials or safe to re-use materials in this project? If so, please describe them. <u>Flossing</u> | <input checked="" type="radio"/> Yes | <input type="radio"/> No |
| 4 | What percentage of the existing building[s], if any, will be incorporated into the new building? | <u>0</u> | % |
| 5 | Are you using any locally manufactured wood or stone products to reduce energy used in the transportation of construction materials? Please list any that are being used in this project. <u>Yes - where available</u> | | |
| 6 | Have you considered advanced framing techniques to help reduce construction costs and increase energy savings? | <input checked="" type="radio"/> Yes | <input type="radio"/> No |
| 7 | Will any wood used in this project be eco-certified or produced from sustainably managed forests? If so, by which organization? <u>TBD</u> For which parts of the building (e.g. framing, roof, sheathing etc.)? <u>TBD</u> | | |
| 8 | Can alternatives to Chlorofluorocarbon’s and Hydro-chlorofluorocarbons which are often used in air conditioning, packaging, insulation, or solvents] be used in this project? If so, please describe these. <u>Heat Pump</u> | <input checked="" type="radio"/> Yes | <input type="radio"/> No |
| 9 | List any products you are proposing that are produced using lower energy levels in manufacturing. <u>Not aware at this time</u> | | |
| 10 | Are you using materials which have a recycled content [e.g. roofing materials, interior doors, ceramic tiles or carpets]? | Yes | <input checked="" type="radio"/> No |
| 11 | Will any interior products [e.g. cabinets, insulation or floor sheathing] contain formaldehyde? | Yes | <input checked="" type="radio"/> No |

Water Management

The intent of the following features is to promote water conservation, re-use water on site, and reduce storm water run-off.

Indoor Water Fixtures

| | | | |
|----|---|--------------------------------------|----|
| 12 | Does your project exceed the BC Building Code requirements for public lavatory faucets and have automatic shut offs? <i>N/A.</i> | Yes | No |
| 13 | For commercial buildings, do flushes for urinals exceed BC Building Code requirements? <i>N/A.</i> | Yes | No |
| 14 | Does your project use dual flush toilets and do these exceed the BC Building Code requirements? | <input checked="" type="radio"/> Yes | No |
| 15 | Does your project exceed the BC Building Code requirements for maximum flow rates for private showers? | <input checked="" type="radio"/> Yes | No |
| 16 | Does your project exceed the BC Building Code requirements for flow rates for kitchen and bathroom faucets? | <input checked="" type="radio"/> Yes | No |

Storm Water

| | | | | |
|----|--|--------------------------------------|-------------------------------------|--------------------------------------|
| 17 | If your property has water frontage, are you planning to protect trees and vegetation within 60 metres of the high water mark? [Note: For properties located on the Gorge Waterway, please consult Sections 7.1.2.1 and 9.6 of the Esquimalt Official Community Plan.] | Yes | No | <input checked="" type="radio"/> N/A |
| 18 | Will this project eliminate or reduce inflow and infiltration between storm water and sewer pipes from this property? | Yes | No | <input checked="" type="radio"/> N/A |
| 19 | Will storm water run-off be collected and managed on site (rain gardens, wetlands, or ponds) or used for irrigation or re-circulating outdoor water features? If so, please describe. <u>Bio Swales @ rear.</u> | <input checked="" type="radio"/> Yes | No | N/A |
| 20 | Have you considered storing rain water on site (rain barrels or cisterns) for future irrigation uses? | Yes | <input checked="" type="radio"/> No | N/A |
| 21 | Will surface pollution into storm drains will be mitigated (oil interceptors, bio-swales)? If so, please describe. <u>Bio swales @ rear</u> | <input checked="" type="radio"/> Yes | No | N/A |
| 22 | Will this project have an engineered green roof system or has the structure been designed for a future green roof installation? | Yes | <input checked="" type="radio"/> No | N/A |
| 23 | What percentage of the site will be maintained as naturally permeable surfaces? <i>approx 74</i> % | | | |

Waste water

| | | | | |
|----|--|-----|----|--------------------------------------|
| 24 | For larger projects, has Integrated Resource Management (IRM) been considered (e.g. heat recovery from waste water or onsite waste water treatment)? If so, please describe these. | Yes | No | <input checked="" type="radio"/> N/A |
|----|--|-----|----|--------------------------------------|

Natural Features/Landscaping

The way we manage the landscape can reduce water use, protect our urban forest, restore natural vegetation and help to protect the watershed and receiving bodies of water.

| | | | | |
|----|--|--------------------------------------|----|-----|
| 25 | Are any healthy trees being removed? If so, how many and what species? <u>One Boulevard Hawthorn.</u> | <input checked="" type="radio"/> Yes | No | N/A |
| | Could your site design be altered to save these trees? <i>No</i> | | | |
| | Have you consulted with our Parks Department regarding their removal? <i>No</i> | | | |

- 26 Will this project add new trees to the site and increase our urban forest?
If so, how many and what species? 4 Trees - Medium Maples Yes No N/A
- 27 Are trees [existing or new] being used to provide shade in summer or to buffer winds? Retained + new trees Yes No N/A
- 28 Will any existing native vegetation on this site be protected?
If so, please describe where and how. _____ Yes No N/A
- 29 Will new landscaped areas incorporate any plant species native to southern Vancouver Island? Yes No N/A
- 30 Will xeriscaping (i.e. the use of drought tolerant plants) be utilized in dry areas? Yes No N/A
- 31 Will high efficiency irrigation systems be installed (e.g. drip irrigation; 'smart' controls)? Yes No N/A
- 32 Have you planned to control invasive species such as Scotch broom, English ivy, Himalayan and evergreen blackberry growing on the property? Yes No N/A
- 33 Will topsoil will be protected and reused on the site? Yes No N/A

Energy Efficiency

Improvements in building technology will reduce energy consumption and in turn lower greenhouse gas [GHG] emissions. These improvements will also reduce future operating costs for building occupants.

- 34 Will the building design be certified by an independent energy auditor/analyst?
If so, what will the rating be? _____ Yes No N/A
- 35 Have you considered passive solar design principles for space heating and cooling or planned for natural day lighting? Yes No N/A
- 36 Does the design and siting of buildings maximize exposure to natural light?
What percentage of interior spaces will be illuminated by sunlight? _____% Yes No N/A
- 37 Will heating and cooling systems be of enhanced energy efficiency (ie. geothermal, air source heat pump, solar hot water, solar air exchange, etc.).
If so, please describe. Heat Pumps + Solar Ready
If you are considering a heat pump, what measures will you take to mitigate any noise associated with the pump? _____ Yes No N/A
- 38 Has the building been designed to be solar ready? Yes No N/A
- 39 Have you considered using roof mounted photovoltaic panels to convert solar energy to electricity? Yes No N/A
- 40 Do windows exceed the BC Building Code heat transfer coefficient standards? Yes No N/A
- 41 Are energy efficient appliances being installed in this project?
If so, please describe. YES
- 42 Will high efficiency light fixtures be used in this project?
If so, please describe. Yes No N/A
- 43 Will building occupants have control over thermal, ventilation and light levels? Yes No N/A
- 44 Will outdoor areas have automatic lighting [i.e. motion sensors or time set]? Yes No N/A
- 45 Will underground parking areas have automatic lighting? Yes No N/A

Air Quality

The following items are intended to ensure optimal air quality for building occupants by reducing the use of products which give off gases and odours and allowing occupants control over ventilation.

| | | | | |
|----|---|-----|----|-----|
| 46 | Will ventilation systems be protected from contamination during construction and certified clean post construction? | Yes | No | N/A |
| 47 | Are you using any natural, non-toxic, water soluble or low-VOC [volatile organic compound] paints, finishes or other products? If so, please describe. _____ | Yes | No | N/A |
| 48 | Will the building have windows that occupants can open? | Yes | No | N/A |
| 49 | Will hard floor surface materials cover more than 75% of the liveable floor area? | Yes | No | N/A |
| 50 | Will fresh air intakes be located away from air pollution sources? | Yes | No | N/A |

Solid Waste

Reuse and recycling of material reduces the impact on our landfills, lowers transportation costs, extends the life-cycle of products, and reduces the amount of natural resources used to manufacture new products.

| | | | | |
|----|---|-----|----|-----|
| 51 | Will materials be recycled during demolition of existing buildings and structures? If so, please describe. <u>Hiring a Building Salvage Company</u> | Yes | No | N/A |
| 52 | Will materials be recycled during the construction phase? If so, please describe. _____ | Yes | No | N/A |
| 53 | Does your project provide enhanced waste diversion facilities i.e. on-site recycling for cardboard, bottles, cans and or recyclables or on-site composting? | Yes | No | N/A |
| 54 | For new commercial development, are you providing waste and recycling receptacles for customers? | Yes | No | N/A |

Green Mobility

The intent is to encourage the use of sustainable transportation modes and walking to reduce our reliance on personal vehicles that burn fossil fuels which contributes to poor air quality.

| | | | | |
|----|--|-----|----|-----|
| 55 | Is pedestrian lighting provided in the pathways through parking and landscaped areas and at the entrances to your building[s]? | Yes | No | N/A |
| 56 | For commercial developments, are pedestrians provided with a safe path[s] through the parking areas and across vehicles accesses? | Yes | No | N/A |
| 57 | Is access provided for those with assisted mobility devices? | Yes | No | N/A |
| 58 | Are accessible bike racks provided for visitors? | Yes | No | N/A |
| 59 | Are secure covered bicycle parking and dedicated lockers provided for residents or employees? | Yes | No | N/A |
| 60 | Does your development provide residents or employees with any of the following features to reduce personal automobile use [check all that apply]: <input type="checkbox"/> transit passes <input type="checkbox"/> car share memberships <input type="checkbox"/> shared bicycles for short term use <input type="checkbox"/> weather protected bus shelters <input checked="" type="checkbox"/> plug-ins for electric vehicles | | | |

Is there something unique or innovative about your project that has not been addressed by this Checklist? If so, please add extra pages to describe it.



ISSUED FOR
DESIGN
REVIEW

ISSUED:

COVER SHEET

A-001



COVER SHEET & GENERAL INFO

- A-001 COVER SHEET
- A-002 SITE PLAN

PLANS

- A-101 FOUNDATION PLAN
- A-102 BASEMENT AND ROOF PLAN
- A-103 MAIN AND UPPER FLOOR PLAN

ELEVATIONS

- A-201 ELEVATIONS
- A-202 ELEVATIONS

SECTIONS

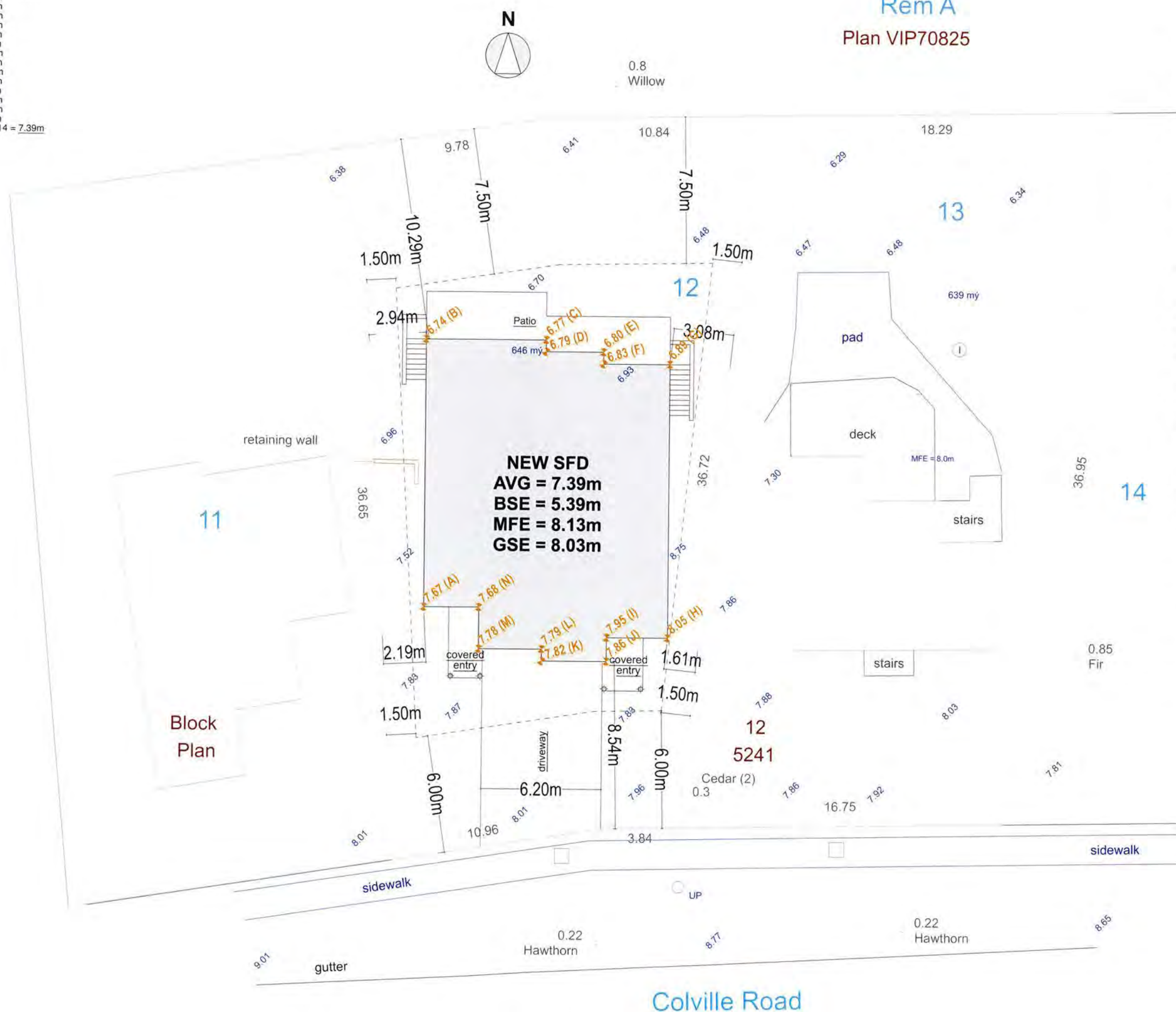
- A-301 SECTIONS
- A-501 PERSPECTIVES

NEW MODERN DUPLEX

1072/1076 COLVILLE ROAD,
ESQUIMALT, BC

AVERAGE GRADE
 A = 7.67m
 B = 6.74m
 C = 6.77m
 D = 6.79m
 E = 6.80m
 F = 6.83m
 G = 6.89m
 H = 8.05m
 I = 7.95m
 J = 7.86m
 K = 7.82m
 L = 7.79m
 M = 7.78m
 N = 7.68m
 103.42m/14 = 7.39m

Rem A
 Plan VIP70825



NEW SFD
AVG = 7.39m
BSE = 5.39m
MFE = 8.13m
GSE = 8.03m

Property Information

Project Type: New Duplex
 Owner: David Kindrat
 Address: 1076 Colville Road, Esquimalt, BC
 Legal Description: LOT 11, BLOCK 6, SECTION 10, ESQUIMALT DISTRICT, PLAN 5240, PID: 001-478-656
 Zoning: Proposed CD

| | Zoning | Proposed |
|--------------------------------|-----------|-------------|
| Setbacks: | | |
| Rear | 7.5m | 10.29m |
| Side | 1.5m/1.5m | 2.19m/1.61m |
| Front | 7.5m | 8.54m |
| Garage Setback from Front Face | 1.5m | 1.5m |
| Height | 7.3m | 7.21m |
| Floor Area: | | |
| Basement | | 1258 SF |
| Main | | 1362 SF |
| Garage | | 546 SF |
| Upper | | 1559 SF |
| Total | | 4725 SF |
| Lot Area: | | 7028.83 SF |
| Building Footprint: | | 1908 SF |
| Lot Coverage | 30% | 27.14% |
| Floor Area Ratio | 0.40 | 0.4 |
| Main Floor Elevation | | 8.13m |
| Average Grade | | 7.39m |

Applicable Codes

-BC Building Code Current Edition (2018)

Energy

Compliance path: BCBC 9.36
 Requirements applicable to this project: Prescriptive Path

Ventilation

BCBC 9.32



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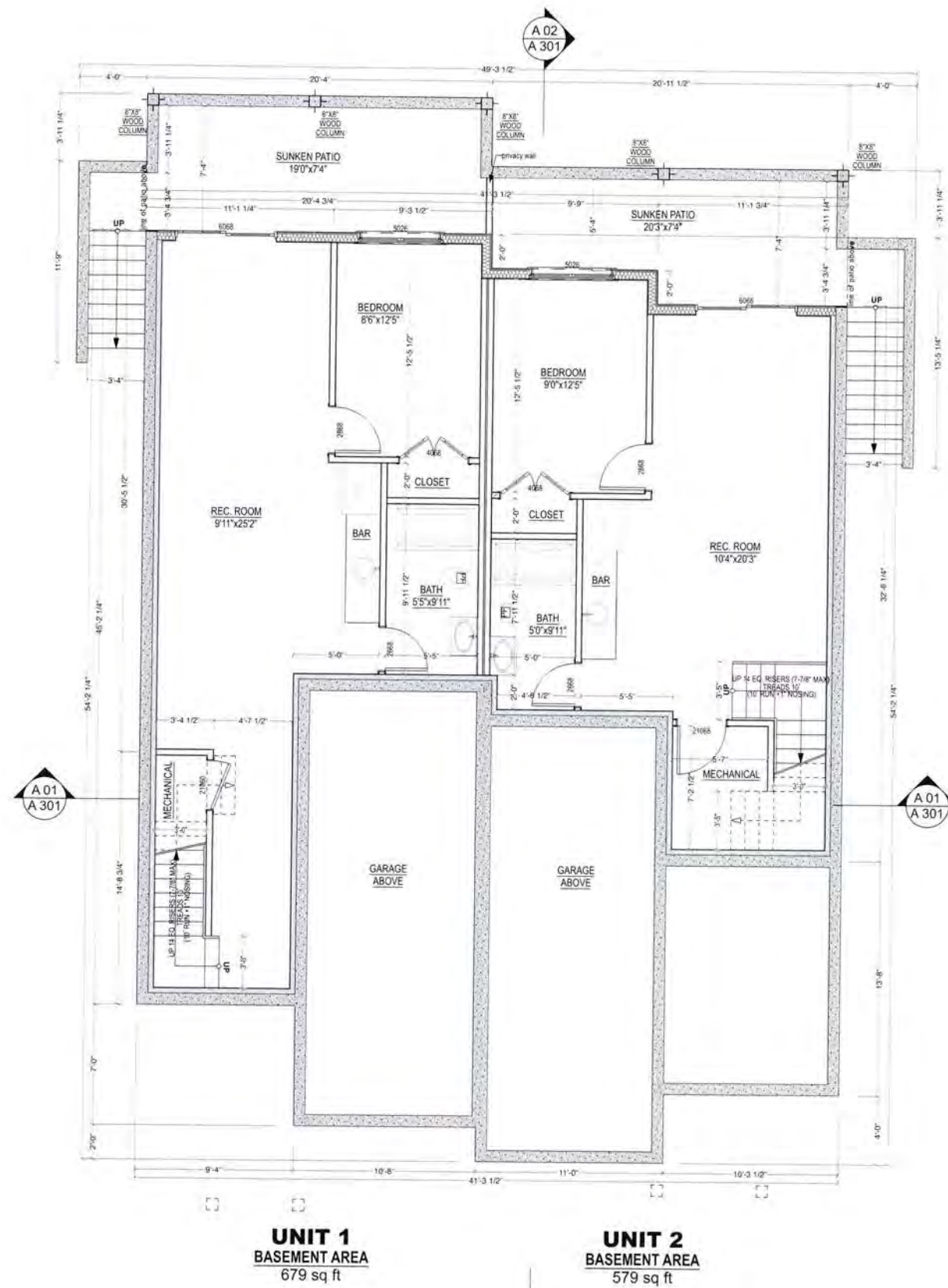
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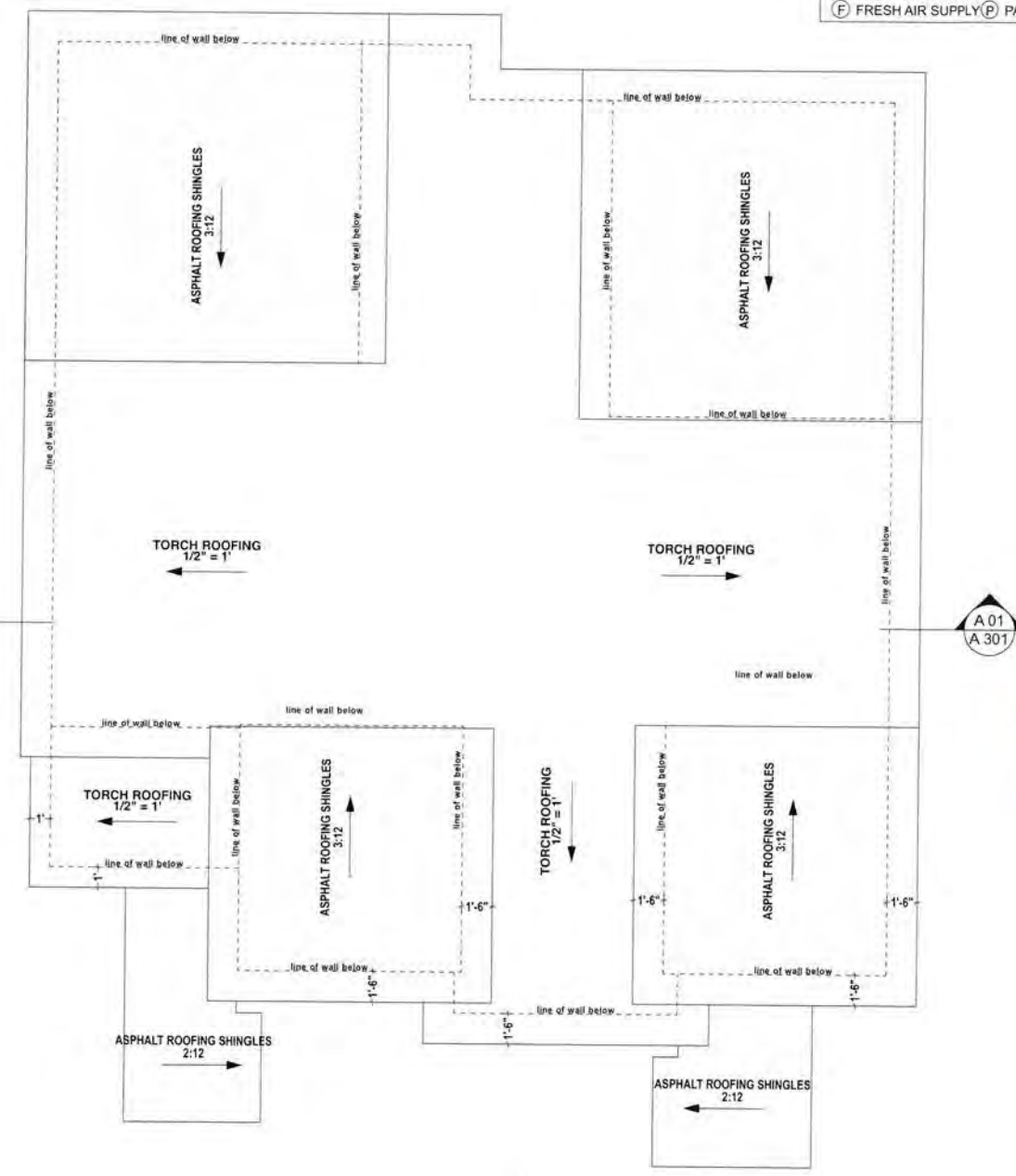




UNIT 1
BASEMENT AREA
679 sq ft

UNIT 2
BASEMENT AREA
579 sq ft

1 Basement
SCALE: 1/4" = 1'-0"



2 Roof Plan
SCALE: 1/4" = 1'-0"

PLAN LEGEND

| | |
|--|---------------------|
| | EXTERIOR WALL |
| | PARTITION WALL |
| | FOUNDATION WALL |
| | FROST WALL |
| | BEAM COLUMN |
| | FLOOR DRAIN |
| | DIMENSION PLACEMENT |

ROOM SIZES ARE INTERIOR DIMENSIONS
WIDTH X DEPTH

-
-
-
-
-
-
-
-



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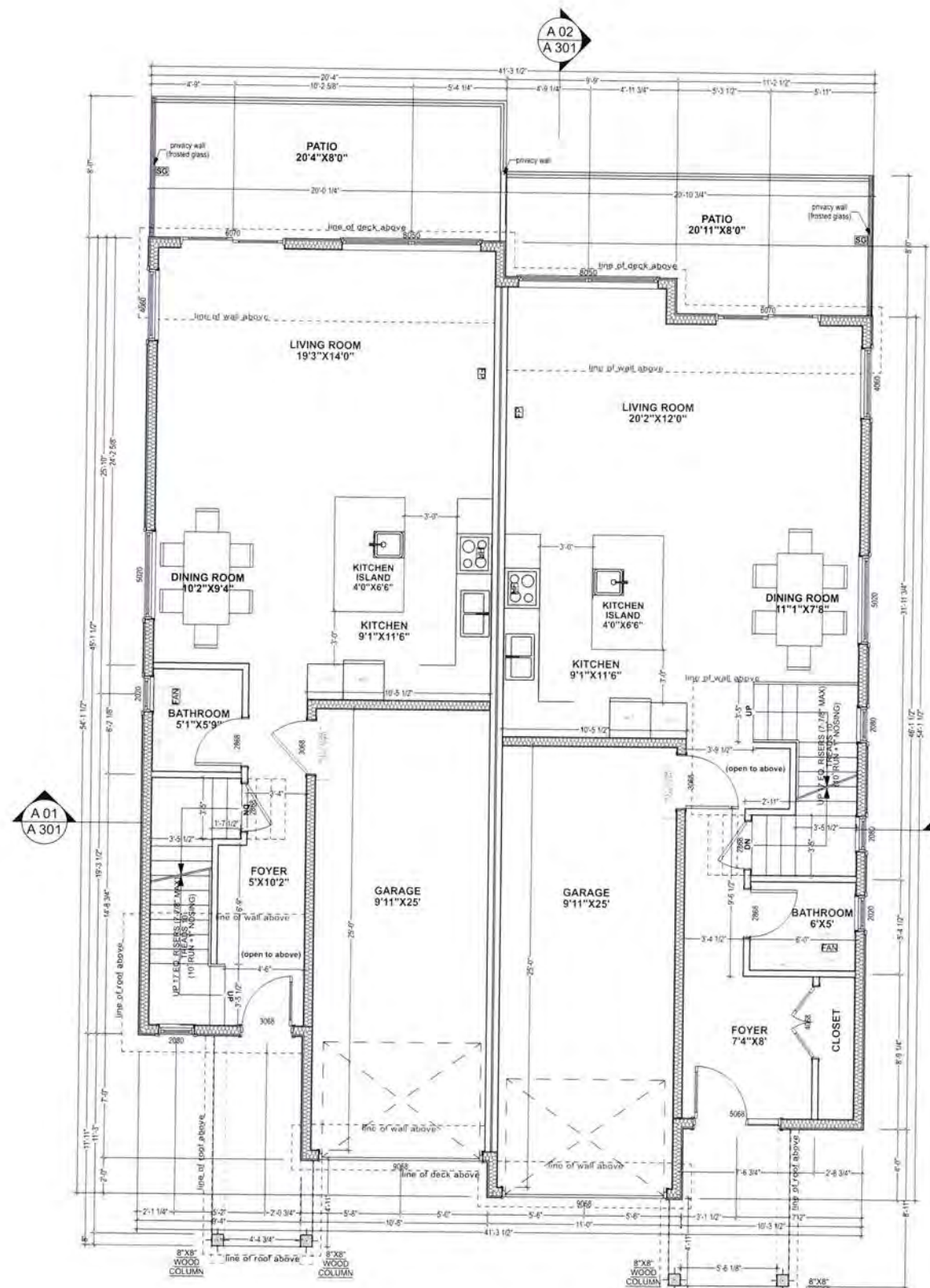


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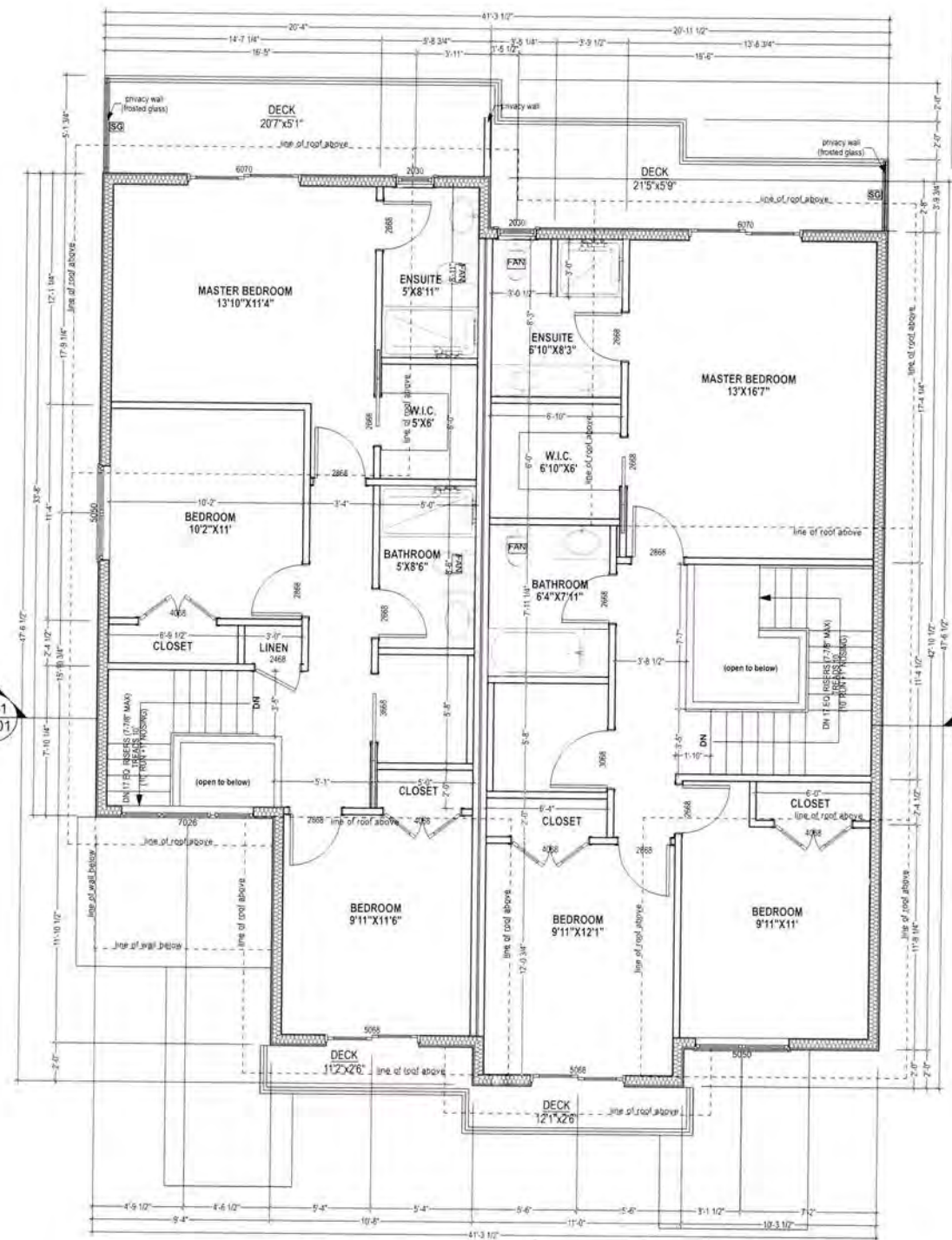
BASEMENT AND ROOF
PLAN

A-102



UNIT 1
MAIN FLOOR LIVABLE AREA
 654 sq ft
GARAGE AREA
 273 sq ft

UNIT 2
MAIN FLOOR LIVABLE AREA
 708 sq ft
GARAGE AREA
 273 sq ft



UNIT 1
UPPER FLOOR LIVABLE AREA
 739 sq ft

UNIT 2
UPPER FLOOR LIVABLE AREA
 820 sq ft

- PLAN LEGEND**
- EXTERIOR WALL
 - PARTITION WALL
 - FOUNDATION WALL
 - FROST WALL
 - BEAM @ COLUMN FLOOR DRAIN DIMENSION PLACEMENT
 - ROOM SIZES ARE INTERIOR DIMENSIONS WIDTH X DEPTH
 - HARDWIRED INTERCONNECTED CO DETECTOR
 - HARDWIRED INTERCONNECTED IONIC SMOKE DETECTOR
 - HARDWIRED PHOTOELECTRIC SMOKE DETECTOR
 - BATH FAN VENTILATION RATE 25 L/S INTERMITTENT
 - KITCHEN FAN VENTILATION RATE 47 L/S INTERMITTENT
 - CONTINUOUS PRINCIPAL EXHAUST FAN VENTILATION RATE AS PER T9.32.3.4 - 9.32.3.5
 - FRESH AIR SUPPLY P PASSIVE AIR INLET



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ISSUED:

MAIN AND UPPER
 FLOOR PLAN

A-103

1 Main Floor Plan
 SCALE: 1/4" = 1'-0"

2 Upper Floor Plan
 SCALE: 1/4" = 1'-0"



1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

| SPATIAL SEPARATION BCBC 9.10.15.4 | |
|-----------------------------------|-----------|
| LIMITING DISTANCE | 1.61m |
| EXPOSING BUILDING FACE | 90.7 SQ M |
| ALLOWABLE OPENINGS | 10.4% |
| PROPOSED AREA | 4.5 SQ M |
| PROPOSED OPENINGS | 5% |

EXTERIOR CLADDING LEGEND

| | |
|---|----------------------------|
| 1 | CLEAR CEDAR SIDING STAINED |
| 2 | STUCCO ACRYLIC FINISH |
| 3 | CONCRETE FOUNDATION |
| 4 | STONE VENEER AS PER OWNER |
| 5 | ASPHALT ROOFING SHINGLES |
| 6 | FROSTED GLASS |

ADDITIONAL EXTERIOR FINISHINGS

| | |
|-------------|---|
| OUTTERS | 3" CONTINUOUS ALUMINUM (PREFINISHED) |
| SOFFIT | OR 4"x2" ALUMINUM DOWNGUT (PREFINISHED) |
| FASCIA | VENTED ALUMINUM (PREFINISHED) |
| BELLY BAND | 2X10 COMB FACED SPF (PAINTED) |
| WINDOW TRIM | 3/8" COMB FACED SPF (PAINTED) |
| DOOR TRIM | SHEET METAL REVEALS (PREFINISHED) |
| | SHEET METAL REVEALS (PREFINISHED) |

NOTE:
WINDOW OPERATION SHALL BE AS PER OWNERS DIRECTION AND CONFORM TO BCRC EGRESS REQUIREMENTS. CONTRACTOR TO VERIFY ALL R.O. PRIOR TO ORDERING WINDOWS.
FLASH OVER ALL MATERIAL TRANSITIONS, DOOR AND WINDOW HEADERS.
ALL COLORS AS PER OWNER.



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ISSUED:

ELEVATIONS

A-201



3 REAR ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR CLADDING LEGEND

- 1 CLEAR CEDAR SIDING STAINED
- 2 STUCCO ACRYLIC FINISH
- 3 CONCRETE FOUNDATION
- 4 STONE VENEER AS PER OWNER
- 5 ASPHALT ROOFING SHINGLES
- 6 FROSTED GLASS

ADDITIONAL EXTERIOR FINISHINGS

| | |
|-------------|--------------------------------------|
| GUTTERS | 1" CONTINUOUS ALUMINUM (PREFINISHED) |
| SOFFIT | 1/2" ALUMINUM DOWNGUT (PREFINISHED) |
| FASCIA | VENTED ALUMINUM (PREFINISHED) |
| REALLY BAND | 2X10 COMB FACED SPF (PAINTED) |
| WINDOW TRIM | 2X4 COMB FACED SPF (PAINTED) |
| DOOR TRIM | SHEET METAL REVEALS (PREFINISHED) |
| | SHEET METAL REVEALS (PREFINISHED) |

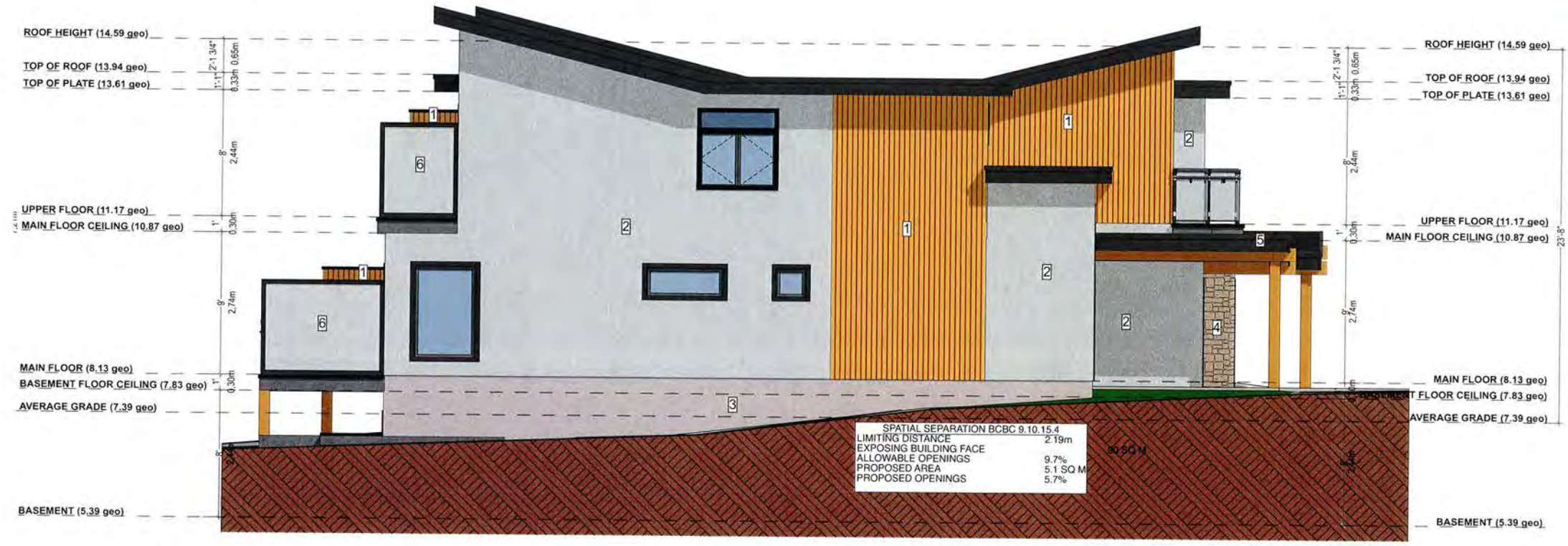
NOTE:
WINDOW OPERATION SHALL BE AS PER OWNER'S DIRECTION AND CONFORM TO BCBC EGRESS REQUIREMENTS. CONTRACTOR TO VERIFY ALL R.O.D. PRIOR TO ORDERING WINDOWS.
FLASH OVER ALL MATERIAL TRANSITIONS, DOOR AND WINDOW HEADERS.
ALL COLORS AS PER OWNER.



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4 LEFT ELEVATION
SCALE: 1/4" = 1'-0"

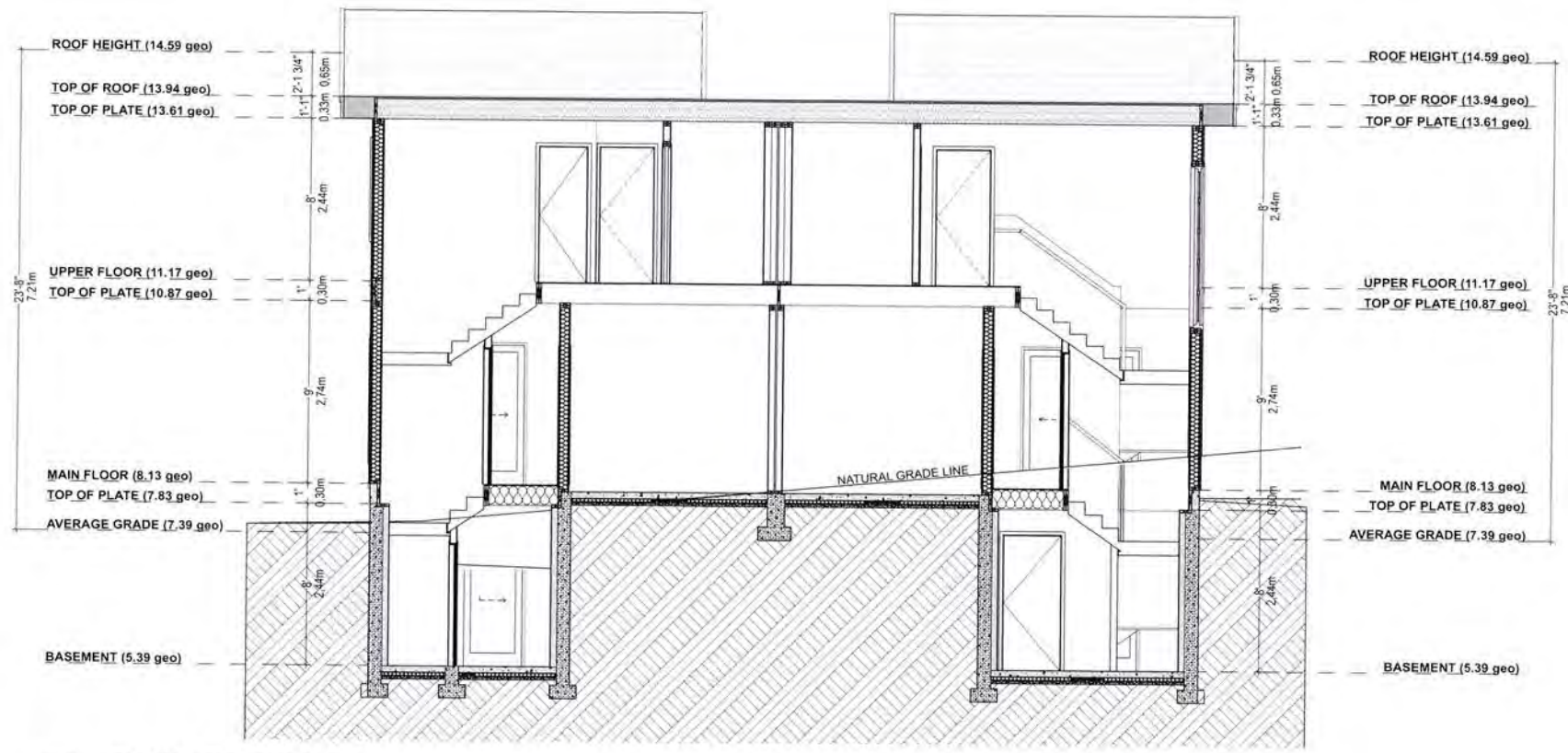
| | |
|-----------------------------------|----------|
| SPATIAL SEPARATION BCBC 9.10.15.4 | |
| LIMITING DISTANCE | 2.19m |
| EXPOSING BUILDING FACE | |
| ALLOWABLE OPENINGS | 9.7% |
| PROPOSED AREA | 5.1 SQ M |
| PROPOSED OPENINGS | 5.7% |

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ISSUED

ELEVATIONS

A-202



1 CROSS SECTION 01
SCALE: 1/4" = 1'-0"



2 CROSS SECTION 2
SCALE: 1/4" = 1'-0"



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ISSUED:

| |
|--|
| |
| |
| |
| |

SECTIONS

A-301

Site Plan Showing Proposed Duplexes Situated on Lots 12 and 13, Esquimalt District, Plan 5241.

'Township of Esquimalt'



The intended plot size of this plan is 432 mm in width by 280 mm in height (B size) when plotted at a scale of 1:200

Legend:

Elevations are in metres, based on geodetic datum, and derived from geodetic control monument 84H0222 (elevation= 11.113) CGVD28.

All distances are in metres and decimals thereof unless otherwise indicated.

- 0.5 Pine denotes tree with associated type and diameter
- ◼ denotes water main
- _{Up} denotes utility pole

Siting and footprint of proposed duplexes derived from Adapt Designs house plans dated April 9, 2019, and is subject to an approved building permit.

Current Zone= RS-1

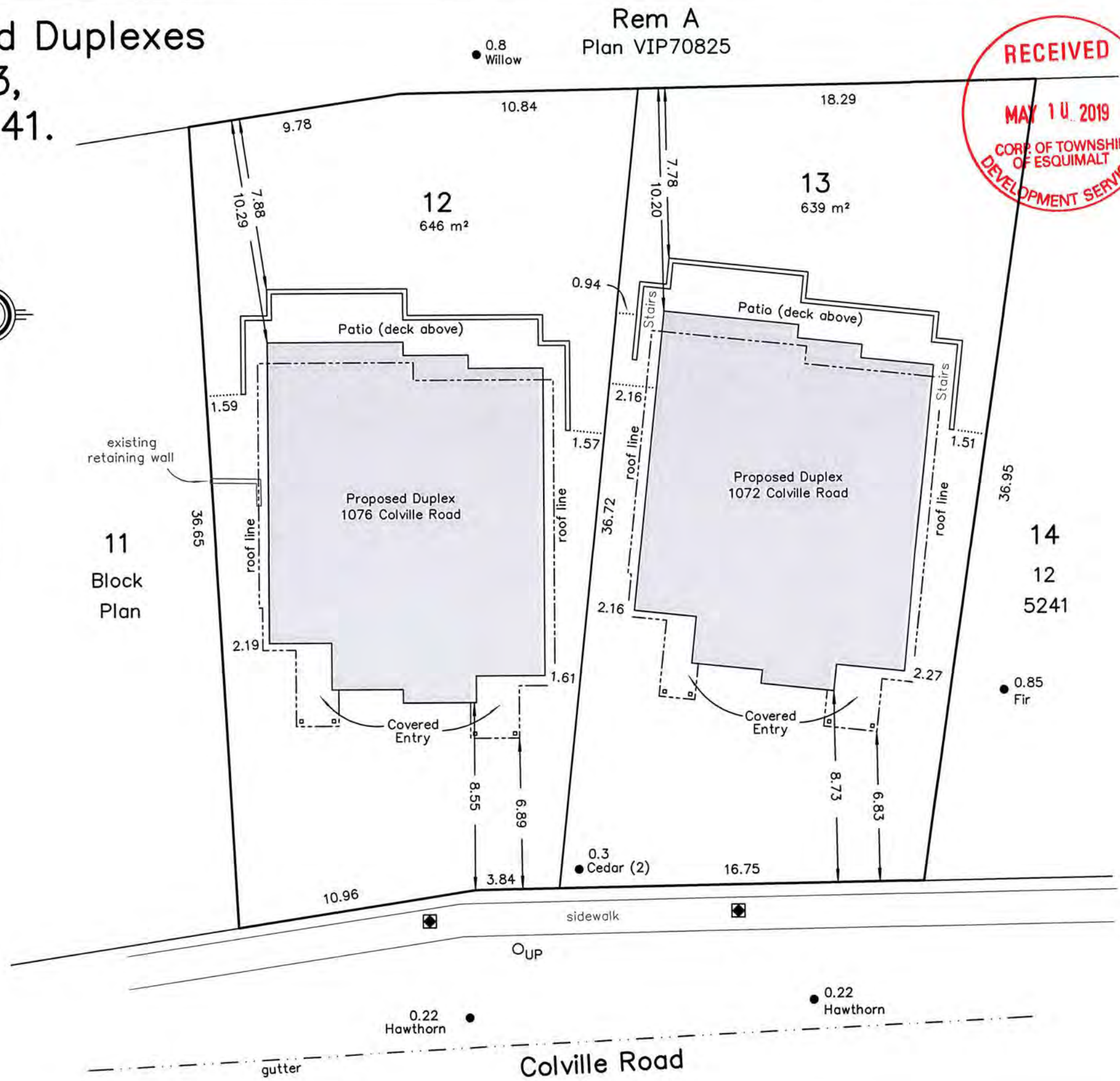
9 May 2019

Joseph S. Hadley, BCLS #925

McIlvaney Riley Land Surveying Inc.

#113 - 2244 Sooke Road
Victoria, B.C. V9B 1X1
(250) 474-5538
www.mrls.ca

File: 6091SITE-permit-20190509





CORPORATION OF THE TOWNSHIP OF ESQUIMALT

Municipal Hall, 1229 Esquimalt Road, Esquimalt, B.C. V9A 3P1
Telephone (250) 414-7100 Fax (250) 414-7111

APC Meeting: June 18, 2019

STAFF REPORT

DATE: June 13, 2019

TO: Chair and Members of the Advisory Planning Commission

FROM: Trevor Parkes, Senior Planner
Bill Brown, Director of Development Services

SUBJECT: REZONING APPLICATION
1048 Tillicum Road
[Lot D, Section 10, Esquimalt District, Plan 11683]

RECOMMENDATION:

That the Esquimalt Advisory Planning Commission [APC] recommends that the application for rezoning to authorize development of five (5) Townhouse Residential units as sited on the survey plan prepared by Glen Mitchel Land Surveying Inc. and incorporating the height and massing consistent with the architectural plans provided by Zebra Design , both stamped "Received May 9, 2019", detailing the development proposed to be located at 1048 Tillicum Road [Lot D, Section 10, Esquimalt District, Plan 11683], **be forwarded to Council with a recommendation to either approve, approve with conditions, or deny the application including reasons for the chosen recommendation.**

BACKGROUND:

Purpose of the Application:

The applicant is requesting a change in zoning from the current RD-1 [Two Family Residential] zone to a Comprehensive Development District Zone [CD] to accommodate the proposed five strata townhouse residences to be constructed in two buildings on the subject property.

The existing duplex would be demolished and the five new dwelling units would be constructed. Specific form and character issues relating to the aesthetics of the building, such as cladding materials, window materials, railings, fencing, doorways, streetscape improvements and detailed landscaping will be evaluated in a separate application for Development Permit should this rezoning application be approved by Council.

Evaluation of this application should focus on issues relevant to zoning such as the appropriateness of the proposed height, density and massing, proposed unit sizes, siting, setbacks, lot coverage, useable open space, how the building relates to adjacent and surrounding sites and whether the proposed uses are appropriate and consistent with the overall direction contained within the Official Community Plan.

Context**Applicant:** Zebra Design [David Yamamoto]**Owner:** 1175902 BC Ltd., Inc. No. BC1175902 [Andrew Mills]**Property Size:** Metric: 999 m² Imperial: 10,753 ft²**Existing Land Use:** Two Family Residence**Surrounding Land Uses:**

North: 5 Townhouses/ Esquimalt Gorge Park

South: Two Family Residential

West: Single Family Residential

East: Single Family Residential/ Two Family Residential

Present OCP Designation: Low Density Residential**Proposed OCP Designation:** Townhouse Residential [no change required]**Existing Zoning:** RD-1 [Two Family Residential]**Proposed Zoning:** CD [Comprehensive Development District]**Comments From Other Departments**

The plans for this proposal were circulated to other departments and the following comments were received by the APC submission deadline:

Building Inspection: No concerns. Construct to current BC Building Code and Municipal Building Code Bylaw, 2002, No. 2538. Subject to code and bylaw review at time of building permit application.

Engineering Services: Engineering staff have completed a preliminary evaluation of Works and Services that would be required for the five townhomes proposed to be located at 1048 Tillicum Road. Staff confirms that the design appears achievable on the site and that appropriate works and services are available in the immediate area. If approved the development must be serviced in accordance with bylaw requirements including, but not limited to new sewer and drain connections and underground hydro, telephone and cable services. New gutter, curb and sidewalk along the Tillicum Road frontage may also be required. Should the application be approved, additional comments will be provided when detailed civil engineering drawings are submitted as part of a Building Permit application.

Staff notes the presence of a Statutory Right of Way [SRW] located abutting the rear property line of the parcel. Staff request the southern side yard design of Building 'B' be amended by removing the proposed stairs and retaining wall and grading this portion of the site from the visitor parking space up to the elevation to the proposed rear yard. This will ensure access to the SRW is preserved in perpetuity.

Development Services: Preliminary review of these plans raises a question regarding the appropriateness of permitting unrestricted left turn access both to and from Tillicum Road to this proposed development, particularly at times of peak traffic. Staff recommend the applicant commission a traffic study, completed by a qualified professional, to clarify if a potential issue

exists and if one does, recommendations to mitigate such risk.

ISSUES:

Zoning

Density, Lot Coverage, Siting and Setbacks: The following chart compares the setbacks, lot coverage, floor area ratio and parking of this proposal with the requirements of the RM-3 [Multiple Family Residential Zone]:

| | RM-3 (Multiple Family Townhouse) | Proposed CD Zone (5 Townhouse Units) |
|---------------------------|---|--|
| Minimum Unit Size | 75 m ² | 130 m ² |
| Floor Area Ratio | 0.60 | 0.63 |
| Lot Coverage | 25% | 35% |
| Setbacks | | |
| • Front | 7.5 m | 4.7 m |
| • Rear | 7.5 m | 5.8 m |
| • Side | 4.5 m/ 4.5 m | 2.5/ 2.7 m |
| Building Height | 9.0 m | 9.3m |
| Off Street Parking | 10 spaces | 8 spaces |

Floor Area Ratio: FAR measures buildable space in ratio to the size of the lot on which a building sits. The combined F.A.R of this proposal is 0.63 which is greater than the 0.60 maximum allowable in the RM-3 zone but consistent with the maximum FAR of 0.70 identified within the OCP that is achievable without the requirement for provision of amenities.

Lot Coverage: The combined Lot Coverage is 35% which is substantially greater than the 25% maximum permitted in the RM-3 [Multiple Family Residential] zone.

Height: High density Townhouse Developments in Esquimalt are limited to a height of 9.0 metres measured to the mid-height of the roof from average grade. The applicant proposes two buildings measuring 9.3 metres, greater than the established standard.

Setbacks: This proposal requires a reduction to the front setback requirements of the RM-3 zone from 7.5m to 4.7m to the front deck and 6.8m to the front face of the principal building. The north interior side setback is reduces from 4.5m to 2.7m to the overhang of the principal building while the south interior side setback is reduced from 4.5m to 2.5m to the overhang of the principal building. In addition, the rear setback is reduced from 7.5m to 5.8m to the stairs accessing the second storey deck but meets the 7.5m setback to the foundation of the building. Staff note that when considering infill development proposals on specific sites, setbacks are often reduced to allow densification but these reductions must be carefully considered to ensure the project sensitively integrated in the existing neighbourhood.

Parking: Parking Bylaw, 1992, No. 2011 requires 2 parking spaces per unit be provided “behind the front face of the principle building” for Townhouse developments. This proposal incorporates a single car garage in each unit and an additional 3 visitor parking spaces thereby failing to satisfy this standard. Notwithstanding this inconsistency with the current Parking Bylaw requirement, staff are of the opinion that the provision of 3 visitor spaces is sufficient to for a five unit development. Staff will be working with the applicant to ensure these spaces are secured as Visitor spaces and cannot be dedicated to any one unit for exclusive use.

There is regular bus service in the area, on Tillicum Road with transit route #26, and approximately 300 metres away on Craigflower Road with route #14.

Official Community Plan

This proposal complies with the 'Townhouse Residential' "Proposed Land Use Designation" (OCP Schedule B).

The Official Community Plan supports the expansion of housing types in residential areas. The immediate neighbourhood contains a mix of single family, two-family, townhouse and multi-family housing types.

Section 5 Housing & Residential Land Use contains policies that are intended to ensure that concerns such as tree protection, parking, traffic, noise, effects on neighbouring properties, and neighbourhood character are addressed.

- Policy - Consider new townhouse residential proposals with a Floor Area Ratio of up to 0.70, and up to three storeys in height, in areas designated 'Townhouse Residential' on the "Proposed Land Use Designation Map", provided the design responds effectively to both its site and surrounding land uses.
- Policy - Support the development of a variety of housing types and designs to meet the anticipated housing needs of residents. This may include non-market and market housing options that are designed to accommodate young and multi-generational families, the local workforce, as well as middle and high income households.

5.2 Low Density Residential Redevelopment

OBJECTIVE: Strive for redevelopment and infill development that improves and enhances the appearance and livability of neighbourhoods and the community as a whole.

- Policy - Proposed redevelopment or infill within present low density residential land use designated areas should be built to high quality design and landscaping standards and respond sensitively to existing neighbourhood amenities.

5.4 Affordable Housing

OBJECTIVE: To encourage a range of housing by type, tenure and price so that people of all ages, household types, abilities and incomes have a diversity of housing choice in Esquimalt.

- Policy - Encourage the provision of missing middle housing types such as two-unit dwellings (duplexes), townhouses and small lot infill as one avenue to address housing affordability.

OCP Section 23 Multi-Family Residential Development Permit Area establishes objectives for the form and character of multi-family residential development. As the Development Permit is not being considered at this time it would be inappropriate to address many of the guidelines, with the following exceptions that are relevant to the discussion of zoning and parking issues:

23.5 Guidelines

1. The size and siting of buildings that abut existing single- and two-unit and townhouse dwellings should reflect the size and scale of adjacent development and complement the surrounding uses. To achieve this, height and setback restrictions may be imposed as a condition of the development permit.
2. New buildings should be designed and sited to minimize visual intrusion on to the privacy of

surrounding homes and minimize the casting of shadows on to the private outdoor space of adjacent residential units.

5. Surface parking areas in developments less than five storeys in height, will be situated away from the street and screened by berms, landscaping or solid fencing or a combination of these three.

9. Retention and protection of trees and the natural habitat is encouraged wherever possible.

10. Townhouses will be designed such that the habitable space of one dwelling unit abuts the habitable space of another unit and the common wall overlap between adjoining dwellings shall be at least 50 percent.

14. Provide for building occupants to overlook public streets, parks, walkways and spaces, considering security and privacy of residents.

The property is also included in the following OCP Development Permit Areas: Development Permit Area No. 1 – Natural Environment, Development Permit Area No. 7 – Energy Conservation and Greenhouse Gas Reduction, Development Permit Area No. 8 – Water Conservation. Many of these guidelines would be addressed at the Development Permit stage but the following are relevant to the discussion of zoning and parking areas, including in particular the siting of proposed buildings.

OCP Section 18 Development Permit Area No. 1 – Natural Environment is designated for the purpose of establishing objectives for the protection of the natural environment, its ecosystems and biological diversity.

18.5.2 Natural Features - Natural features and areas to be preserved, protected, restored, and enhanced where feasible:

1. Retain existing healthy native trees, vegetation, rock outcrops and soil wherever possible.

4. Narrower manoeuvring aisles, fewer and smaller parking spaces can be considered where natural areas are being conserved.

18.5.3 Biodiversity - Landscaping features that will protect, restore and enhance biodiversity. Where feasible:

2. In residential locations plan for 'nature out front'; for new landscaping in front and exterior side yards use a variety of site-appropriate, native species; thereby contributing positively to pedestrian friendly urban streets, future greenways and habitat enhanced corridors.

9. Locate civil servicing pipes/lines under driveways or other paved areas to minimize tree root damage. (Note that the majority of trees have their roots in the top 0.6 m of the soil).

10. Design retaining wall spacing and landscape planting areas of sufficient width and depth to support plantings (eg. provide larger spaces for trees).

11. Support the daylighting of portions of the stormwater system for enhanced habitat.

18.5.5 Drainage and Erosion - Measures to control drainage and shoreline erosion. Where it is reasonable:

1. Preserve, restore and enhance treed areas. Trees are the most effective form of absorbent landscaping due to their extensive root zones and their ability to both absorb water from the soil and intercept precipitation on leaves, needles and branches. Consider that native conifers are well adapted to local wet winters.
2. Reduce the impact of surges in stormwater on shorelines by designing on-site stormwater retention systems to contain the first 3 centimetres [1.25 inches] of precipitation on site, per precipitation event; and incorporating rainwater collection systems into roof design and landscaping.
4. Maximize the ratio of planted and pervious surfaces to unplanted surfaces, and design paved areas to direct water towards vegetated areas, to help reduce surface run off. Where paved surfaces are needed, intersperse with drought resistant vegetation and trees, to help absorb stormwater, provide shade and reduce the local heat island effect.

OCP Section 24 - Development Permit Area No. 7 – Energy Conservation and Greenhouse Gas Reduction - is designated for the purposes of energy conservation and greenhouse gas reduction.

24.5.1 Siting of buildings and structures. Where it is feasible:

1. Orient buildings to take advantage of site specific climate conditions, in terms of solar access and wind flow; design massing and solar orientation for optimum passive performance.
2. Build new developments compactly, considering the solar penetration and passive performance provided for neighbouring sites, and avoid shading adjacent to usable outdoor open spaces.
4. Provide space for pleasant pedestrian pathways between buildings.
5. Strategically site buildings to sustain and increase the community's urban forest tree canopy cover.
6. Provide space for significant landscaping including varying heights of trees, shrubs and ground covers.

24.5.2 Form and exterior design of buildings and structures. Where it is feasible:

1. Orient larger roof surfaces to the south for potential use of solar panels or photo-voltaic roofing.
2. Use roof designs that reduce heat transfer into neighbouring buildings, helping reduce the local heat island effect and the need for cooling of buildings in warmer months.
8. Add rooftop patios and gardens, particularly food producing gardens, as they can contribute to local resilience, livability, and reduction in greenhouse gas production by reducing food transportation costs.

24.5.3 Landscaping - Where it is feasible:

2. Choose open space and landscaping over dedicating space to the parking and manoeuvring of private motor vehicles.

3. Conserve native trees, shrubs and soils, thereby saving the cost of importing materials and preserving already sequestered carbon dioxide.

24.5.5 Special Features

4. Reuse of existing buildings and building materials is encouraged.

OCP Section 25 - Development Permit Area No. 8 – Water Conservation - is designated for the purpose of water conservation.

25.5.3 Landscaping – Retaining Stormwater on Site (absorbent landscaping)

Where it is feasible:

1. Preserve and restore treed areas. Trees are the most effective form of absorbent landscaping due to their extensive root zones and their ability to both absorb water from the soil and intercept precipitation on leaves, needles and branches. Consider that native conifers are well adapted to local wet winters.

3. Avoid disturbing, compacting and removing areas of natural soil, as these are naturally absorbent areas.

4. Locate civil servicing lines along driveways and other paved areas, to lessen the disturbance of the natural soils and loss of their natural absorption qualities.

Green Building Features

The applicant has completed a list of Green Features that will be considered for inclusion on the design in lieu of completing the Esquimalt Green Building Checklist [attached].

Public Notification

As this is a rezoning application, should it proceed to a Public Hearing, notice would be mailed to tenants and owners of properties within 100m (328 ft) of the subject property. A sign indicating that the property is under consideration for a change in zoning has been installed on the Tillicum Road frontage and would be updated to reflect the date, time and location of the Public Hearing. Additionally, notice of the Public Hearing would be placed in two editions of the Victoria News.

ALTERNATIVES:

1. Forward the application for Rezoning to Council with a **recommendation of approval including reasons for the recommendation.**
2. Forward the application for Rezoning to Council with a **recommendation of approval including specific conditions and including reasons for the recommendation.**
3. Forward the application for Rezoning to Council with a **recommendation of denial including reasons for the recommendation.**

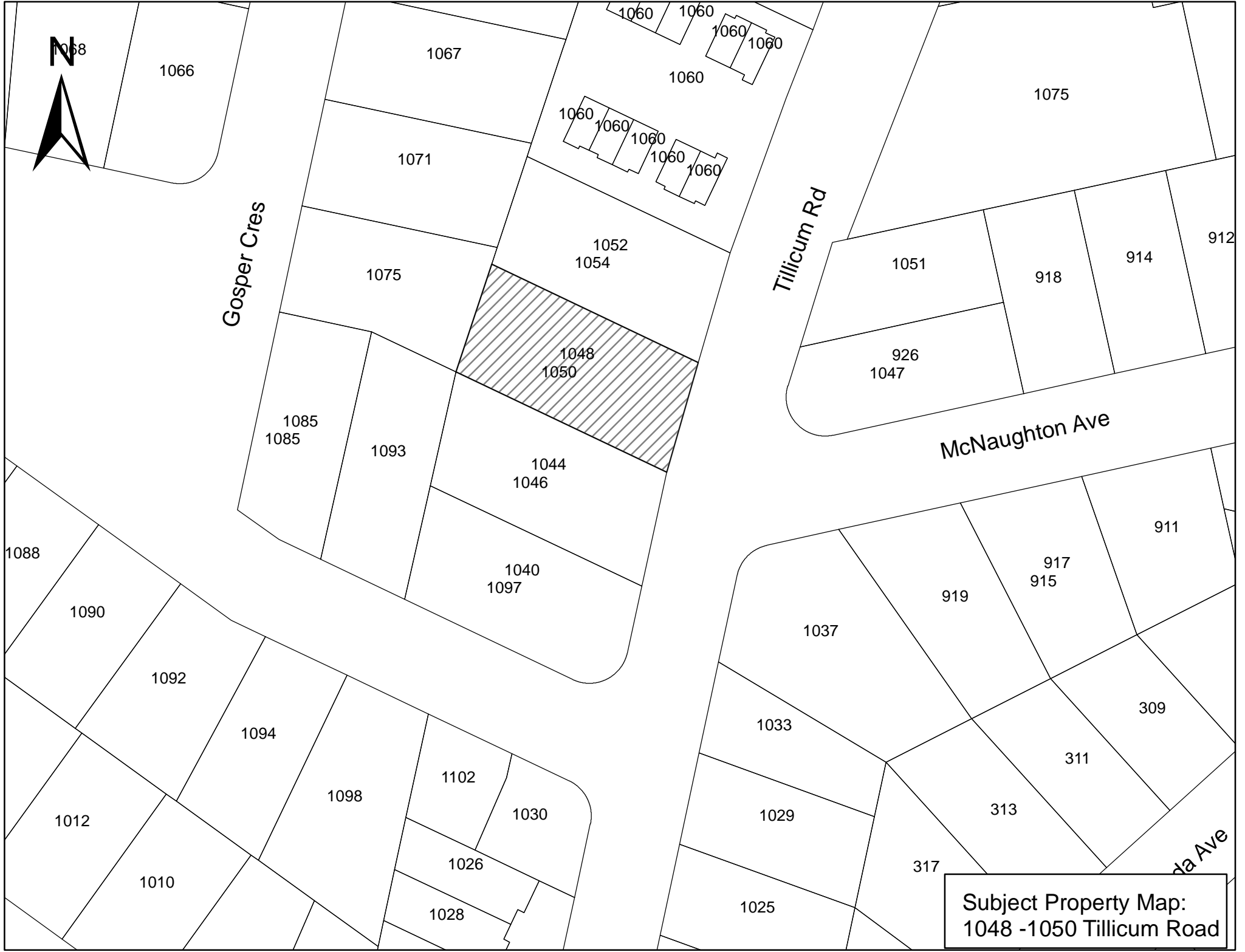


Gosper Cres

Tillicum Rd

McNaughton Ave

da Ave



Subject Property Map:
1048 -1050 Tillicum Road



1066

1067

1060

1075

1071

1054

1052

1051

918

1075

1050

1048

1047

926

1085

1093

1046

1044

McNaughton Ave

1097

1040

915

917

919

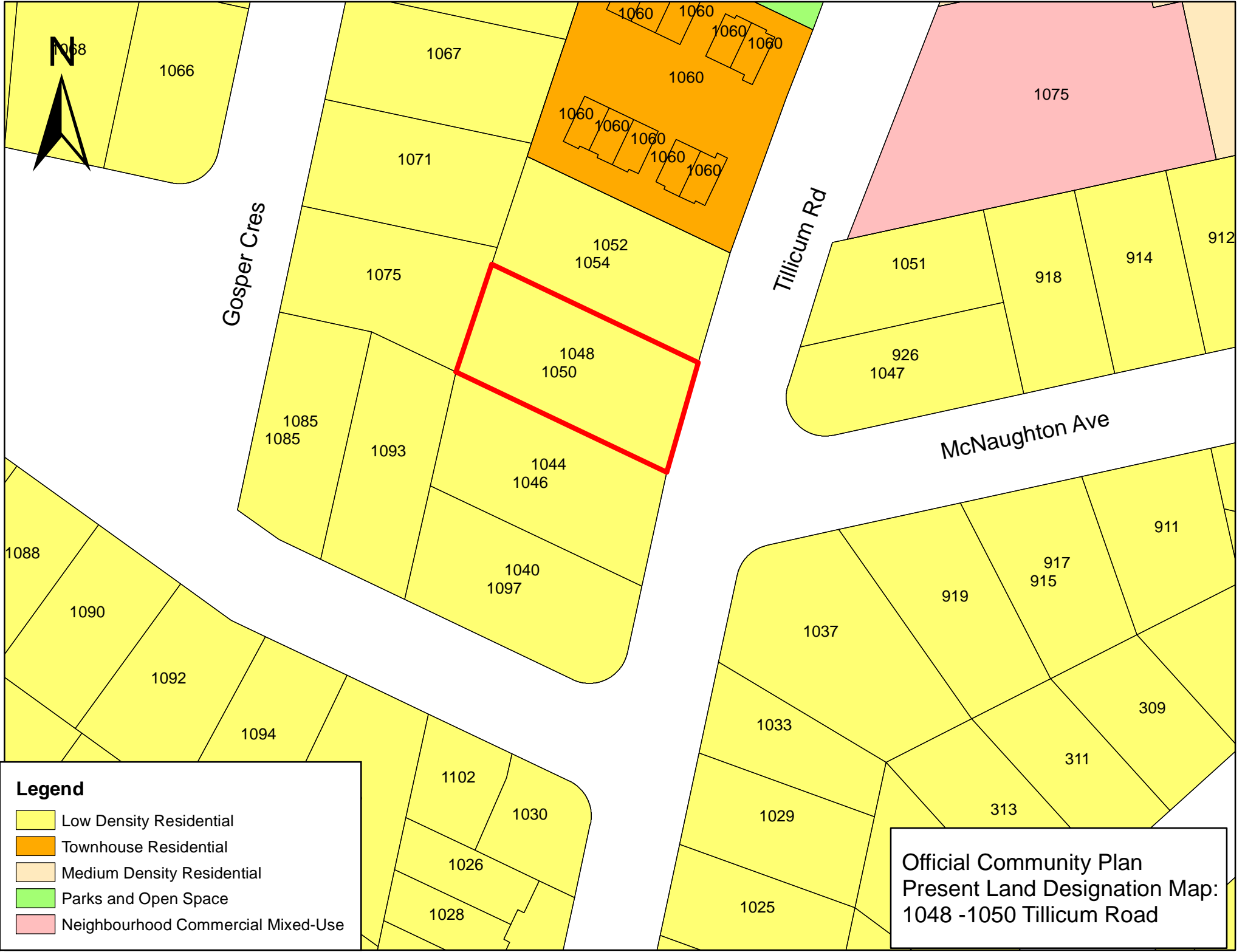
Gosper Cres

1037

1094

1033

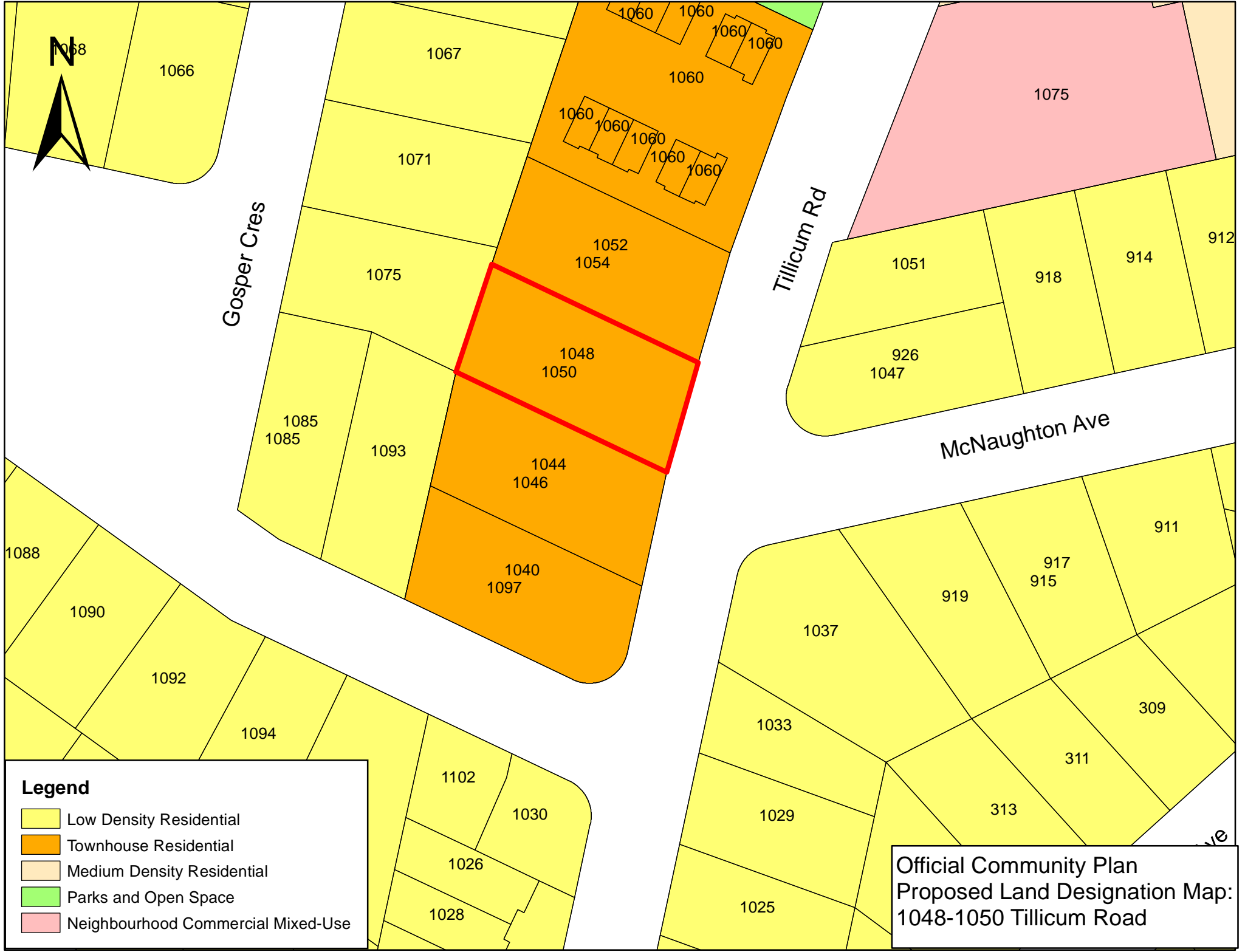
311



Legend

- Low Density Residential
- Townhouse Residential
- Medium Density Residential
- Parks and Open Space
- Neighbourhood Commercial Mixed-Use

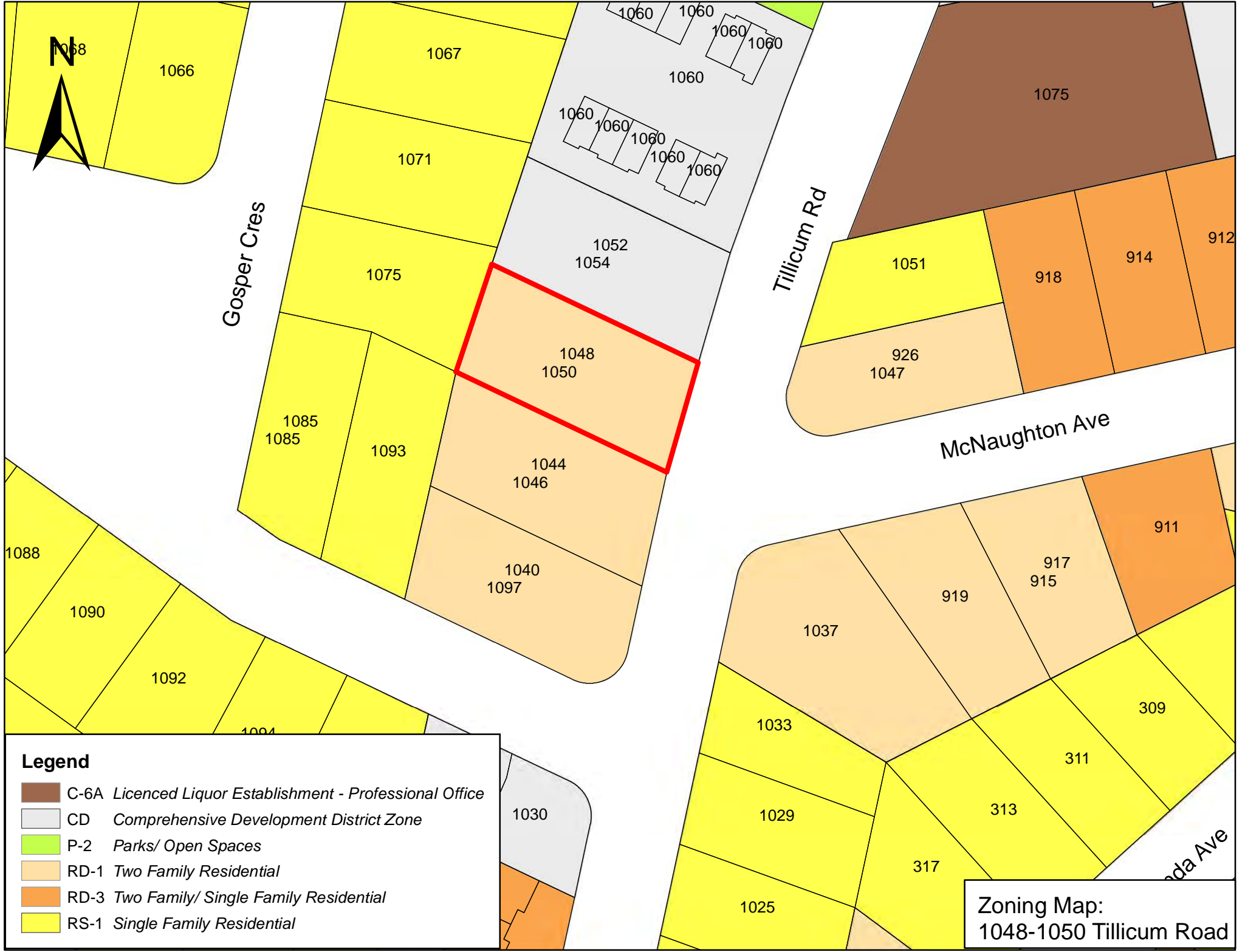
**Official Community Plan
Present Land Designation Map:
1048 -1050 Tillicum Road**



Legend

- Low Density Residential
- Townhouse Residential
- Medium Density Residential
- Parks and Open Space
- Neighbourhood Commercial Mixed-Use

**Official Community Plan
Proposed Land Designation Map:
1048-1050 Tillicum Road**



Legend

- C-6A *Licensed Liquor Establishment - Professional Office*
- CD *Comprehensive Development District Zone*
- P-2 *Parks/ Open Spaces*
- RD-1 *Two Family Residential*
- RD-3 *Two Family/ Single Family Residential*
- RS-1 *Single Family Residential*

Zoning Map:
1048-1050 Tillicum Road



April 30, 2019

Township of Esquimalt
1229 Esquimalt Rd.
Esquimalt BC,
V9A 3P1

Dear Mayor and Council of the Township of Esquimalt, and staff,

This proposal requests re-zoning of an existing two-family lot to multi-unit residential to permit a proposal for 5 townhouses in two buildings. Since the lot is situated in the Enhanced Design Control Residential zone, also known as DPA No.3, an amendment to the OCP is also requested.

We believe the project is highly suited to re-zoning and amendment (for inclusion in the multi unit residential DP area) for the following reasons:

1. The lot is designated for proposed "Townhouse Residential" land use under Schedule B of the OCP (June 25, 2018).
2. The proposal conforms in almost every respect to the Zoning established for the northerly neighbour, zoned "Comprehensive Development District No. 106 [CD No. 106], with the main exceptions of improved rear yard setback (1.35m larger in this proposal, and Floor Area Ratio (this proposal is .67, and the neighbour at 7.0)
3. The lot is situated to make use of existing infrastructure: a major traffic and cycling route and immediate access to Gorge Park is an ideal combination for townhouses. Shopping plazas of course are handily nearby. Bicycle storage throughout the site, as well as set aside in garages and entries, is offered.
4. There is an evolving scenario of high density use along Tillicum Rd., beginning with the apartment complex on the Gorge, the 10 unit townhouse two lots north, and the recent 5 unit townhouse development immediately adjacent, thereby "reflecting the size and scale of adjacent developments" (OCP 23.5.1)

5. The proposal is "designed and sited to minimize visual intrusion into the privacy of surrounding homes." (OCP 23.5.2). The townhouse design is coordinated to avoid direct views into the northerly neighbour's windows. This is due to the offset of all buildings. In our westerly rear yard, the neighbour's mature hedge, approximately 10' high, assures mutual privacy. Moreover, each sideyard is separated from the neighbours by a proposed 2m high (6.5') fence from the rear yard setback of 6.8 m to the rear of the property. (supports OCP 23.5.4)
6. The proposal is intensively landscaped, and seeks to work with the existing topography by adaptation to the existing gradient, both at the street and the westerly rear yards. It also is integrated with the character of the northerly townhouse, continuing the low rock wall as the first of two tiers. (OCP 23.5.4 and 23.5.4)
7. The proposal further conforms to the remaining OCP guidelines, and particularly the following:
 - OCP 23.5.10 (offset of townhouses restricted to 50% of common wall)
 - OCP 23.5.11 and 23.5.17 (site lighting for safety, glare reduction, and light pollution).
 - OCP 23.5.15 (raised main level due to natural gradient of site above the sidewalk)
 - OCP 23.5.16 (use of indigenous and adaptive plant species).
8. The garages are entirely screened from the street, the drive aisle being parallel to Tillicum, and behind the building facing the street. (supports OCP 23.5.5)
9. The design integrates well with the adjacent townhouse project, and employs similar massing as well as a similar landscaping scheme which, by contrast, consists of a single gradient to the retaining wall at the sidewalk. The existing retaining wall is being replaced with a stone retaining wall which is a continuation of the low stone walls of the two properties adjacent. At the same time, we have employed a dramatically contrasting colour and materials palette.

We believe that for these reasons, the project warrants serious consideration for amendment and re-zoning. We have worked closely and in consultation with Esquimalt planning staff and appreciate their assistance. Thank you for your kind consideration of this proposal and trust the above as sufficient for advancement.

Sincerely,



Rus Collins



April 30, 2019

The Corporation of the Township of Esquimalt
Municipal Hall - 1229 Esquimalt Road
Victoria, B.C. V9A 3P1

**Re: 1048 and 1050 Tillicum Road,
OCP Amendment and Rezoning for new duplex and triplex townhomes.**

Attn: Planning Department and Development Services, Esquimalt

The proposed residential duplex and triplex project for Andrew Mills at 1048 and 1050 Tillicum Road will strive to incorporate 'Green Initiatives' in an effort to increase energy efficiency, improve indoor air quality and reduce the impact of construction on our environment.

Green Building standards are a desirable objective for the homeowners, as are energy efficiency, water conservation and management measures, reduction of storm and sewer infiltration, protecting and enhancing landscaping, air quality optimization, reuse and recycling of materials and resources, and increasing sustainable transportation modes.

While all the relevant items on Esquimalt's Green Building Checklist will be evaluated and contemplated for adoption by the property owners, at this point in time, prior to hiring a builder and doing all related costing they are not able to know just to what extent their project will follow the checklist. However the following list contains (but does not limit) items the property owner is considering employing:

Operational Systems:

- All windows to be Energy Star labelled
- All appliances to be Energy Star labelled
- Home is built 'Solar Ready' providing for a rough-in of 3" (75mm) thermal run from mechanical room to attic
- Energy efficient light bulbs
- Use of air tight contact insulation on recessed lights to prevent air leakage
- Installation of high efficiency, direct vent, gas fuelled fireplaces with electronic ignition
- On demand hot water system

Building Materials:

- Use of finger-jointed non structural framing material
- Use of advanced sealing non HCFC expanding foam around window and door openings
- High performance building envelope materials

Interior and Exterior Finishes:

- Entry doors manufactured from natural materials (wood, metal and glass)
- Natural cementitious exterior siding
- Minimum 30 year manufacturer warranty of roofing material
- MDF casing and baseboard trim (reducing reliance on old growth forest products)
- Highest quality interior and exterior materials as can be budgeted, for durability

Indoor Air Quality:

- Installation of hardwired carbon monoxide detector
- All insulation in home to be third party certified with low formaldehyde
- Low formaldehyde subfloor sheathing, exterior sheathing, insulation, carpet underlayment and cabinetry (less than 0.18 ppm)
- All wood or laminate flooring to be factory finished
- Interior paints to have low VOC (Volatile Organic Compounds) content (less than 250 grams/ litre)

Ventilation:

- Programmable Energy Star thermostat
- Ventilation fans to meet or exceed Energy Star Requirements

Waste Management:

- Trees and natural features to be protected during construction
- Install into new duplex a built-in recycling centre with two or more bins
- Provide composter to both units
- Existing home to be deconstructed and recycled as much as possible

Water Conservation:

- CSA approved single flush toilet averaging 1.6 GPF (gallons per flush) or less installed in all bathroom locations
- Insulate hot water lines with pipe insulation on all hot water lines
- Install hot water recirculation line
- Install low flow faucets in kitchen, on lavatories and shower valves
- Plant drought tolerant vegetation
- Utilize swales and permeable paving for storm water management

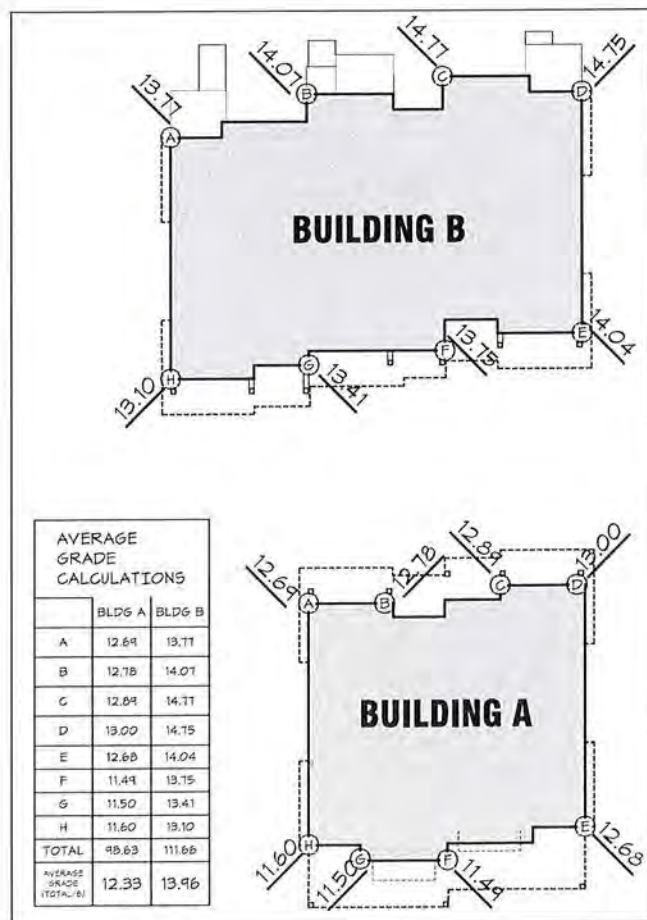
Thank you for your consideration of our application.

Sincerely,

David Yamamoto
per Andrew Mills (property owner)

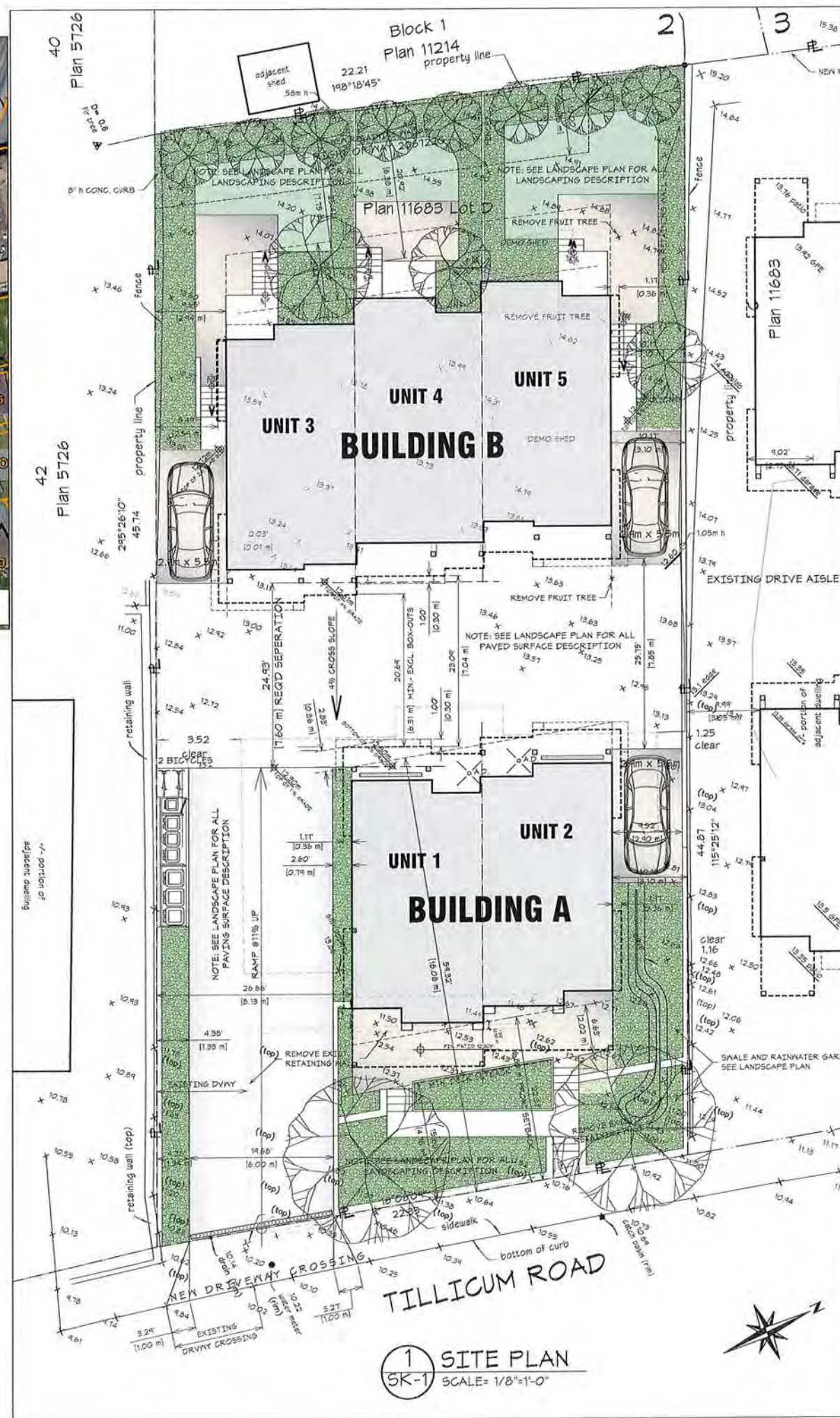


2 CONTEXT PLAN
SK-1 SCALE= NTS



| AVERAGE GRADE CALCULATIONS | | |
|----------------------------|--------|--------|
| | BLDG A | BLDG B |
| A | 12.69 | 13.71 |
| B | 12.78 | 14.01 |
| C | 12.89 | 14.71 |
| D | 13.00 | 14.75 |
| E | 12.68 | 14.04 |
| F | 11.49 | 13.75 |
| G | 11.50 | 13.41 |
| H | 11.60 | 13.10 |
| TOTAL | 48.63 | 111.68 |
| AVERAGE GRADE (TOTAL/8) | 12.33 | 13.96 |

3 ELEVATIONS FOR AVERAGE GRADE
SK-1 SCALE= NTS



1 SITE PLAN
SK-1 SCALE= 1/8"=1'-0"

PROJECT DATA

LEGAL DESCRIPTION
LOT D, SECTION D,
ESQUIMALT DISTRICT, PLAN 11683

CURRENT ADDRESS
1048 TILlicUM ROAD

ZONING
CURRENT ZONE: RD-1 (TWO-FAMILY)
PROPOSED ZONE: CD

SITE AREA
998.9 m² [10,752 sf] PER SURVEY

NO. OF UNITS
5 (FIVE)

TOTAL COVERAGE =
1573.5+2140.2/10752 = 34.54%

BLDG. A COV. 146.18 m² [1573.5 sf]
BLDG. B COV. 198.83 m² [2140.2 sf]
TOTAL COV. 345.01 m² [3713.7 sf]

FLOOR AREA
BUILDING A
UPPER 109.75 m² [1181.4 sf]
MAIN 107.03 m² [1152.1 sf]
GROUND 48.43 m² [521.3 sf]
TOTAL 265.22 m² [2854.8 sf]

FLOOR AREA
BUILDING B
UPPER 162.58 m² [1750.5 sf]
MAIN 160.59 m² [1728.6 sf]
GROUND 76.19 m² [820.1 sf]
TOTAL 399.36 m² [4299.2 sf]

BUILDING HEIGHT

BUILDING A
AVERAGE GRADE= 12.33m
BUILDING HEIGHT = 9.27m [30.41']

BUILDING B
AVERAGE GRADE= 13.96m
BUILDING HEIGHT= 7.93m [26.01']

NET INTERIOR
FLOOR AREA BLDGS. A & B =
265.22 m² + 399.36 m² = 664.58 m²
[2854.8+4299.2 = 7154.0 sf]

FAR = 7154.0/10,752 = .665

PARKING
COVERED 5 STALLS
VISITOR 3 STALLS
TOTAL: 8 STALLS

| SETBACKS BUILDING A | | |
|--|--|--|
| SETBACK TYPE | COMPARE CD-106 | PROPOSED |
| FRONT @ STREET | 6.8 m 22.31' | 6.80 m 22.31' MIN. @ NE CORNER OF UNIT 1 |
| PERMITTED REDUCTION OF FRONT YARD FOR EXT. DECKS | 2.5m 8.20' | 2.02m 6.63' |
| SEPARATION TO BLDG. B AT GRADE | 7.6 m 24.93' | 7.6 m 24.93' |
| SIDE NORTH | 2.9 m 9.51' (-.36m TO CANTILEVER) | 3.10 m 10.18' (-.36 m TO CANTILEVER) |
| SIDE SOUTH | 7.8 m 25.6' (-.36 m TO CANTILEVER) | 8.13 m 26.66' (-.36 m TO CANTILEVER) |

| SETBACKS BUILDING B | | |
|---|---|---|
| SETBACK TYPE | COMPARE CD-89 | PROPOSED |
| REAR | 6.4m 21.0' | 7.75 m 25.41' |
| PERMITTED REDUCTION OF REAR YARD FOR EXT. DECKS | 2.5m 8.20' | 2.44m 8.0' |
| SEPARATION TO BLDG. B AT GRADE | 7.6m 24.93' | 7.6 m 24.93' |
| SIDE NORTH | 3.0 m 9.8' (-.36 m TO CANTILEVER) | 3.10 m [10.17'] (-.36 m TO CANTILEVER) |
| SIDE SOUTH | 2.9 m 9.5' (-.36 m TO CANTILEVER) | 2.94 m [9.65'] (-.36 m TO CANTILEVER) |

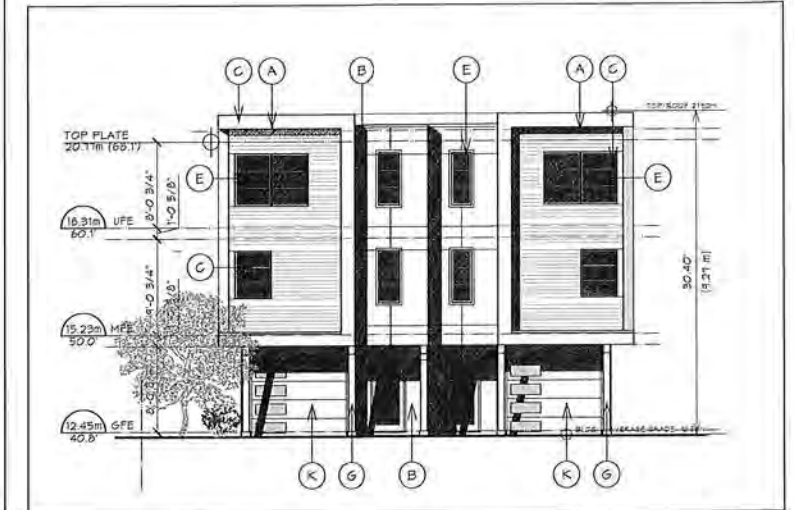
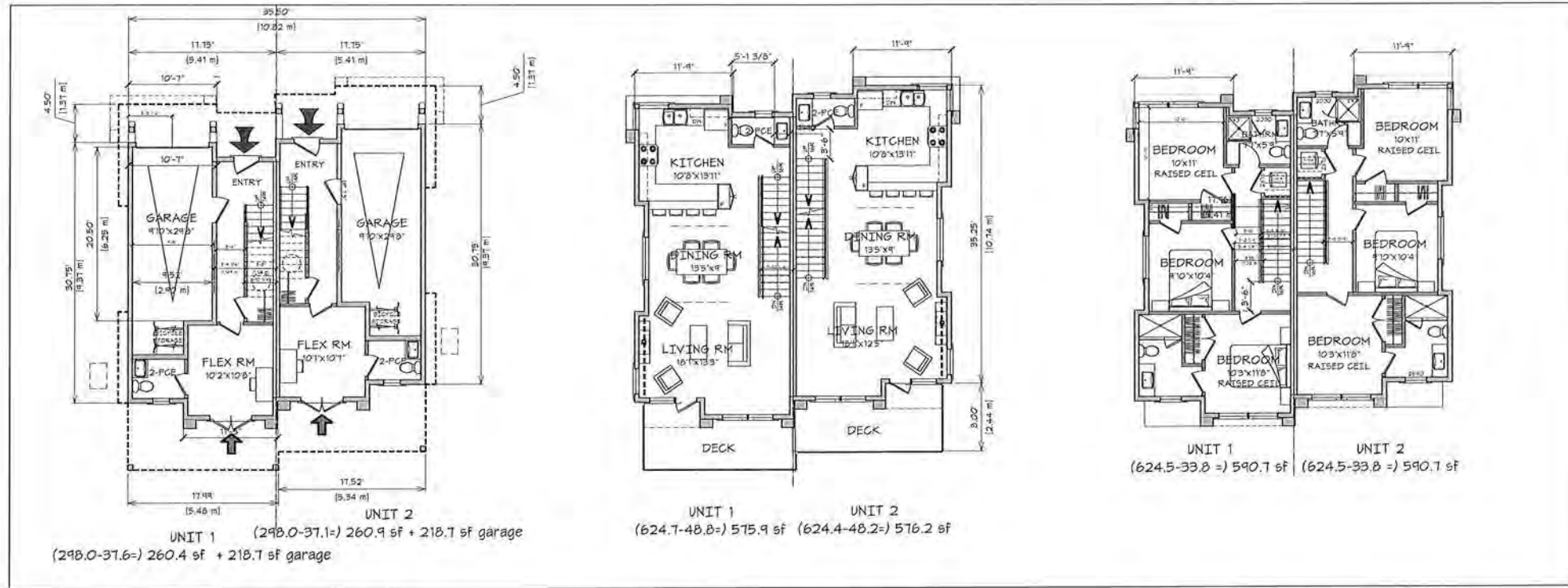
| REVISIONS & ISSUES | | |
|--------------------|-----------------------|----------|
| REV. | DESCRIPTION | DATE |
| A | RE-ZONING APPLICATION | 05.07.19 |



SITE PLAN & PROJECT DATA
PROPOSED REZONING AT
1048-1050 TILlicUM RD.
ESQUIMALT B.C.

05.07.19
SCALE = 1/8"=1'-0"



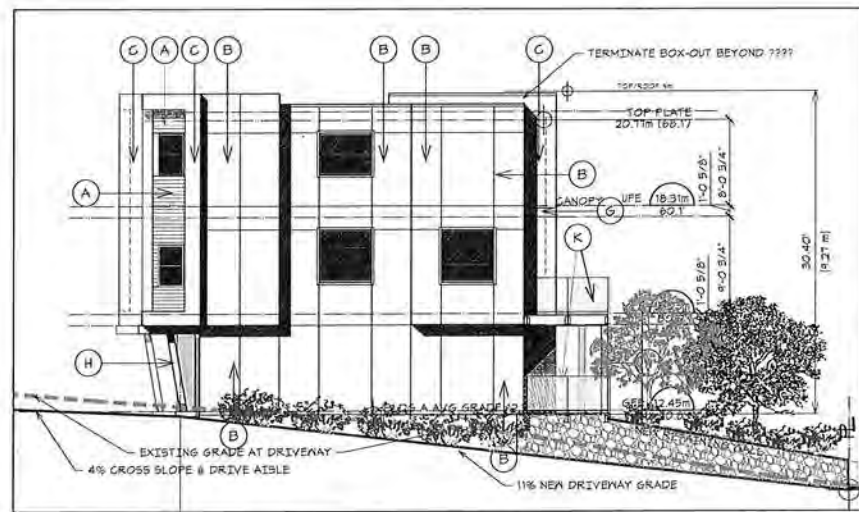


1 GROUND FLOOR PLAN
SK-2 SCALE= 1/8"=1'-0" 47.50 sm + garages

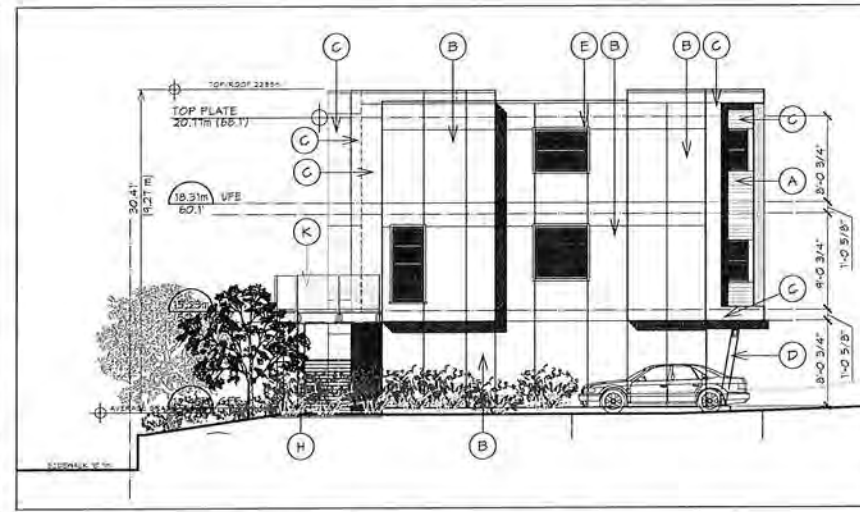
2 MAIN FLOOR PLAN
SK-2 SCALE= 1/8"=1'-0" 107.03 sm

3 UPPER FLOOR PLAN
SK-2 SCALE= 1/8"=1'-0" 109.75 sm

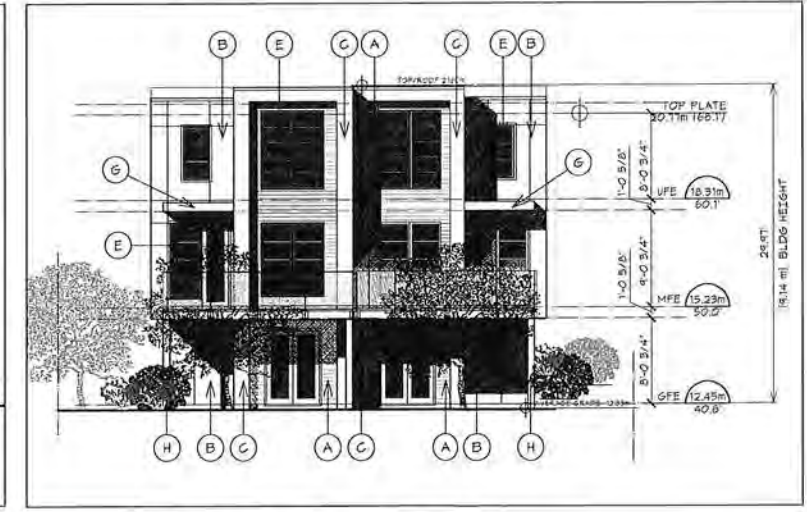
4 WEST ELEVATION
SK-2 SCALE= 1/8"=1'-0"



5 SOUTH ELEVATION
SK-2 SCALE= 1/8"=1'-0"



6 NORTH ELEVATION
SK-2 SCALE= 1/8"=1'-0"



7 EAST ELEVATION
SK-2 SCALE= 1/8"=1'-0"

**BUILDING A
PLANS AND ELEVATIONS**

**PROPOSED REZONING AT
1048-1050 TILlicum RD.
ESQUIMALT B.C.**

05.07.19
SCALE = 1/8"=1'-0"

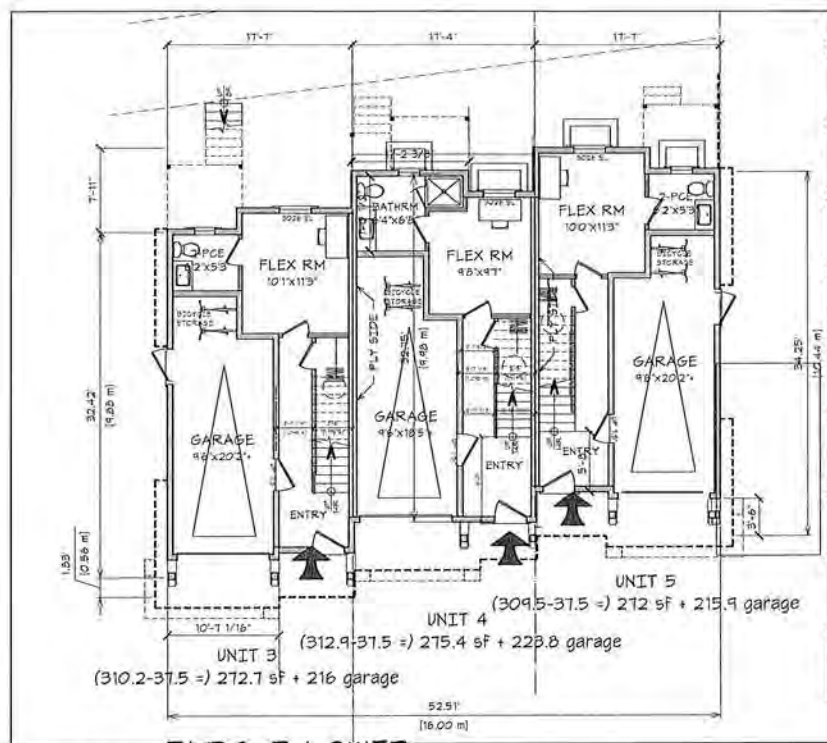


| FINISH SCHEDULE | |
|-----------------|---|
| A | 4" w V-GROOVE CEDAR SIDING |
| B | CEMENTITIOUS PANELS c/w REVEALS |
| C | PREFIN.MTL. BOX-OUTS |
| D | 6x6 TIMBER KNEE BRACE & CANT'D BEAM |
| E | WINDOW WITH HORIZONTAL MUNTIN BAR(S) |
| F | 2 1/2" w WINDOW/DR. TRIM & CEMENT. PANELS |
| G | 1x10 FASCIA ON PROJECTING CANOPY |
| H | 6x6 TIMBER POST |
| J | 4x4 TIMBER POSTS |
| K | PRE-ENG. GLAZED BALCONY GUARDRAILS |
| L | GARAGE DOOR w. WINDOWS |

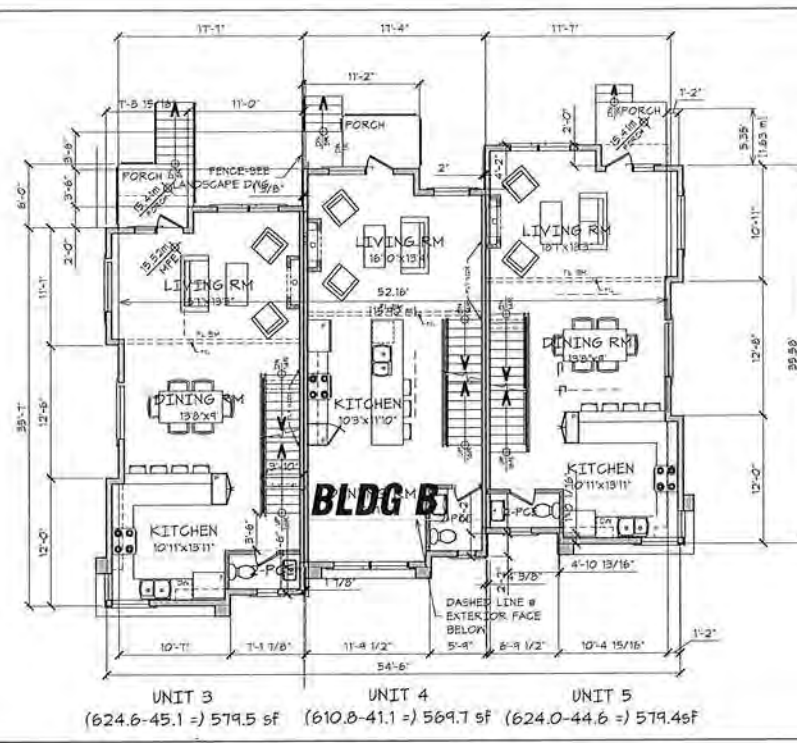
| REV. | DESCRIPTION | DATE |
|------|-----------------------|----------|
| A | RECORDING APPLICATION | 06.07.19 |



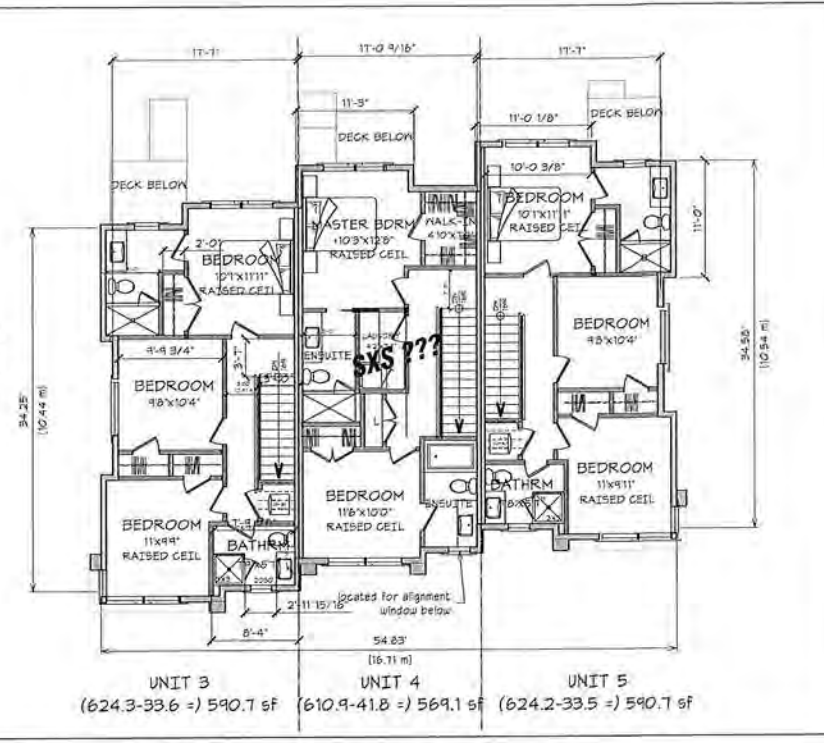
SK-2



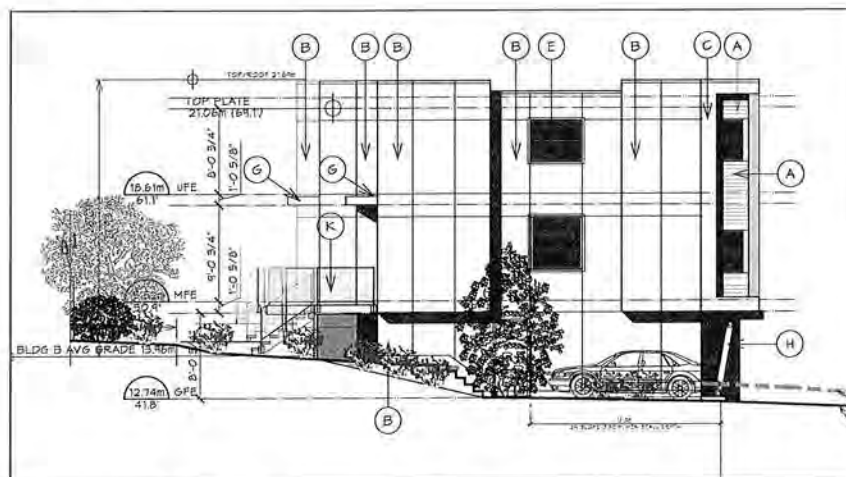
1 GROUND FLOOR PLAN
 SK-3 SCALE= 1/8"=1'-0" 66.22sm + garages



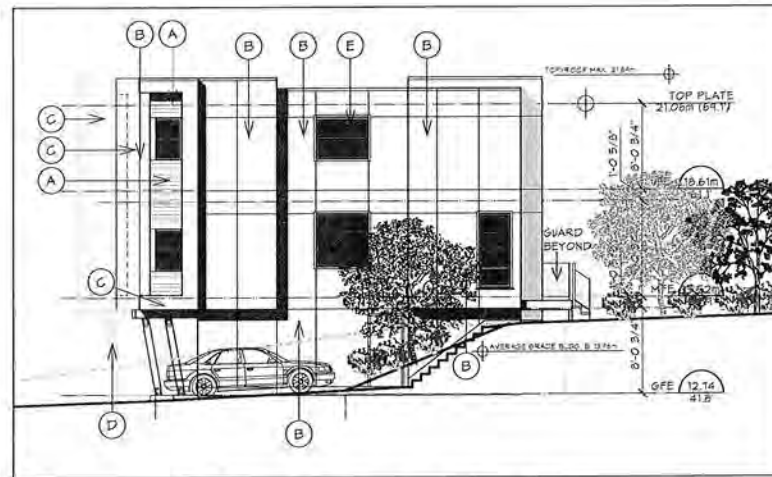
2 MAIN FLOOR PLAN
 SK-3 SCALE= 1/8"=1'-0" 159.52 sm



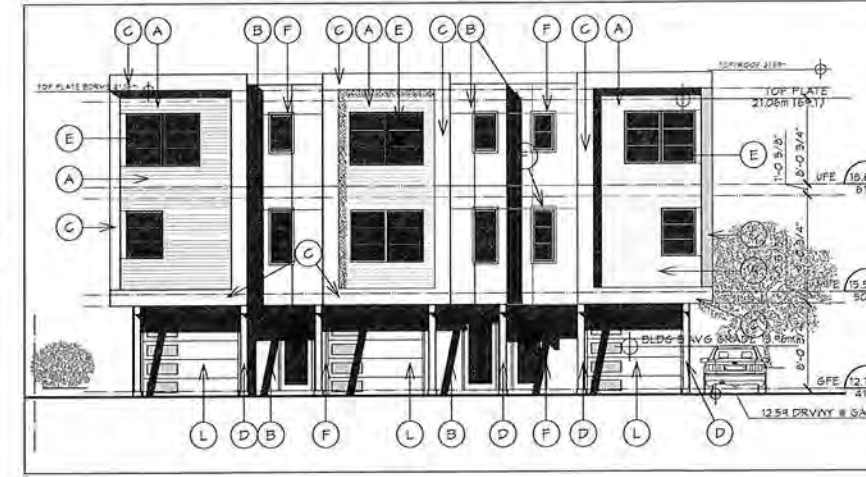
3 UPPER FLOOR PLAN
 SK-3 SCALE= 1/8"=1'-0" 162.58 sm



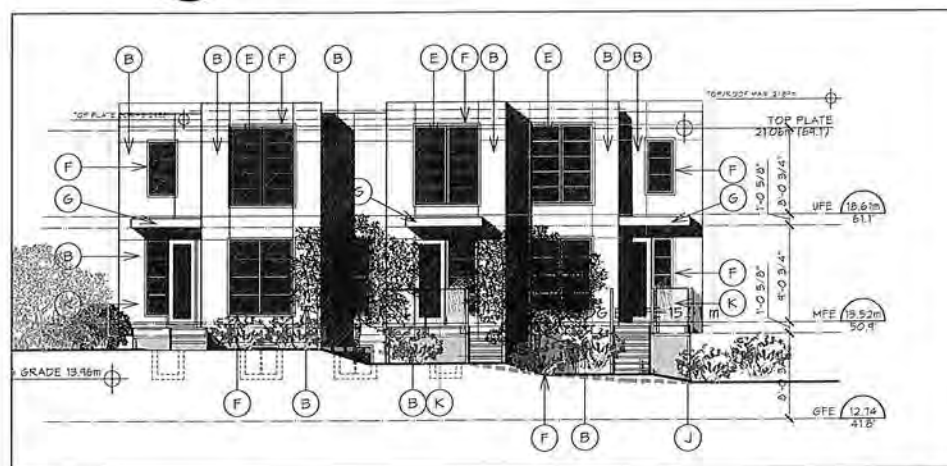
4 SOUTH ELEVATION
 SK-3 SCALE= 1/8"=1'-0"



5 NORTH ELEVATION
 SK-3 SCALE= 1/8"=1'-0"



6 EAST ELEVATION
 SK-3 SCALE= 1/8"=1'-0"



7 WEST ELEVATION
 SK-3 SCALE= 1/8"=1'-0"



BUILDING B
 PLANS AND ELEVATIONS
 PROPOSED REZONING AT
 1048-1050 TILlicum RD.
 ESQUIMALT B.C

05.07.19
 SCALE = 1/8"=1'-0"

| FINISH SCHEDULE | |
|-----------------|--|
| A | 4" w V-GROOVE CEDAR SIDING |
| B | CEMENTITIOUS PANELS w/ REVEALS |
| C | PREFIN.MTL. BOX-OUTS |
| D | 6x8 TIMBER KNEE BRACE & CANTD BEAM |
| E | WINDOW WITH HORIZONTAL MUNTIN BARS |
| F | 2.5" w WINDOW/DR TRIM w CEMENT. PANELS |
| G | 1x10 PASCIA ON PROJECTING CANOPY |
| H | 6x8 TIMBER POST |
| J | 4x4 TIMBER POSTS |
| K | PRE-ENG. GLAZED BALCONY GUARDRAILS |
| L | GARAGE DOOR w WINDOWS |

| REV. | DESCRIPTION | DATE |
|------|--------------------------|----------|
| A | RESUBMITTING APPLICATION | 05.07.19 |



LANDSCAPE CONCEPT PLAN

MOUNDED GARDEN BEDS WILL ADDRESS CHANGES IN GRADE



8X POPULUS TREMULA 'ERECTA'

WOODEN FENCES TO RIGHT OF WAY STAINED BLACK. HEIGHT AT 1800MM

IX CORNUS 'EDDIES WHITE WONDER'

BACK YARD FENCING

EXISTING FENCE

UNIT B PATIOS WILL BE UNIT PAVERS

IX ACER CIRCINATUM

BLAST WALL AT APPROX. 6' WITH 42" BLACK METAL FENCE

PERIMETER CONCRETE RETAINING WALL WILL STEP UP WITH GRADE 42" METAL FENCE ON WALL WHERE HEIGHT IS GREATER THAN 24"

GARAGE AND ENTRY PAVING PATTERN

STEEL PLANTERS

GARAGE AND ENTRY PAVING PATTERN

STEEL GATE WITH BLACK INLAY AND BLACK METAL FENCING

SWALE WILL TAKE EXCESS WATER FROM PARKING AREA TO GARDENS AND CUT THROUGH STONE WALL

UNIT PAVER PATIOS

1800MM PRIVACY SCREEN

BLAST ROCK WALL TOP OF WALL AT PATIO GRADE BOTTOM OF WALL AT NATURAL GRADE

BLAST ROCK WALL HEIGHT TO MATCH EXISTING RETAINING WALL HEIGHT

DOUBLE SELF-CLOSING GATE

BICYCLE STORAGE

WALKING PATH SAME GRADE AS DRIVEWAY WITH DIFFERENT PAVING PATTERN

REFUSE AREA ENCLOSED WITH BLACK METAL GATES AND FENCING. 48" HEIGHT EACH STALL WILL STEP WITH GRADE

PLANTED DRAINAGE SWALE

PLANTED SWALE

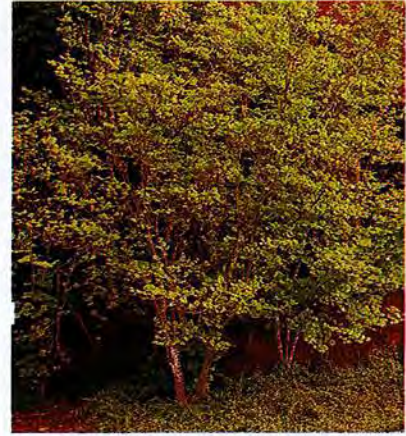
BLAST ROCK WALL TOP OF WALL AT PATIO GRADE BOTTOM OF WALL AT NATURAL GRADE

RAISED STEEL PLANTER BED 37.5" HIGH AT BOTTOM, TOP AT PATIO GRADE

2X QUERCUS GARRYANA BLAST ROCK WALL WILL STEP UP WITH GRADE TO RETAIN NEIGHBOURING SITE

PROPERTY LINE

DECORATIVE TRENCH DRAIN



Greenspace Designs
Sustainable Landscape Design

PROJECT TITLE : LANDSCAPE PLAN for ANDREW MILLS 1048-1050 TILlicum ROAD, ESQUIMALT, BC
PAGE TITLE : LANDSCAPE CONCEPT PLAN
DATE : MAY 7, 2019
SCALE : 1:96



Civic address: 1048 Tillicum Road
 Victoria, B.C.
 Parcel Identifier Number 005-010-390

**B.C. Land Surveyor's
 Sketch Plan of:**

Proposed building locations on
 Lot D, Section 10, Esquimalt
 District, Plan 11683

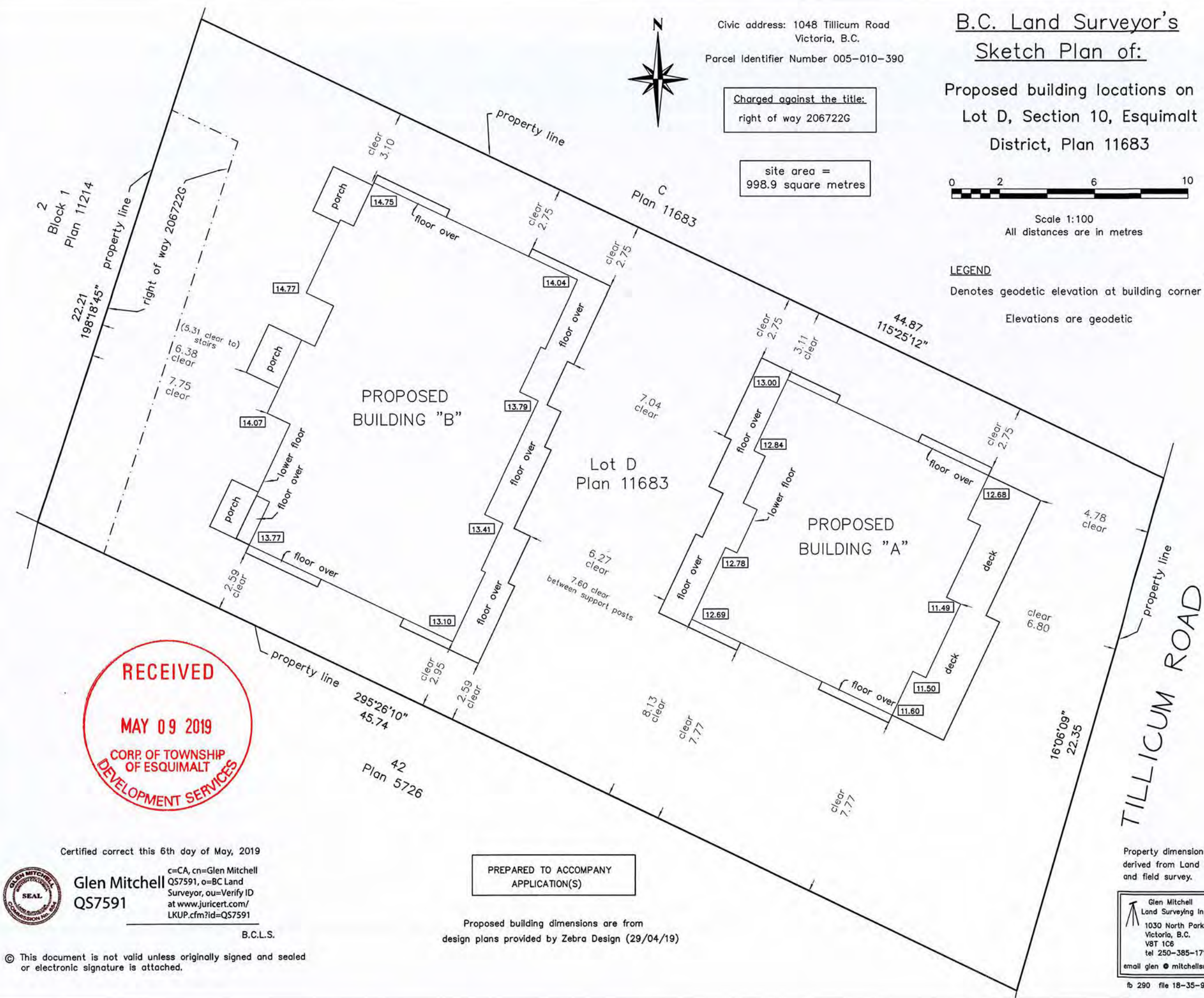
Charged against the title:
 right of way 206722G

site area =
 998.9 square metres



Scale 1:100
 All distances are in metres

LEGEND
 Denotes geodetic elevation at building corner
 Elevations are geodetic



Certified correct this 6th day of May, 2019
Glen Mitchell
 QS7591
 B.C.L.S.

c=CA, cn=Glen Mitchell
 QS7591, o=BC Land
 Surveyor, ou=Verify ID
 at www.juricert.com/
 LKUP.cfm?id=QS7591

PREPARED TO ACCOMPANY
 APPLICATION(S)

Proposed building dimensions are from
 design plans provided by Zebra Design (29/04/19)

Glen Mitchell
 Land Surveying Inc.
 1030 North Park Street
 Victoria, B.C.
 V8T 1C6
 tel 250-385-1712
 email glen @ mitchellsurvey.ca

© This document is not valid unless originally signed and sealed
 or electronic signature is attached.



CORPORATION OF THE TOWNSHIP OF ESQUIMALT

Municipal Hall, 1229 Esquimalt Road, Esquimalt, B.C. V9A 3P1
Telephone (250) 414-7100 Fax (250) 414-7111

APC Meeting: June 18, 2019

STAFF REPORT

DATE: June 13, 2019

TO: Chair and Members of the Advisory Planning Commission

FROM: Tricia deMacedo, Policy Planner
Bill Brown, Director of Development Services

SUBJECT: REZONING APPLICATION
829 Admirals Road
PID 001759817; Lot A, Section 10, Esquimalt District, Plan 28540, except
part in Plan VIP86936

RECOMMENDATION:

The Esquimalt Advisory Planning Commission recommends that the application for rezoning to allow for the operation of a Cannabis Sales Store, consistent with the site plan prepared by JE Anderson and Associates, stamped "Received May 6, 2019" be forwarded to Council with a recommendation to either **approve, approve with conditions, or deny the application; including reasons for the chosen recommendation.**

BACKGROUND:

Description of the Proposal

This rezoning application is to allow for the retail sale of cannabis in an existing building. The applicant proposes to rezone the property at 829 Admirals Rd. to a site specific (CD) zone. The proposal is for Unit C, on the ground floor of a mixed use building.

Evaluation of this application should focus on issues relevant to a change in zoning; such as the appropriateness of the proposed uses, the fit with the neighbourhood, parking, pedestrian and vehicle traffic levels, and consistency with the overall direction contained within the Official Community Plan.

Context

Applicants: Joint Family Inc.

Owners: Gurpal Atwal, Gurbax Atwal, Sukhraj Atwal

Property Size: 1598 m²

Existing Land Use: Fifteen rental apartments and four ground floor commercial units.

Surrounding Land Uses:

North: Single Family Residential (RD-3)
South: Institutional (Victoria Shipyards)
West: Duplex (RD-2)
East: Admirals Rd./Colville Rd. intersection

Existing Zoning: Neighbourhood Commercial (C-2)

Proposed Zoning: Comprehensive Development (CD)

Existing OCP Designation: Neighbourhood Commercial Mixed Use

Cannabis Regulations

The production, sale and consumption of non-medical cannabis was legalized on October 17, 2018 under the federal *Cannabis Act*. Along with regulations for health and safety, product quality etc, the *Act* also authorizes people to possess, sell or distribute cannabis so long as they have been authorized to sell cannabis under a provincial act. In British Columbia, this legislation is the *Cannabis Control and Licencing Act*. Under this *Act*, the province has established a retail licencing regime similar to the current licencing regime for liquor. The Liquor and Cannabis Regulation Branch (LCRB) will be responsible for licensing non-medical cannabis private stores and monitoring the non-medical cannabis retail sector. The Liquor Distribution Branch (LDB) will be B.C.'s wholesale distributor of non-medical cannabis.

Local governments have the following powers in respect of cannabis retail store licences:

- Impose restrictions in the Zoning Bylaw regarding the location of cannabis retail stores
- Regulate business by terms and conditions in municipal business licencing bylaw
- Charge applicant fees if choosing to assess a licence application to the province.

On June 11, 2018, Esquimalt Council adopted a series of Zoning Bylaw amendments to regulate the production, sale and consumption of recreational and medical cannabis in the Township. The zoning bylaw amendments prohibit the retail sale of cannabis unless the location is specifically rezoned to allow a 'Cannabis Sales Store'. In addition, changes were made to the Business Licence and Regulation Bylaw to limit the hours of operation of a cannabis sales store to between 9 am and 6 pm and establish a prohibition zone for cannabis retail within 500 m of all schools.

Official Community Plan

The Official Community Plan is silent on the subject of cannabis retail operations. There are however, a number of policies under Economic Development that support the proposal:

16.1 Support economic development that:

Fosters investment and growth in local businesses, services and facilities that cater to the community;

Works towards creating a complete community for families and seniors, including banking, medical and support services, daycare, an accessible trail system, public transit and recreational opportunities.

Recognize the value of locally owned and small businesses.

16.2 Encourage revitalization of underdeveloped commercial and industrial areas that have

been in decline.

Encourage revitalization of commercial areas along Admirals Road, Esquimalt Road, corner of Tillicum and Craigflower Roads, and Head Street.

Zoning

The process for a prospective cannabis retailer in an existing building within Esquimalt is to rezone the entire property to allow for Cannabis sales within a specific unit.

| | Neighbourhood Commercial Zone | Proposed Comprehensive Development Zone |
|------------------------------|-------------------------------|---|
| Front Setback | 0 m | 1.5 |
| Rear Setback | 0 m | TBD (approx. 10m) |
| Side Setback | 3 m | 7.0 m |
| Exterior Side Setback | 0 | 2.0 |
| Building Height | 13 | TBD |
| Off Street Parking | 27 | 21 |

The proposed Comprehensive Development District would include the following differences from the existing Neighbourhood Commercial zone:

- Setbacks and height would be as per existing building
- Cannabis Sales Store would be a permitted use
- Only one Cannabis Sales Store would be permitted at any time on the property
- The Cannabis Sales Store would be limited to a maximum floor area of 83.0 m²

Traffic

This proposal is not expected to increase the level of traffic in this area by any measureable level. The site is located on the E and N rail trail and both Admirals Rd. and Colville Rd, providing access by both active transportation and vehicle travel. The space that is proposed for cannabis sales is an existing commercial unit.

Parking

The residential apartments require 1.3 parking spaces per unit for a total of 19.5 and the existing businesses, plus the proposed cannabis store will require 7.41 spaces per Parking Bylaw 2011, for a total of 27 spaces. The applicant is proposing to provide 21 spaces: 17 for residential use and 4 for commercial use.

The original building was constructed with 29 parking spaces. Four of these have been lost due to enclosure of the rear overhang, and the rest due to changing configuration of the parking area to meet with the current parking standards and a reduced lot size due to sale of frontage to the Township for construction of improvements on Admirals Road.

Business Licence and Regulation Bylaw

The Business Licence and Regulation Bylaw No. 2810 has four provisions related to cannabis sales in Section 24:

- No cannabis sales within a 0.5 km radius of any elementary, middle or high school property.
- No cannabis or drug paraphernalia displayed where it can be seen from the street.
- No sales to any person under 19 years of age.
- Store hours are limited to the hours between 9 am and 6 pm.

The applicant is adhering to the first three provisions of the bylaw, but will be requesting a variance from Council to the required store hours to allow the business to remain open until 8 pm.

Comments from Other Departments

The plans for this proposal were circulated to other departments and the following comments were received by the submission deadline:

Community Safety Services: The proposed cannabis retail store is not within 500 m of any schools in the Township, as per the Business Regulation Bylaw. Staff have identified that work has been conducted on the building in the past without benefit of a building permit. If the application is forwarded to Council, staff will recommend that the project does not proceed past second reading of the amending bylaw until such time as the owner of the property receives an occupancy permit for the unpermitted work.

Engineering Services: Engineering staff have completed a preliminary evaluation of the application and have stated that the proposed rezoning of this property will not have an impact on the Engineering aspects of this property.

Fire Services: Fire Services staff has completed a preliminary review of the proposed plans and have no concerns at this time.

Police: The application was referred to Victoria Police who identified some issues that may be of concern to the residents in the area:

- Limited off street parking
- Potential issues with traffic turning off Admirals Road
- Mainly residential area with limited other commercial interests
- Residential properties directly above

Public Notification

As this is a rezoning application, should it proceed to a Public Hearing, notice would be mailed to tenants and owners of properties within 100m of the subject property. A sign indicating that the property is under consideration for a change in zoning has been placed on the Admirals Road frontage of the property and would be updated to reflect the date, time and location of the Public Hearing. Additionally, notice of the Public Hearing would be placed in two editions of the Victoria News.

Applicant's submission

ALTERNATIVES:

1. Forward the application for Rezoning to Council with a **recommendation of approval including reasons for the recommendation.**

2. Forward the application for Rezoning to Council with a **recommendation of approval including specific conditions and including reasons for the recommendation.**
3. Forward the application for Rezoning to Council with a **recommendation of denial including reasons for the recommendation.**

Attachments:

| | |
|------------|-----------------------|
| Appendix A | Aerial overview map |
| Appendix B | Subject property map |
| Appendix C | Zoning map |
| Appendix D | Letter from applicant |
| Appendix E | Survey |
| Appendix F | Site plan |
| Appendix G | Unit floor plan |
| Appendix H | Elevation photos |
| Appendix I | Proposed signage |

Appendix A

N



Coles St

868

866

860

854

855

849

850

842

841

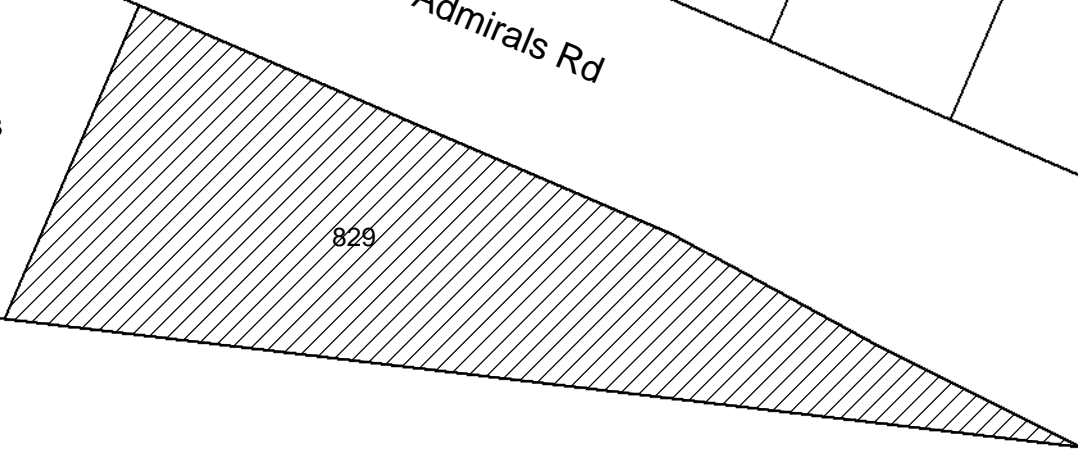
837

833

829

838

Admirals Rd



Subject Property Map:
829 Admirals Road



COLES ST

868

866

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842

ADMIRALS RD

841

837

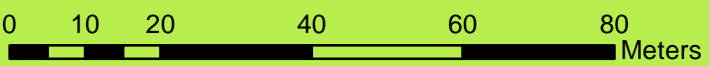
833

829



Legend

| | |
|--|--|
| | Subject Property |
| | C-2 <i>Neighbourhood Commercial</i> |
| | CD Zones <i>Comprehensive Development District</i> |
| | P-1 <i>Public/ Institutional</i> |
| | RD-1 <i>Two Family Residential</i> |
| | RD-2 <i>Two Family Small Lot Residential</i> |
| | RD-3 <i>Two Family/ Single Family Residential</i> |
| | RM-4 <i>Multiple Family Residential</i> |
| | RS-1 <i>Single Family Residential</i> |
| | RS-2 <i>Single Family Panhandle Residential</i> |
| | RS-5 <i>Single Family Large Lot Residential</i> |



Zoning Map:
829 Admirals Road



Appendix D



To
The Township of Esquimalt

Subject : In Re Cannabis retail store at 829B Admirals road.

Dear Sir/Ma'am

We are Joint Family Incorporated, a company founded to operate licensed cannabis retail stores in the province of British Columbia. The company has a vision to run 8 storefronts across the province. We have decided to set up our first store in the beautiful city of Esquimalt and would like to introduce ourselves for the same.

Joint Family Incorporated is a subsidiary of Thatguy Associates Inc. Both the companies are federally incorporated and additionally Joint Family Incorporated is also incorporated provincially in British Columbia. Our Board of Directors are Jasween Singh Gujral and Akash Plaha.

Jasween is an international lawyer by qualification and entrepreneur by profession. Hailing from a business family in India, he has had extensive experience in managing his family businesses including Mining, Transport, Indian Oil gas agency, BSNL mobile distributorship, Real estate. Currently, as a Director of Thatguy associates Inc., he has been investing in viable business options including retail cannabis stores.

Akash is a certified customs specialist and international trade developer. He has over 6 years of business experience in managing supply chain of Consumer Packaged Goods across Canada and US. Currently, as the Director of Rex Distribution Inc he is handling business with large retailers, wholesalers and distributors.

Each person on the Board of Directors has a clean criminal record and healthy credit history. We have the necessary finances, skill and passion to establish ourselves in the cannabis retail industry. We understand the depth of licensing process and have the necessary potential to successfully obtain the retail license.

Operations:

Since, we plan to operate 8 stores in BC, we are going to use standardized methods that can be remotely monitored, easily replicable and secure by industry standards. In order to ensure the state compliances and manage inventory we are going to use state of the art technologies like IndicaOnline, Cova, Buddi etc. The software is going to be an end to end solution, and will track movement of goods from the LCRB to the end consumer.

We will make sure that the store and its products are not visible from outside by using opaque films on the doors and windows. The employees will strictly verify the age of the customers by asking at least 2 government issued IDs. No customer will be allowed to buy more than 30 grams of cannabis at one time. We will also make sure that the customers are not under the influence of any drugs while making the purchase.

Store timings -

We intend to operate from 9 am to 8 pm, however, will abide by the township bylaw and run the store through 9 am to 6pm.

Security systems -

In order to ensure the safety of the business environment we shall be using the following measures:

- Intruder and fire monitoring alarm systems
- Locked retail product display cases
- Locked storage room





- Secure perimeter door locks
- Security cameras with full unobstructed view of:
 - the retail sales area
 - any product storage area
 - both the interior and exterior of all store entrances/exits.

The cameras will be active and recording at all times, including when the store is not open for business. The video footage will be stored for at least 30 days after recording.

All the cash and inventory will be stored in strong vaults which are immovable and always locked. We will install panic buttons at the Cash counters in order to ensure safety of the staff and customers.

Human Resource:

We are committed to deliver quality of service and in order to ensure that cannabis stays out of the hands of minors. We shall have all our staff go through the Responsible Service Training provided by the BC government. We will also display the Social Responsibility materials all around the store to educate the consumers and help them keep cannabis out of reach of children.

We will be hiring 1 store manager to handle a staff of 4 full-time and 2 part-time customer service representative working at the POS. We will ensure that workers in retail store are over 19 years of age and have obtained a security verification from the province. This includes any adult performing work-related activities in a retail store as an employee, independent contractor or volunteer on a full-time or part-time basis.

Product Display:

The floor plan of the store is designed to separate public area from the staff area. All the products shall be kept in sealed display pods provided by companies like budbars. Following what the government requires, the customers will be able to see and smell the product through the pods but will not be able to touch the same. All the product inventory will be kept in locked safety vaults and will be accessible by the authorized personnel only.

We will also have iPads laid out on the display cases to help the customers explore and educate themselves about the different products.

Provincial Licensing

We have already made the application for Provincial License and our Application No: 002275 Reference #: CRS001 - Private Corporation - 002275. We have already appointed law firm and accountant to help us submit the same and will be completing it at an earliest.

Impact on Community

We shall be having a zero tolerance policy towards smoking around the store premise and will monitor the outside of the store using cameras to prevent any disturbance in the neighbourhood. We will also make sure that none of our employees take their responsibility leniently and work under the influence of any drug.

Proximity

We have carefully selected our current store location and made sure it is outside the exclusion zone and is at least 500m away from all schools and daycares. The closest school from our location happens to be around 1 km far and there are no day cares around the store as well.

We would be happy to answer any further queries in case you may have any.

Regards,

Jasween Singh Gujral

Akash Plaha



TEL: 250-727-2214 FAX: 250-727-3395
VICTORIA-NANAIMO-PARKSVILLE-CAMPBELL RIVER

File: 31893

Civic: 829 Admirals Road, Victoria, BC

Legal: Lot A, Section 10, Esquimalt District, Plan 28540, Except Part in Plan VIP86936

Dimensions are in metres and are derived from Plan VIP86936.

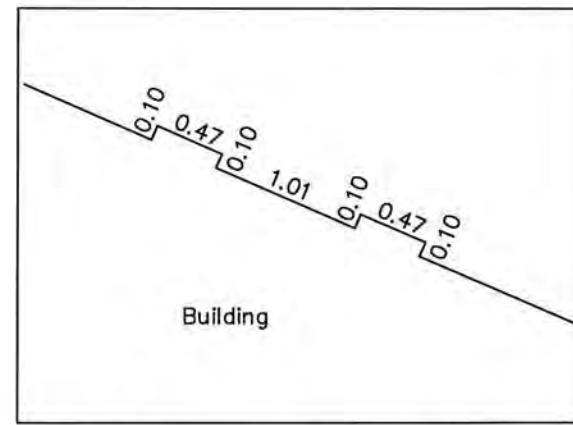
This document shows the relative location of the surveyed structures and features with respect to the boundaries of the parcel described above. This document shall not be used to define property lines or property corners.

This building location certificate has been prepared in accordance with the Professional Reference Manual and is certified correct this 1st day of April, 2019.

Ryan Hourston T12PEQ Digitally signed by Ryan Hourston T12PEQ
Date: 2019.04.01 14:04:50 -07'00'

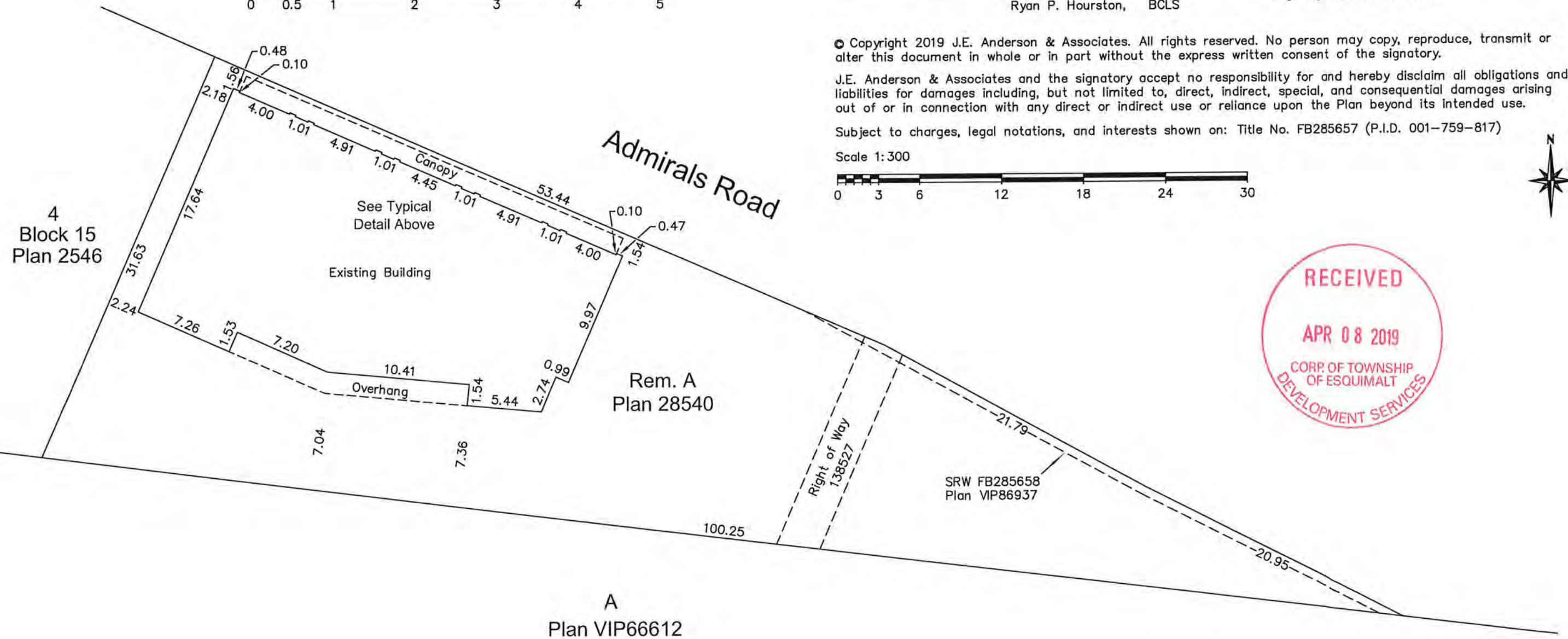
This document is not valid unless originally signed and sealed

Ryan P. Hourston, BCLS



Typical Detail

Scale of detail is 1:50 at intended plot size of plan



0 2 4 8 12 16 20
The intended plot size of this plan is 560mm in width by 432mm in height, (C size), when plotted at a scale of 1:200.

This sketch does not constitute a redefinition of the legal boundaries hereon described and is not to be used in any matter which would assume same.
J.E. Anderson & Associates accepts no responsibility or liability for any damages that may be suffered by a third party as a result of any decision made, or actions taken based on this document.
Subject to charges, legal notations, and interests shown on: Title No. FB285657 (P.I.D. 001-759-817)

Distances and elevations are in metres
Elevations are geodetic based on control monument 84H0263
Elevations are at natural grade unless noted otherwise
Unit areas are approximate and are not to be used for lease purposes
Parking layout provided by others



SITE PLAN 2

JOINT FAMILY INCORPORATED

Lot A, Section 10, Esquimalt District, Plan 28540, Except Part in Plan VIP86936

ADDRESS : Unit B - 829 Admirals Rd

PROJECT SURVEYOR : RPH

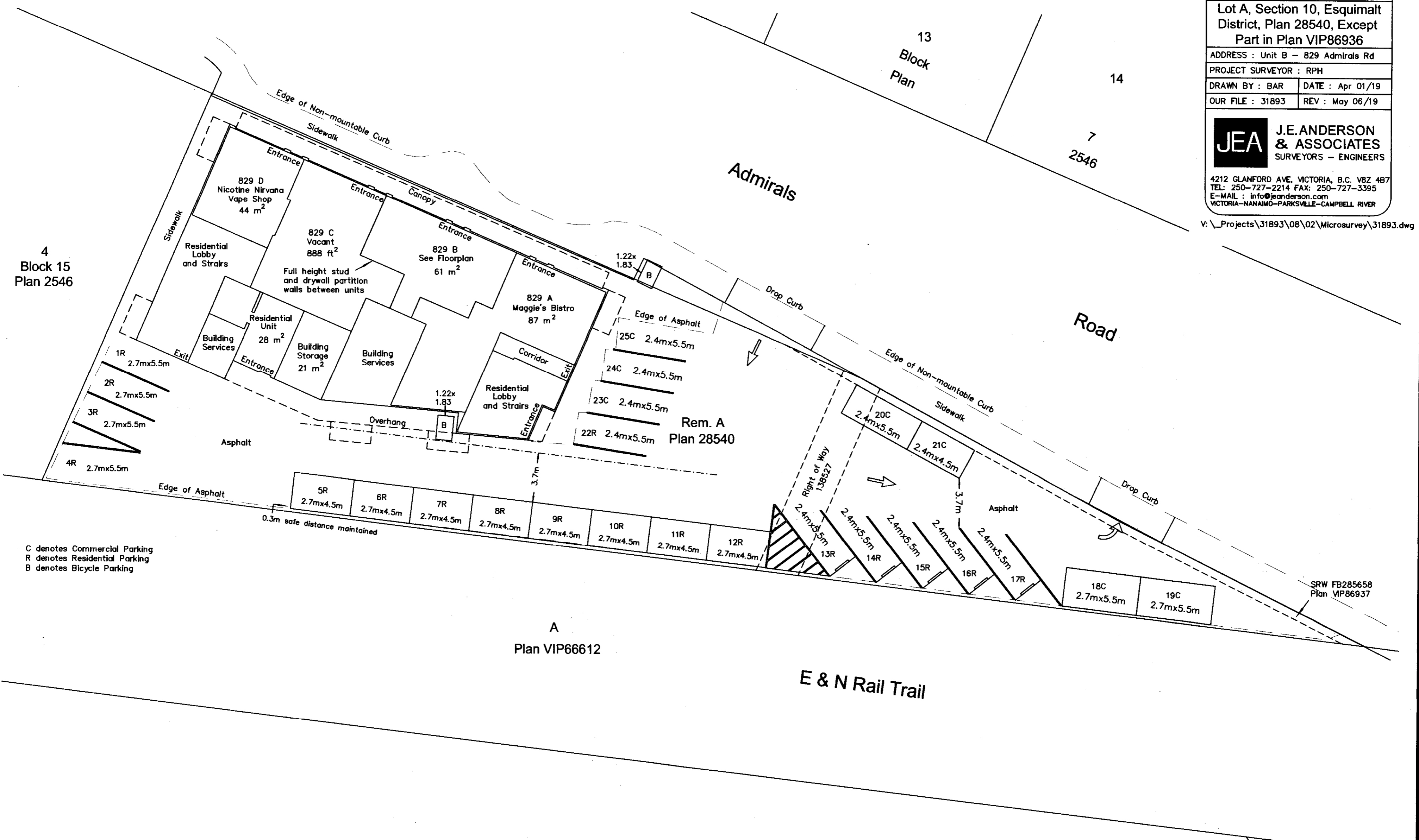
DRAWN BY : BAR DATE : Apr 01/19

OUR FILE : 31893 REV : May 06/19

JEA J.E. ANDERSON & ASSOCIATES
SURVEYORS - ENGINEERS

4212 GLANFORD AVE, VICTORIA, B.C. V8Z 4B7
TEL: 250-727-2214 FAX: 250-727-3395
E-MAIL: info@jeanderson.com
VICTORIA-NANAIMO-PARKSVILLE-CAMPBELL RIVER

V:_Projects\31893\08\02\Microsurvey\31893.dwg



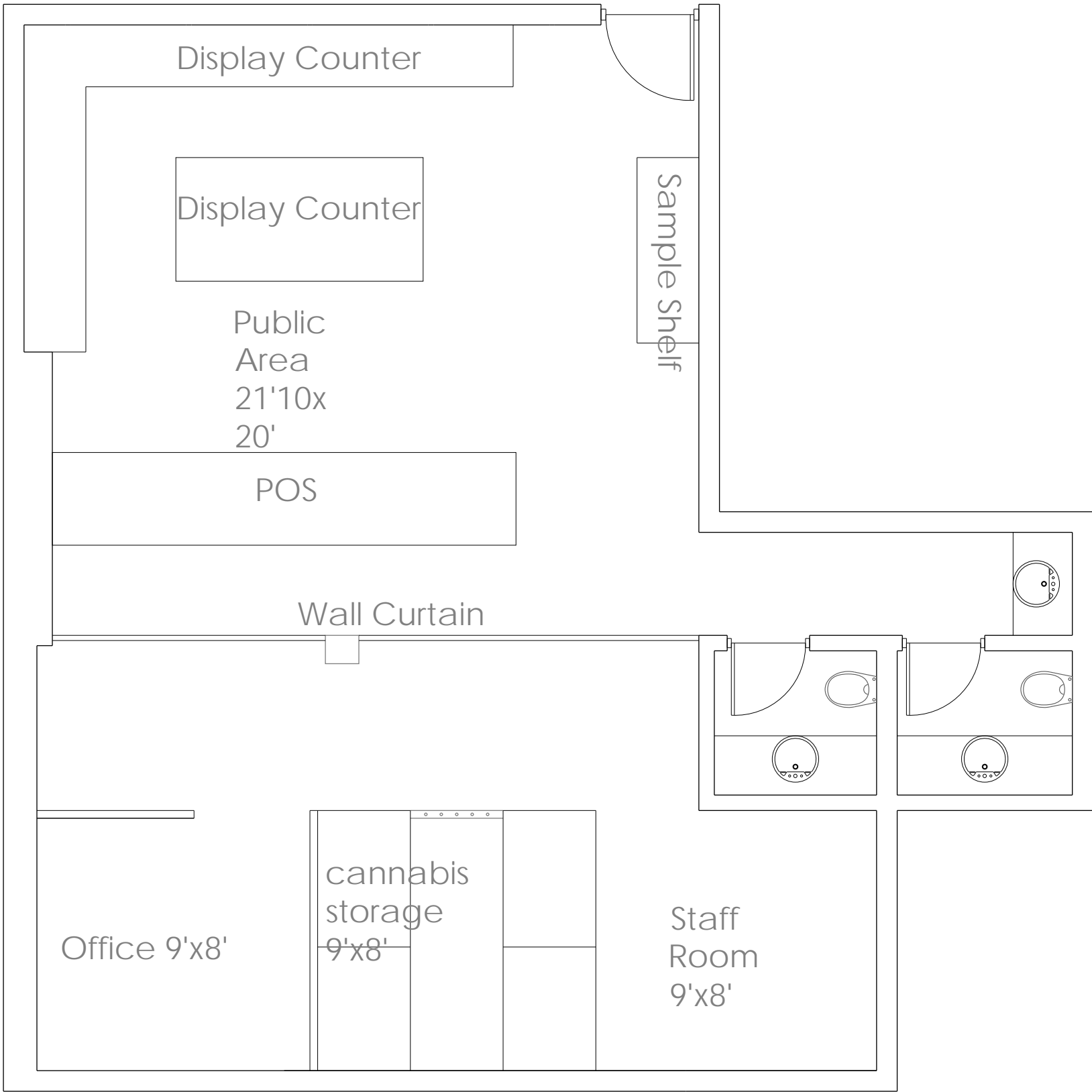
C denotes Commercial Parking
R denotes Residential Parking
B denotes Bicycle Parking

SRW FB285658
Plan VIP86937

Rem. 1
Plan 32699



A
Plan VIP88147





SOUTH FACING



RECEIVED
APR 08 2019
CORP. OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICES

WEST FACING



APR 08 2019

CORP OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICES



EAST FACING



RECEIVED

APR 08 2019

CORP. OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICES



NORTH FACING



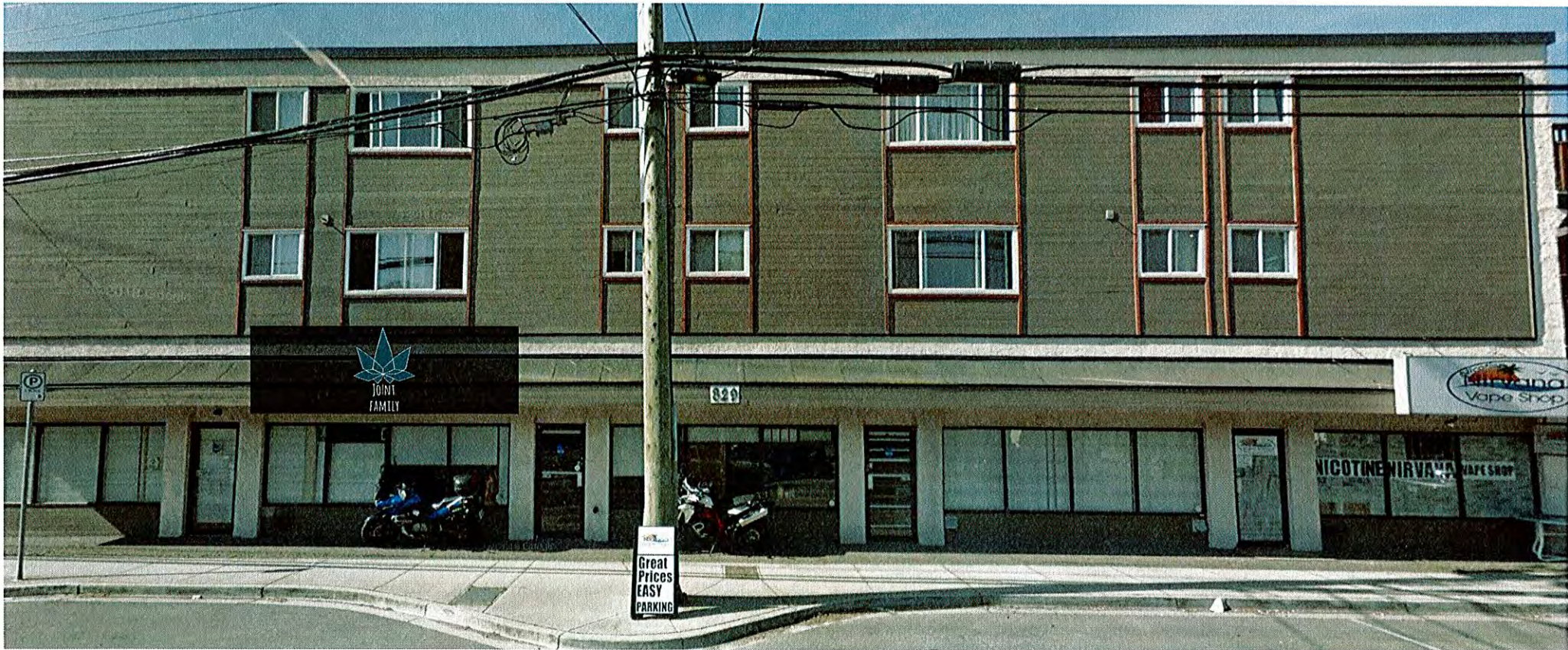
RECEIVED

APR 08 2019

CORP. OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICES



Appendix I



PROPOSED SIGNAGE





CORPORATION OF THE TOWNSHIP OF ESQUIMALT

Municipal Hall, 1229 Esquimalt Road, Esquimalt, B.C. V9A 3P1
Telephone (250) 414-7100 Fax (250) 414-7111

APC Meeting: June 18, 2019

STAFF REPORT

DATE: June 13, 2019

TO: Chair and Members of the Advisory Planning Commission

FROM: Tricia deMacedo, Policy Planner
Bill Brown, Director of Development Services

SUBJECT: REZONING APPLICATION
1314-1322 Esquimalt Road
PID 002-535-939; Lot A, Suburban Lot 38, Esquimalt District, Plan 27046

RECOMMENDATION:

The Esquimalt Advisory Planning Commission recommends that the application for rezoning to allow for the operation of a Cannabis Sales Store at 1318A Esquimalt Rd., consistent with the site plan prepared by EDDA Creative, stamped "Received June 7, 2019" be forwarded to Council with a recommendation to either **approve, approve with conditions, or deny the application; including reasons for the chosen recommendation.**

BACKGROUND:

Description of the Proposal

This rezoning application is to allow for the retail sale of cannabis in an existing building. The applicant proposes to rezone the property at 1314-1322 Esquimalt Rd. to a site specific (CD) zone. The proposal is for Unit A, on the ground floor of a mixed use building.

Evaluation of this application should focus on issues relevant to a change in zoning; such as the appropriateness of the proposed uses, the fit with the neighbourhood, parking, pedestrian and vehicle traffic levels, and consistency with the overall direction contained within the Official Community Plan.

Context

Applicants: Misty Mountain Cannabis Inc.

Owners: 0775462 BC Ltd.

Property Size: 1360 m²

Existing Land Use: Twelve rental apartments and five ground floor commercial units.

Surrounding Land Uses:

North: Strata Apartment (RM-4)
South: Strata Apartment (C-3)
West: Rental Apartment (RM-4)
East: Commercial (C-3)

Existing Zoning: Core Commercial (C-3)

Proposed Zoning: Comprehensive Development (CD)

Existing OCP Designation: Commercial/Commercial Mixed Use

Cannabis Regulations

The production, sale and consumption of non-medical cannabis was legalized on October 17, 2018 under the federal *Cannabis Act*. Along with regulations for health and safety, product quality etc, the *Act* also authorizes people to possess, sell or distribute cannabis so long as they have been authorized to sell cannabis under a provincial act. In British Columbia, this legislation is the *Cannabis Control and Licencing Act*. Under this *Act*, the province has established a retail licencing regime similar to the current licencing regime for liquor. The Liquor and Cannabis Regulation Branch (LCRB) will be responsible for licensing non-medical cannabis private stores and monitoring the non-medical cannabis retail sector. The Liquor Distribution Branch (LDB) will be B.C.'s wholesale distributor of non-medical cannabis.

Local governments have the following powers in respect of cannabis retail store licences:

- Impose restrictions in the Zoning Bylaw regarding the location of cannabis retail stores
- Regulate business by terms and conditions in municipal business licencing bylaw
- Charge applicant fees if choosing to assess a licence application to the province.

On June 11, 2018, Esquimalt Council adopted a series of Zoning Bylaw amendments to regulate the production, sale and consumption of recreational and medical cannabis in the Township. The zoning bylaw amendments prohibit the retail sale of cannabis unless the location is specifically rezoned to allow a 'Cannabis Sales Store'. In addition, changes were made to the Business Licence and Regulation Bylaw to limit the hours of operation of a cannabis sales store to between 9 am and 6 pm and establish a prohibition zone for cannabis retail within 500 m of all schools.

Official Community Plan

The Official Community Plan is silent on the subject of cannabis retail operations. There are however, a number of policies under Economic Development that support the proposal:

16.1 Support economic development that:

- Fosters investment and growth in local businesses, services and facilities that cater to the community;
- Works towards creating a complete community for families and seniors, including banking, medical and support services, daycare, an accessible trail system, public transit and recreational opportunities.
- Recognizes the value of locally owned and small businesses.

16.2 Encourage revitalization of underdeveloped commercial and industrial areas that have been in decline.

Encourage revitalization of commercial areas along Admirals Road, Esquimalt Road, corner of Tillicum and Craigflower Roads, and Head Street.

Zoning

The process for a prospective cannabis retailer in an existing building within Esquimalt is to rezone the entire property to allow for Cannabis sales within a specific unit.

| | Core Commercial Zone | Proposed Comprehensive Development Zone |
|------------------------------|-----------------------------|--|
| Front Setback | 0 m | 3.5 |
| Rear Setback | 3 m | 16 |
| Side Setback | 0 m | 1.7 |
| Exterior Side Setback | 0 m | 1.4 |
| Building Height | 13 m | 9.05 |
| Off Street Parking | 29 spaces | 20 spaces |

The proposed Comprehensive Development District would include the following differences from the existing Neighbourhood Commercial zone:

- Setbacks and height would be as per existing building
- Cannabis Sales Store would be a permitted use
- Only one Cannabis Sales Store would be permitted at any time on the property
- The Cannabis Sales Store would be limited to a maximum floor area of 66 m²

Traffic

This proposal is not expected to increase the level of traffic in this area by any measureable level. The space that is proposed for cannabis sales is an existing commercial unit that is currently vacant.

Parking

The residential apartments require 1.3 parking spaces per unit and the existing businesses, plus the proposed cannabis store will require 1 space per 25-35 m². The total number of parking spaces required is 29 spaces. The applicant is proposing to provide 20 spaces.

Originally, the building was constructed with 30 parking spaces. Using the current standards for parking space dimensions, this is reduced to 26. Refuse bins and storage use an additional 6 spaces.

Business Licence and Regulation Bylaw

The Business Licence and Regulation Bylaw No. 2810 has four provisions related to cannabis sales in Section 24:

- No cannabis sales within a 0.5 km radius of any elementary, middle or high school property.
- No cannabis or drug paraphernalia displayed where it can be seen from the street.
- No sales to any person under 19 years of age.
- Store hours are limited to the hours between 9 am and 6 pm.

The applicant is adhering to the first three provisions of the bylaw, but will be requesting a variance from Council to the required store hours to allow the business to remain open until 8 pm.

Comments from Other Departments

The plans for this proposal were circulated to other departments and the following comments were received by the submission deadline:

Community Safety Services: No concerns; the proposed cannabis retail store is not within 500m of any schools in the Township, as per the Business Regulation Bylaw.

Engineering Services: No concerns; the proposed rezoning of this property will not have an impact on the engineering aspects of this property.

Fire Services: Fire Services staff has completed a preliminary review of the proposed plans and have no concerns at this time.

Police: The application was referred to Victoria Police who identified some issues that may be of concern to the residents in the area:

- There is a an existing liquor store within one block
- Residential properties directly above

Public Notification

As this is a rezoning application, should it proceed to a Public Hearing, notice would be mailed to tenants and owners of properties within 100m of the subject property. A sign indicating that the property is under consideration for a change in zoning has been placed on Esquimalt Road frontage of the property and would be updated to reflect the date, time and location of the Public Hearing. Additionally, notice of the Public Hearing would be placed in two editions of the Victoria News.

Applicant's submission

ALTERNATIVES:

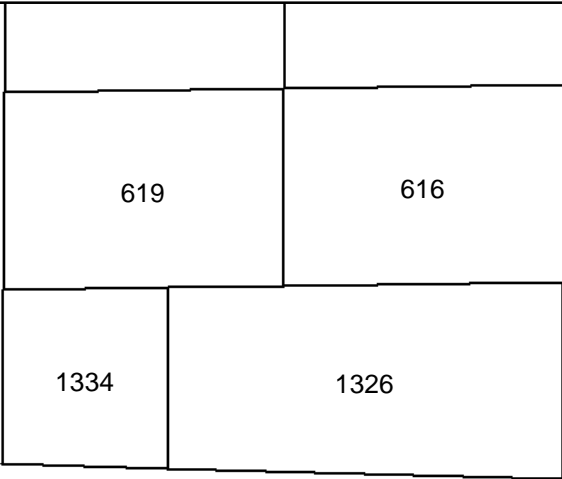
1. Forward the application for Rezoning to Council with a **recommendation of approval including reasons for the recommendation.**
2. Forward the application for Rezoning to Council with a **recommendation of approval including specific conditions and including reasons for the recommendation.**
3. Forward the application for Rezoning to Council with a **recommendation of denial including reasons for the recommendation.**

Attachments

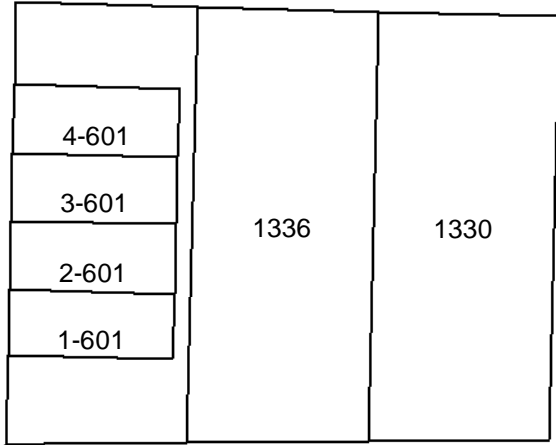
| | |
|------------|----------------------------------|
| Appendix A | Subject property map |
| Appendix B | Aerial overview map |
| Appendix C | Zoning map |
| Appendix D | Letter from applicant |
| Appendix E | Survey |
| Appendix F | Site plan |
| Appendix G | Letter from applicant re parking |
| Appendix H | Interior layout and design |
| Appendix I | Proposed bicycle rack |



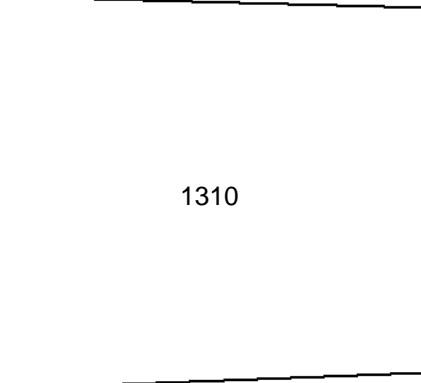
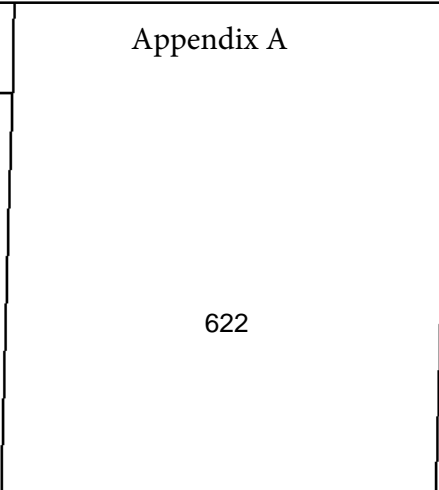
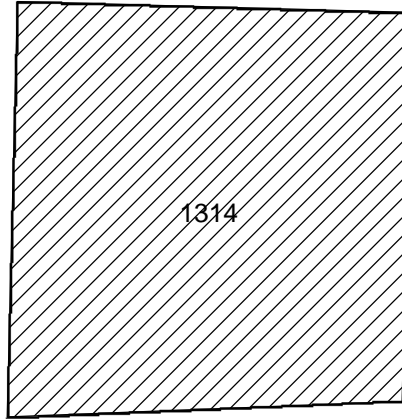
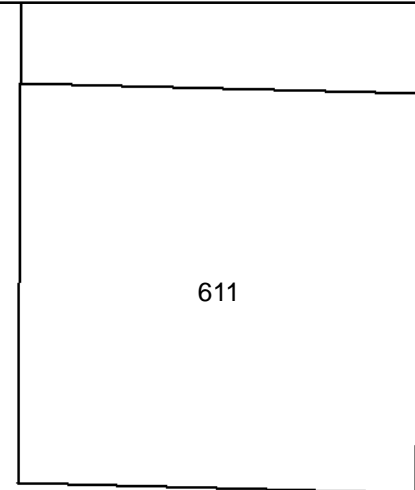
Nelson St



Miles St



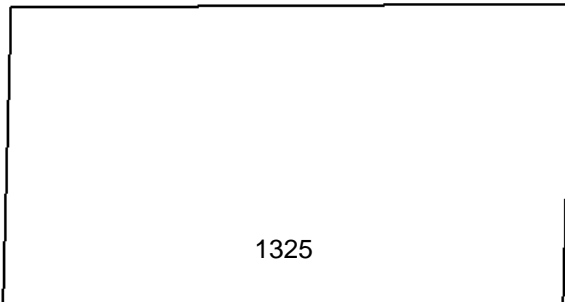
Constance Ave



Admirals Rd

Esquimalt Rd

Nelson St



Subject Property Map:
1314 Esquimalt Road



619

616

1334

1326

611

622

611

MILES ST

CONSTANCE AVE

ADMIRALS RD

4-601

3-601

2-601

1-601

1336

1330

1314

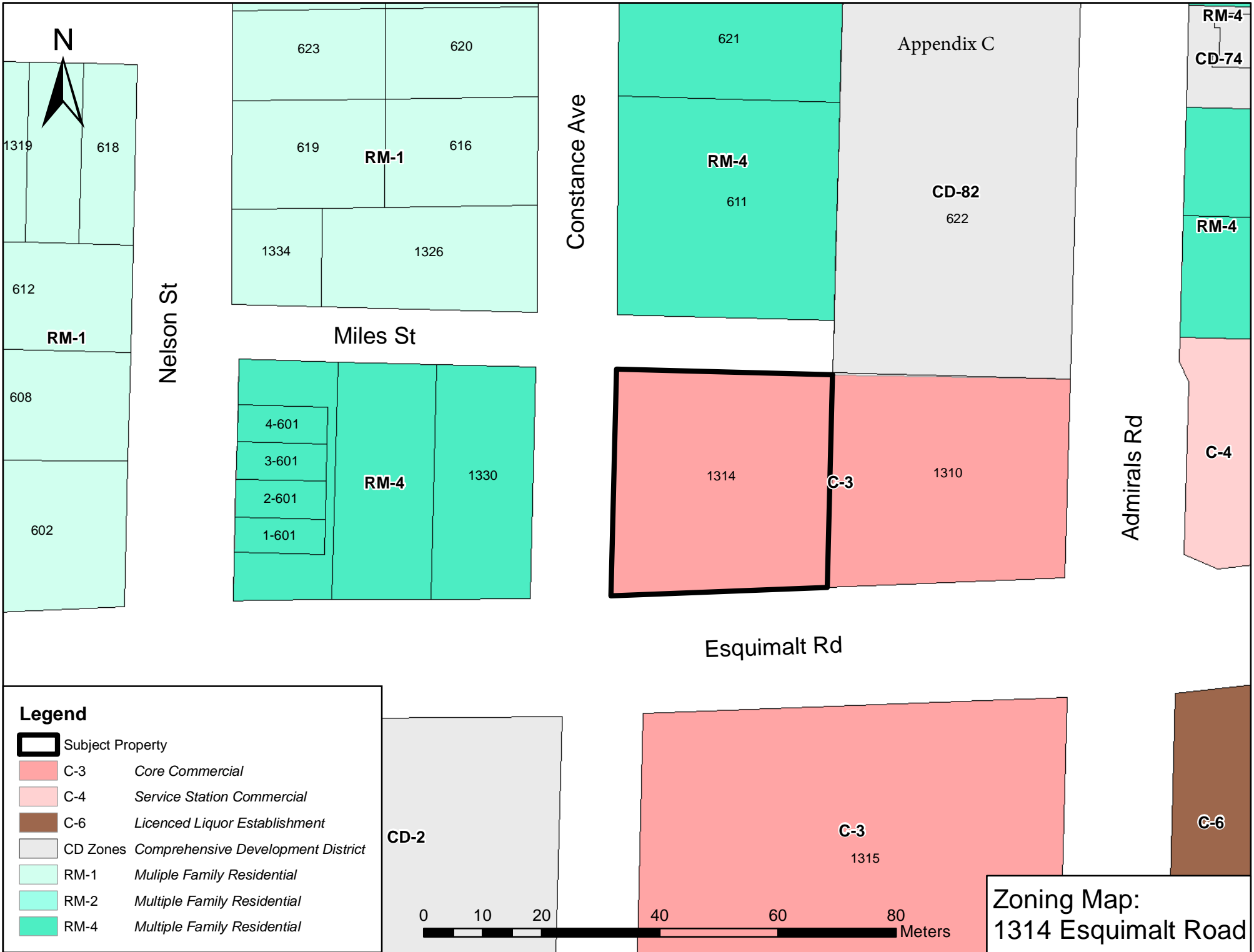
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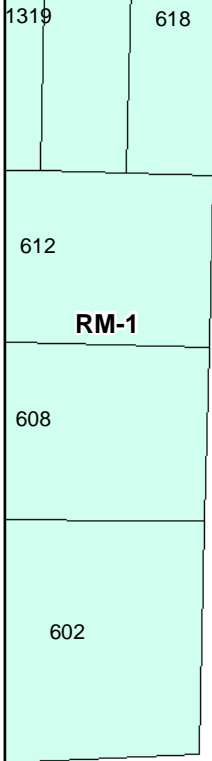
ESQUIMALT RD

1325

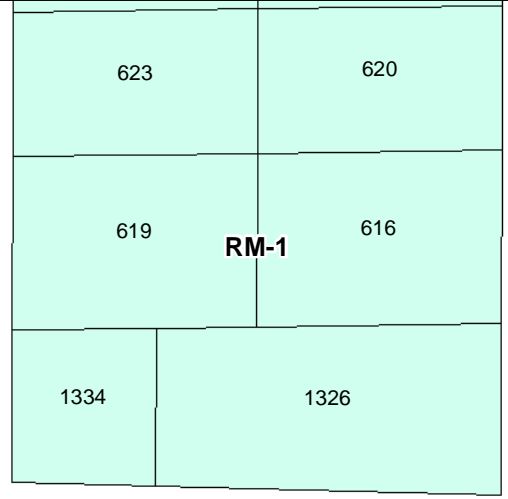
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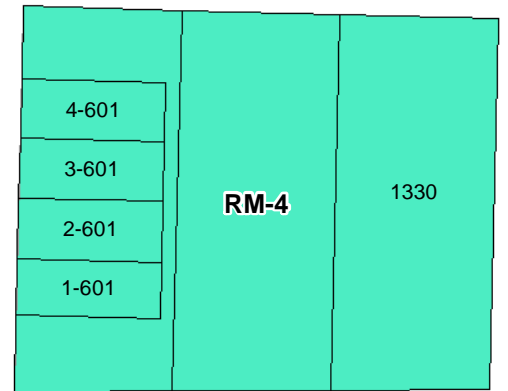
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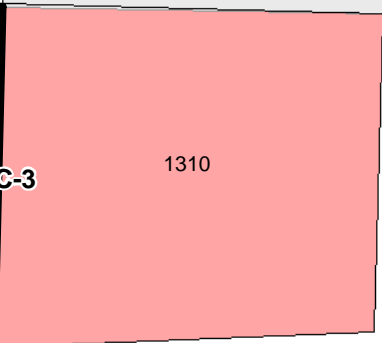
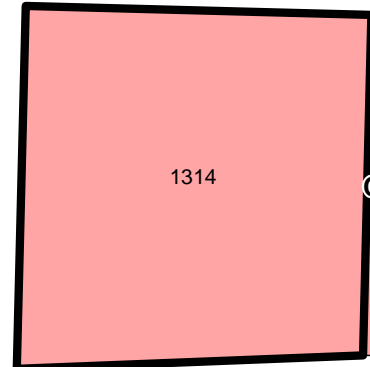
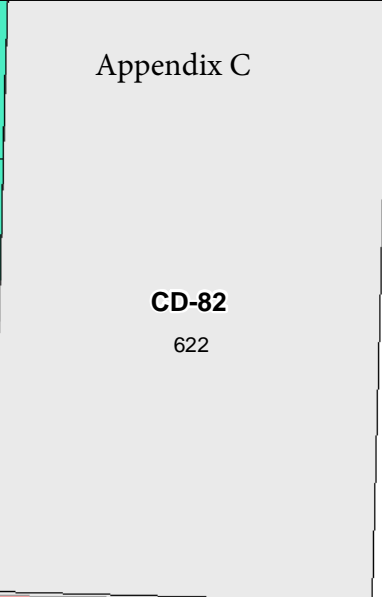
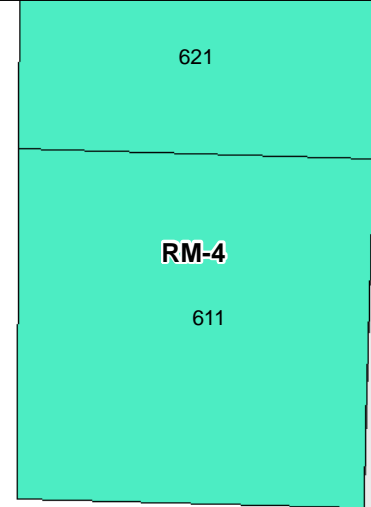
Nelson St



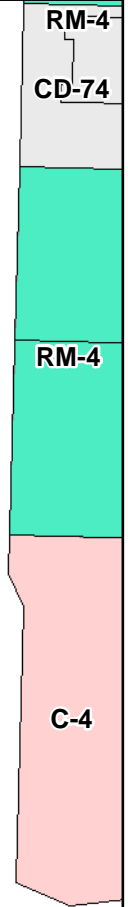
Miles St



Constance Ave



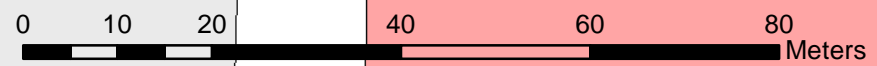
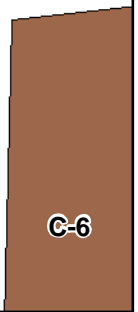
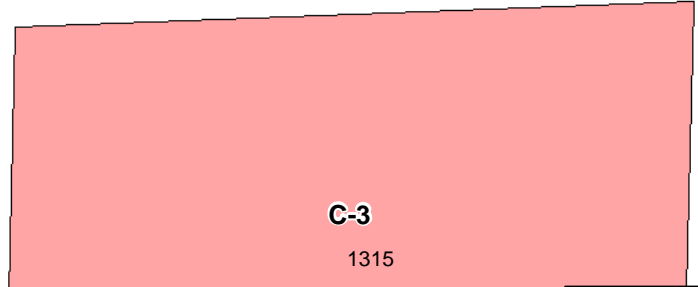
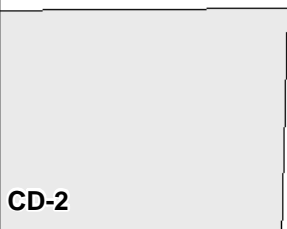
Admirals Rd



Esquimalt Rd

Legend

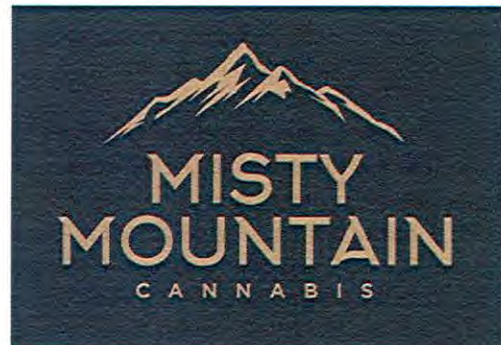
- Subject Property
- C-3 Core Commercial
- C-4 Service Station Commercial
- C-6 Licenced Liquor Establishment
- CD Zones Comprehensive Development District
- RM-1 Multiple Family Residential
- RM-2 Multiple Family Residential
- RM-4 Multiple Family Residential



Zoning Map:
1314 Esquimalt Road

DESCRIPTION OF PROPOSAL

1318A Esquimalt Rd



To: Bill Brown, Director of Development Services

Township of Esquimalt
1229 Esquimalt Road
Esquimalt, BC V9A 3P1

bill.brown@esquimalt.ca



9.1 Size of the Retail Area

Misty Mountain Cannabis Inc. Response:

The proposed storefront front retail area is approximately 36 square meters; please see document 7.0 for the proposed floor plan.

9.2 Size of the Storage Area

Misty Mountain Cannabis Inc. Response:

The proposed storefront secure cannabis storage area is approximately 11 square meters; please see document 7.0 for the proposed floor plan.

9.3 Proposed Hours of Operation

Misty Mountain Cannabis Inc. Response:

Our proposed store will be open between the hours of 9 a.m. to ~~6~~⁸ p.m., unless further restrictions are put in place by the Township of Esquimalt.

9.4 Parking Study

Misty Mountain Cannabis Inc. Response:

Please see document 6.0 for more information on the parking study.

9.5 Evidence The Company Has Applied For A Provincial License

Misty Mountain Cannabis Inc. Response:

Please see Appendix A for the Liquor and Cannabis Regulation Branch Cannabis Retail Licence Application receipt.

9.6 How Is Product Transferred To The Retail Outlet From The Province

Misty Mountain Cannabis Inc. Response:

The BC Liquor Distribution Branch (LDB) will be the sole, wholesale distributor of non-medical cannabis for the province. As the wholesale distributor, the LDB will only purchase non-medical cannabis from federally licensed producers. The LDB will be the only entity that retail stores, both private and government-owned, can purchase non-medical cannabis from in BC. Health Canada is responsible for licensing producers and undertakes a strict and thorough review of all applications. The LDB will purchase non-medical cannabis from licensed producers based in BC and across Canada. Non-medical cannabis products will be safely transported from the LDB's warehouse by appropriately regulated transport agents to 1318A Esquimalt Road. (Please see <https://www.bcldbcanabisupdates.com/> for more information.) Please see Appendix C info picture created by the LDB for further details on the process.

9.7 Community Impact and Mitigation

Misty Mountain Cannabis Inc. Response:

Misty Mountain Cannabis Inc. will attract a very diverse set of clientele at all of our locations and will make positive contributions to the neighbourhoods we operate in. Our storefronts will attract a large volume of traffic, increase economic opportunity for nearby businesses, and provide consumer access for residents of the neighbourhood. Below you will find common concerns regarding cannabis retail and our approach to mitigating any negative community impact. By mitigating any negative impacts and providing positive community contributions our operation will have a net benefit on the surrounding community.

Misty Mountain Cannabis Inc. is employing the management and design services of Camas Consulting in the operation of our retail outlets. Camas Consulting has a proven track record of providing staff training, store design, and security programs to five licensed medical dispensaries in Victoria, BC. Those retailers' good standing with the City and residents demonstrate that professionally-run cannabis retail stores can provide economic and social benefits.

Service to Minors:

Sales are conducted by professionally trained employees who are highly practiced and experienced in requesting identification from all customers, identifying fake IDs, using appropriate and non-confrontational language when asking for ID, and providing expert cannabis knowledge and suggestions to our customers. All of our employees undergo mandatory criminal background checks, have acquired their Cannabis Workers Qualification as required by the province, and will be certified by the Serving It Right equivalent (SellSafe) once announced by the Province.

Minimize Odours:

All Misty Mountain Cannabis Inc. locations are equipped with state of the art carbon filtration systems, which create a negative air pressure in the store, preventing any nuisance odours from escaping.

Public Health:

Misty Mountain Cannabis Inc. takes a proactive approach to minimizing the negative health impacts of cannabis use, and maximizing it's beneficial impacts. We will offer public education series to our customers

and the general public on topics such as cannabis etiquette, evidence-based research on the effects of cannabinoids, safe consumption, and using cannabis as a harm reduction strategy.

We are also partnering with major industry producers such as Canopy Growth who are working with M.A.D.D. on public education campaigns around safe consumption. These industry partnerships are key in providing professional training to staff as well as to our customers.

Prevention Of On-site Consumption:

Once the province publicly releases its requirements and applications for the SellSafe program, all of our retail staff will undergo the training and certification program to ensure that their training complies to the standards set out by the province. This training provides employees the tools necessary to prevent on-site consumption.

We also provide public notices on our stores' community bulletins to keep our customers apprised of all relevant bylaws, such as the prohibition on consumption in public spaces such as City parks and in the vicinity of the cannabis retail store. Additionally, in-store signage reminds customers to be courteous to neighbours and not litter packaging or consume near the store. All staff are trained in non-confrontational communication to address any instances of customers breaking the rules.

Additionally, the presence of 24 hour video monitoring and motion detection lighting deters loitering or consumption near the CRS.

Property Maintenance And Beautification:

The storefront is beautifully presented in wood trim and a pleasant and welcoming aesthetic. We intend to maintain a plant-filled, wood laden, earthy aesthetic that is pleasing to customers. The interior is designed so that no cannabis products are visible from the exterior, in keeping with provincial regulations. Please see the attached renderings of a previous cannabis retail store design for another company from Edda Creative in Appendix C, who are designing the proposed store.

The proposed CRS storefront will be tastefully adorned with flower boxes to enhance curb appeal.

Heritage:

This property does not have heritage status and no heritage buildings are affected by this application.

Proximity to Sensitive Use Areas:

The proposed cannabis retail store at 1318A Esquimalt Rd. is well situated at an appropriate distance from neighbouring sites that could be considered sensitive use areas. It is 302m away from Memorial Park (measured from door of the store to the property line, as the crow flies). It is 380m away from Esquimalt Rec Centre. It is 160m from La Pre Maternelle Appletree Preschool, however whereas the main concern for exposure to youth is with secondary and middle school aged children, we firmly believe there is no concern exposure of cannabis retail to preschool aged children as they would not be at an age where they would be unaccompanied, nor have the risk of having cannabis sold to them. There are no Elementary, Junior Secondary nor High Schools within 500m of the cannabis retail store.

We have also noted that the Township policy places no cap on the number of cannabis retail stores permitted to operate within the boundaries of Esquimalt, nor a minimum distance between retail storefronts. It is our understanding that AAA has submitted an application for 522 Admirals Road; we would like to voice our support in approving their application in tandem with ours. We believe that there is a large enough market for cannabis retail to support these two applications, located within 107 m of each other, outside of the large 500

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m buffer zones from any Elementary, Junior Secondary or High Schools. As this buffer heavily limits the areas available to cannabis retail locations in Esquimalt, it would make sense that the area where these two proposed storefronts are located could support multiple stores.

While this distance provides a reasonable buffer from “family-oriented” locations, Misty Mountain Cannabis Inc. also takes additional mitigation measures for those who do not wish to be exposed to cannabis retail. Our store is not visible from any of the aforementioned sites. As discussed above, in addition to provincially mandated educational literature, we provide pamphlets and bulletin notices on cannabis consumption etiquette including asking our customers to not consume in public parks, near the CRS, and to not litter cannabis packaging. One of Misty Mountain Cannabis' strengths is that it has scouted employees with first-hand professional knowledge in the existing cannabis industry. This means that all staff are well versed in informal cannabis etiquette, and have worked at licensed medical dispensaries where neighbour satisfaction is key to continued operations.

Community Contribution:

Esquimalt is in need of a cannabis retail store to facilitate access to cannabis in the community. The economic, environmental, and social benefits of this project are numerous. The regulation of this business sector in Esquimalt is likely to stimulate the local economy, making Esquimalt a hub of this emerging regulated and taxed business activity in the city and so help transition this industry, (that was previously taking place in an informal, unregulated and untaxed manner), toward a better regulated marketplace.

The location will provide an important service to both the high-density and low-density residential neighbourhoods surrounding the commercial core in which the proposed store is located. It will also provide convenient access to CFB Esquimalt now that the federal government has provided clarity on cannabis use guidelines for members of the Armed Forces.

As an Island-based business, we are also committed to sourcing our products from local producers. As micro-cultivators and other local Licensed Producers enter the provincial supply stream, we will support these local producers adding value to the local economy.

Additionally, Misty Mountain Cannabis Inc. is committed to donating a portion of net profits to local non-profit organizations.

9.8 Security Report

A concern for all retailers of high value products is security. On balance we believe that the environmental design approach as well as staff security training provides a net benefit for community safety.

Misty Mountain Cannabis Inc. has designed the proposed cannabis retail store using the principle of crime prevention through environmental design (CPTED). There is a direct relationship between the built environment and human behaviour. A well-designed physical environment can deter criminal activity through eight CPTED principles.

1. Territoriality

It is important to clearly demarcate the divide between public space and the private retail space allowing intruders to be quickly identified and deterred. Misty Mountain Cannabis Inc. The nature of the business as a 19+ space requires that we have clear signage demarcating the private space. On-premise signage indicating

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our security systems are prominently displayed at all of our locations to provide further deterrence of theft or criminal activity.

2. Natural Surveillance

This principle relies on open sightlines to provide the perception of safety for staff and customers, while undermining the confidence of intruders. Our stores are open-concept design allowing staff and fellow customers to create a public eye in the store.

3. Access Control

The design of the store clearly separates the behind counter area as staff only, preventing access to cannabis. The staff only area of the store is located behind an electronic access controlled door. Additionally, the chain of command amongst staff is based on the principle of least privilege. Access to product storage, cash, inventory management software, and the actual store escalate from the position of CSSR, Keyholder, Supervisor to Manager. By limiting employee access to the lowest level of security required to allow normal functioning, the likelihood of internal crime is reduced.

4. Activity Support

This principle of environmental design is similar to natural surveillance in that it places security sensitive interactions between staff and the public within public sight as well as within view of formal high-definition video surveillance.

5. Image

By keeping the area surrounding the store clean, tidy, well-lit, and well-maintained potential criminals will be sent a message of guardianship and proprietary oversight, thus creating deterrence.

6. Target Hardening

This principle relies on physical security design to fortify targets of crime. All of our storefronts are secured with durable, commercial-grade doors and locks to protect the premises, as well as security film on windows. All cannabis products are securely locked behind the counter in staff-only areas of the store. Backstock inventory and cash are safely locked away in a secondary secure cannabis storage room to provide an extra layer of protection. Misty Mountain Cannabis Inc. locations are equipped with 24/7 intrusion and fire monitoring. Stores are also equipped with exterior motion-activated security lighting to discourage trespassing, theft, and loitering. During hours of operations, we will ensure that at least two employees are present on the premises at all times. All Misty Mountain Cannabis Inc. locations will be equipped with discreet, under-the-counter panic buttons.

The principle technique behind target hardening is the security concept of "rings of protection". This involves using multiple barriers of protections around the inventory being protected. These multiple barriers can be seen on the floor plan that shows that backstock is securely stored behind two staff access only doors.

These measures ensure that any attempt to access valuables after hours will be immediately detected by the intrusion monitoring system and the multiple barriers will slow criminals allowing them to be thwarted by law enforcement.

7. Formal Surveillance

Misty Mountain Cannabis Inc. locations are equipped with 24/7 intrusion and fire monitoring, and supplemented with video surveillance cameras that monitor all retail areas, cannabis storage areas, entrances, exits, and exteriors. These cameras retain the data for a minimum of 28 days after it is gathered. On-premise signage indicating our security systems are prominently displayed at all of our locations to provide further deterrence for theft or criminal activity. Our 24-hour high definition camera system can be used to provide information on crimes that may happen in the neighbourhood after hours.

8. Security Training

All of our employees undergo mandatory criminal background checks. As part of training and employee induction, employees must read our standard operating procedures for incident reporting, maintaining the integrity of their passwords and security codes, and robbery prevention.

Misty Mountain Cannabis' presence in the area contributes to the safety and security of the neighbourhood and may contribute to a decrease in overnight petty crime in the immediate area. The increased foot traffic in the area as a result of the business attracts customers to other nearby businesses, and our staff will keep the area surrounding our business well maintained, clean, and free of litter and other refuse.

**LOT A, SUBURBAN LOT 38,
ESQUIMALT DISTRICT, PLAN 27046**

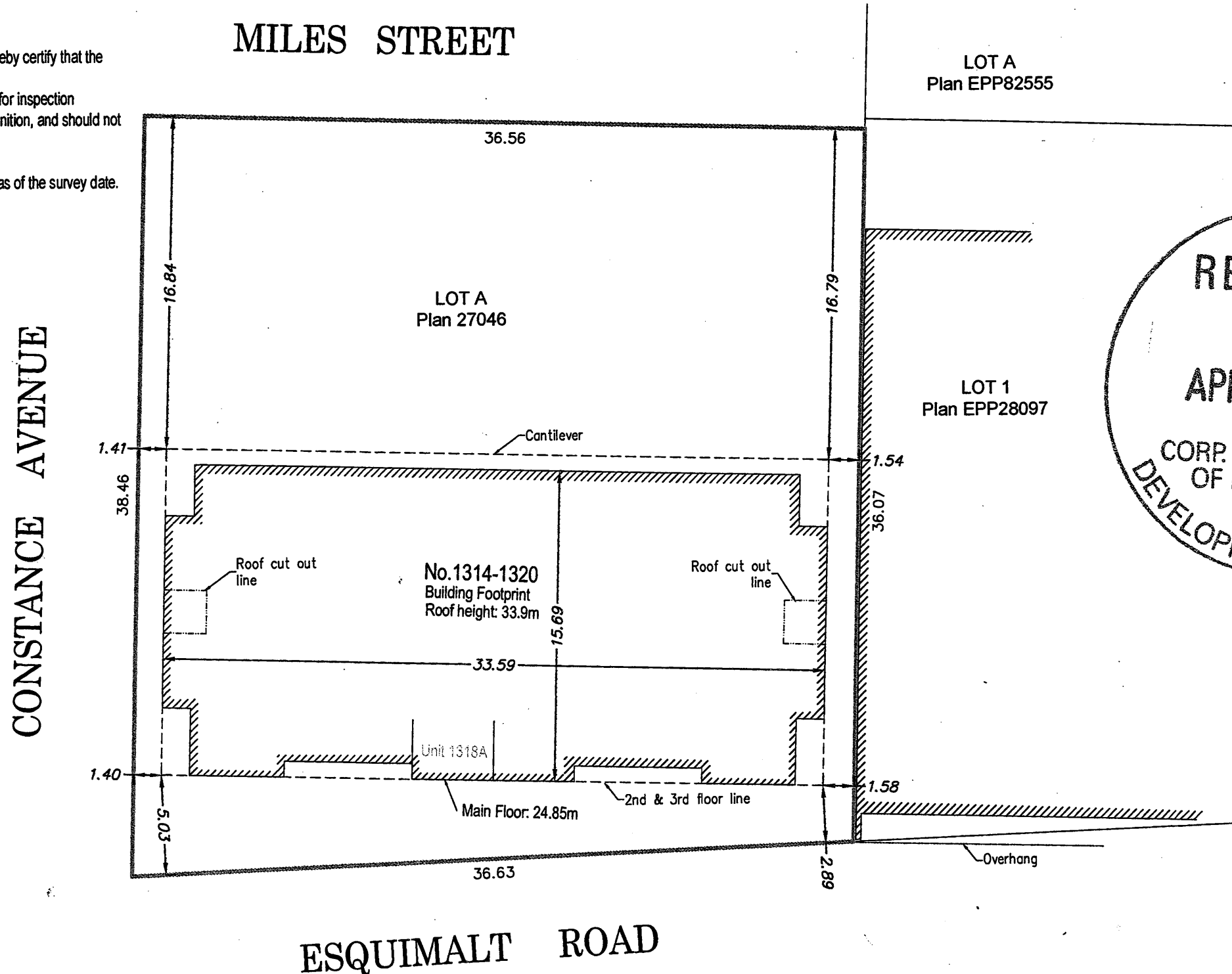
I have inspected the residential premises shown at 1318A Esquimalt Road and hereby certify that the said structure is situate with respect to nearby boundaries as shown on this sketch. This document is prepared for the use of the stated party and their interests, and is for inspection purposes only. This document does not represent any form of boundary or lot redefinition, and should not be used in a manner which would assume so.

The property is subject to charges, legal notations, and interests shown on the title as of the survey date.

SCALE:
0 1:250 10
All distances are in METERS and decimals thereof.
Parcel Identifier: 002-535-939
In the Township of Esquimalt
Prepared exclusively for: Trees Island Grown

Appendix E

133-1335 Bear Mountain Pkwy
Victoria, B. C. V9B 6T9
Tel: (250) 381-2257
Email: kenneth@explorersurvey.com
File: 11632



Kenneth Ng PICY1F
Digitally signed by Kenneth Ng PICY1F
DN: cn=Kenneth Ng PICY1F, o=BC Land Surveyor, ou=Verify ID at www.juricert.com/LKUP.cfm? id=PICY1F Date: 2018.12.10 10:04:17 -08'00'

Kenneth Ng, BCLS
Field Survey - 28 November, 2018.
Dated this 3rd of December, 2018.

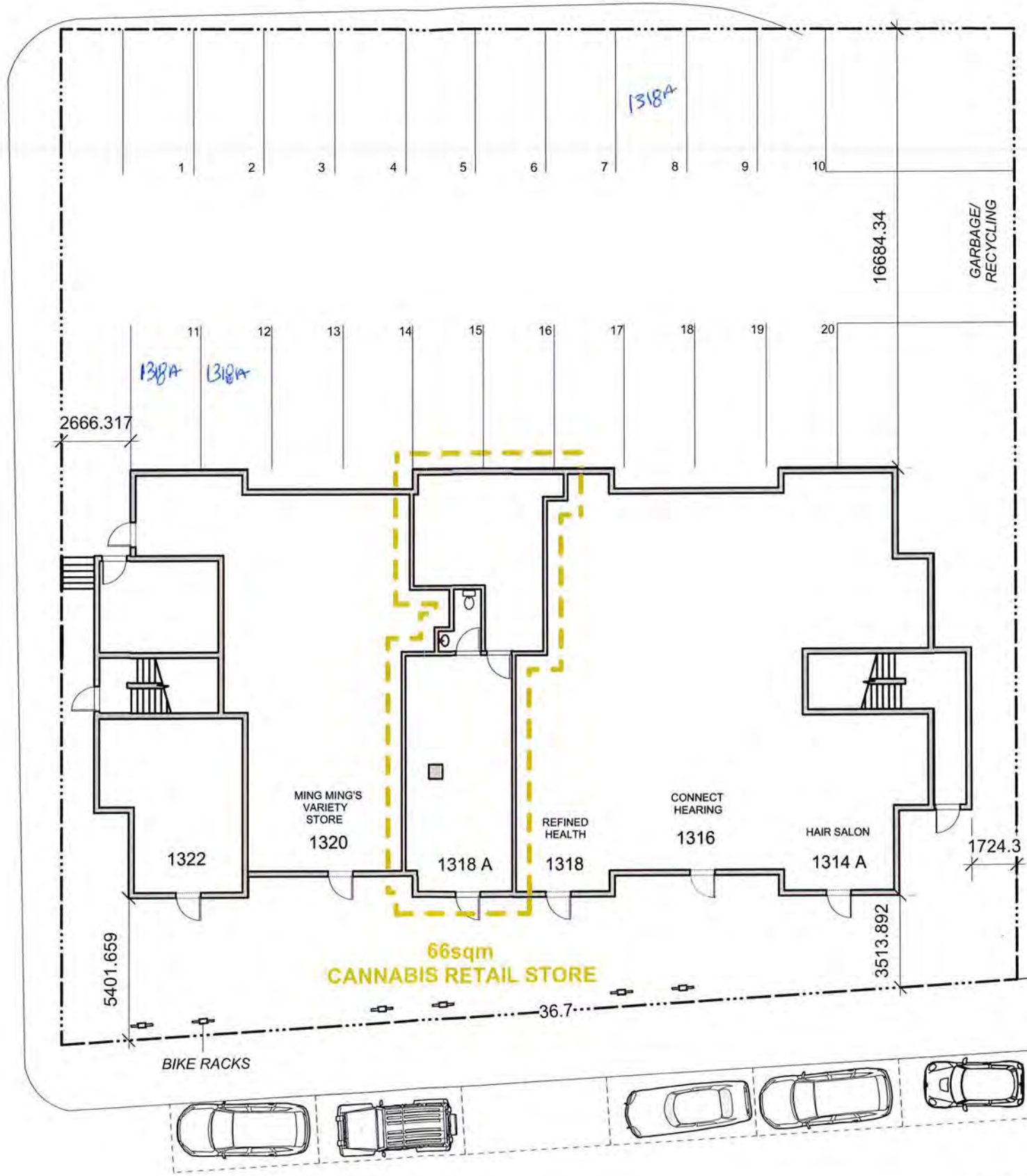
This document is not valid unless originally signed and sealed or digitally signed with Juricert digital signature. Info: <https://www.juricert.com>

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The signatory accepts no responsibility or liability for any damages that may be suffered by a third party as a result of any decisions made, or action taken based on this document.

| PROJECT INFORMATION TABLE | | |
|--|--|--------------------------|
| Zone (Existing) | C-3 | Site Area (sq.m) 1,360 |
| Retail Sales, Floor Area (sq.m) | Proposed Cannabis Retail | 66.3 |
| Business/Professional, Floor Area, (sq.m) | Refined Health, Connect Hearing, Salon | 223 |
| Convenience Store, Floor Area (sq.m) | Ming Ming's Variety Store | 115.3 |
| Residential (Apartment units) | | 12 |
| Parking Stalls, Retail (Required) | | 3 |
| Parking Stalls, Business/Professional (Required) | | 7 |
| Parking Stalls, Convenience Store (Required) | | 3 |
| Total Parking Stalls Required | | 29 |
| Total Paring Stalls Provided | | 20 |

| PARKING REQUIREMENT (Schd C) | |
|--|--|
| Building Class- C-3 Core Commercial | |
| Number of Parking Spaces for Retail Sales 1 space per 25m2 of floor area Unit Area: 66.3 m2 floor area/25m2: 2.6 Required Parking Spaces: 3 | |
| Number of Parking Spaces for Business/Professional 1 space per 30m2 of floor area Unit Area: 223m2 floor area/30m2: 7.4 Required Parking Spaces: 7 | |
| Number of Parking Spaces for Convenience Store 1 space per 35m2 of floor area Unit Area: 115.3m2 floor area/35m2: 3.3 Required Parking Spaces: 3 | |
| Number of Parking Spaces for Residential 1.3 spaces per dwelling unit Unit Area: 12 units/1.3: 15.6 Required Parking Spaces: 15 | |



KEY PLAN

MISTY MOUNTAIN CANNABIS INC

1318 A Esquimalt

DATE:
09/24/2018
SCALE:
AS SHOWN
DRAWN:
PROJECT NO.



SITE PLAN Scale: 1:200



A02

ESQUIMALT ROAD

Misty Mountain Cannabis
1318A Esquimalt Road Rezoning - Parking



Attention: Tricia DeMacedo

June 6, 2019

Dear Tricia,

As requested, please find redrawn site plans for Misty Mountain's proposed retail cannabis store rezoning at 1318A Esquimalt Road. Per the site drawings, there are 20 designated parking spots for the building. According to the bylaws, rezoning for the site - including residential and business - requires a total of 29 designated spots. We are asking for a variance from the parking bylaws of 9 parking stalls initially, and the opportunity to work with the landlord, Penny Peng, to reduce the fenced off section of the lot, near the "garbage/recycling," to gain four additional spots. Ms. Peng has been extremely supportive of Misty Mountain's bid to operate a cannabis store at the site.

There are several reasons that this variance request is reasonable and won't negatively affect the parking situation in the immediate area.

1. There are 12 residential suites in the building, requiring 16 parking spots according to the parking bylaws. However, currently there are only three residents in the building with a motor vehicle. This leaves 13 extra spaces in the lot.
2. As suggested, Misty Mountain has taken note of the conditions of the lot when visiting the site. The lot generally has 10 open spots available day and night.
3. According to the owner/operator of next door business, Talia's Market, the parking lot is never full.
4. The vast majority of the market's customers, and those inquiring daily in anticipation of the opening of the cannabis store, are immediate neighbors who walk.
5. It is anticipated that Misty Mountain's customers will spend approximately 10 minutes at the site.
6. Misty Mountain (1318A) has been allocated spaces 8, 11, and 12 marked on the site plan, satisfying the requirement of three spots designated for the store.

7. These spots are in addition to ample street parking:
 - There are 6 one hour (9am to 5pm) parking spots directly in front of the building on the northside of Esquimalt Road.
 - There are 9 one hour parking spots (9am to 5pm) on the southside of Esquimalt Road, directly across the street from the building.
 - There are 5 unlimited parking spots on the westside of Constance Avenue, north of Esquimalt Road.
8. Misty Mountain Cannabis proposes to install 6 bike racks in the front of the building: two at 1316, two at 1318, two at 1322. The racks would be the same or similar to the ones located on the corner of Grenville and Esquimalt Road (photo below). These racks could accommodate a total of 12 bikes and help to alleviate parking congestion in the neighbourhood. There are proposed locations for the racks on the new plans. If there is a better location for them, we would be willing to place them where it is appropriate.
9. Misty Mountain proposes to make a community contribution of \$7500 to the Township that could be directed to building additional bike racks along Esquimalt Road or for other community defined projects.
10. Bike racks are proposed because there is now a designated bike route along Esquimalt Road increasing cycling traffic through the entire Township. Racks are quick to install and an economically feasible way to alleviate some parking issues. Moreover, we note that there is one bike rack in the seven blocks between Fraser and Foster Streets on the southside of Esquimalt Road (located off of Park Place). There are two Township bike racks on the northside of Esquimalt Road in those same seven blocks (located on the corner of Grenville Avenue). In addition to these two racks at Grenville, two businesses on the northside of the road have small racks: Red Barn Market and Town Pantry. We have heard that there is a clear need for bike parking in the area, including Memorial Park and up to Esquimalt Plaza.

In the course of community outreach to other businesses for the preparation of this letter, we heard about the parking stresses that some of them experience, especially those east of us, towards Memorial Park. Our desire is to be excellent neighbours and contributors to the community. We will work with the demands of the Township, support other businesses and their needs, and be friendly neighbours to the community. We thank you for considering this variance and we pledge to work with the Township to address parking needs in the community.

Sincerely,
Marc Pinkoski,
On behalf of Misty Mountain Cannabis

Appendix H

Example of Edda Creative Cannabis Storefront Design









RECEIVED
JUN 07 2019
CORP. OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICES