



**CORPORATION OF THE TOWNSHIP OF ESQUIMALT**

**ADVISORY PLANNING COMMISSION  
AGENDA  
TUESDAY MAY 16, 2017  
7:00 P.M.  
ESQUIMALT COUNCIL CHAMBERS**

**MEMBERS:** Nick Kovacs                      David Schinbein  
Lorne Argyle                              Christina Hamer  
Berdine Jonker                          Graeme Dempster  
Amy Higginbotham

**COUNCIL LIAISON:** Councillor Beth Burton-Krahn  
Councillor Olga Liberchuk

**STAFF LIAISON:** Trevor Parkes, Senior Planner

**SECRETARY:** Pearl Barnard

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- I.     **CALL TO ORDER**
- II.    **LATE ITEMS**
- III.   **ADOPTION OF AGENDA**
- IV.    **ADOPTION OF MINUTES – February 21, 2017**
- V.     **STAFF REPORTS**

- 1) **DEVELOPMENT VARIANCE PERMIT**  
398 Constance Avenue  
PID 009-337-288, Lot 6, Suburban Lot 51, Esquimalt District, Plan 61A

**Purpose of the Application:**

The property owners are proposing to repair the existing deck which is deteriorating. The deck was built by a previous owner, without a permit, and located partially on the neighbour's property. The owners are proposing to remove the sections of deck that are currently on the neighbour's property. Due to the topography of the site, moving the deck any further from the property line would prove difficult and require removal of the stairs that access the backyard. Therefore, a variance is being requested. A development variance permit is required before a building permit could be issued for the repairs to the deck.

**RECOMMENDATION:**

The Advisory Planning Commission recommends to Council that the application for a Development Variance Permit authorizing the construction as shown on plans prepared by MTG Drafting, stamped "Received April 27, 2017", and sited as detailed on the survey plans prepared by Kenneth Ng, BCLS stamped "Received April 27, 2017 and including the following relaxations to Zoning Bylaw, 1992, No. 2050, for the development located at PID 009-337-288, Lot 6, Suburban Lot 51, Esquimalt District, Plan 61A [398 Constance Avenue], be forwarded to Council with a recommendation **to either approve, or deny the application; and include reasons for the recommendation.** Zoning Bylaw, 1992, No. 2050, Section 36. (9)(a)(ii) – **Siting Requirements** –

**Principal Building** - A 2.9 metre decrease to the requirement that no principal building shall be located within 3.0 metres of an Interior Side Lot Line, specifically for the deck located at the rear of the principal building. [ie. from 3.0 metres to 0.1 metres]

- 2) Development Permit and Development Variance Permit**  
**1151 Colville Road**  
**PID 006-327-800**  
**Lot 10, Block 17, Section 10, Esquimalt District, Plan 2546**

**Purpose of the Application:**

The applicant is proposing to remove the existing dwelling and construct side by side strata titled Two Family Residential dwelling on the subject property. The property is currently zoned Two Family/ Single Family Residential [RD-3] [attached]. This two-unit dwelling is subject to Development Permit Area No. 5 – Enhanced Design Control Residential; therefore a Development Permit is required before a Building Permit can be issued.

**RECOMMENDATION:**

The Advisory Planning Commission recommends to Council that the application for a Development Variance Permit and a Development Permit limiting the form and character of the development, and authorizing the construction as shown on architectural plans prepared by Virtual Home Design stamped "Received January 31, 2017", and sited as detailed on the survey plans prepared by Explorer Surveying Inc., stamped "Received January 31, 2017", and including the following variance for the development located at 1151 Colville Road [PID 006-327-800] and legally described as Lot 10, Block 17, Section 10, Esquimalt District, Plan 2546, be forwarded to Council with a recommendation to **either approve, approve with conditions, or deny the application; and provide reasons for the recommendation.**

**Zoning Bylaw, 1992, No. 2050, Section 40 (9) (a) (ii) Siting Requirements - Principal Building - Side Setback.** A 0.83 metre reduction to the requirement that, "In the case where a Parcel is not served by a rear lane, one (1) Side Yard shall not be less than 3 metres" from 3.0 metres to 2.33 metres.

- 3) Interim Amendments To Zoning Bylaw 1992, No. 2050**

**Purpose of the Application:**

This interim amendment bylaw is intended to provide clarification for Council, staff, residents and developers for Esquimalt's Zoning Bylaw 1992, No. 2050; and addresses issues that have arisen since the last amendments to the Zoning Bylaw.

**RECOMMENDATION:**

That the Advisory Planning Commission [APC] consider the included zoning amendments [Appendix 'A'] to Zoning Bylaw 1992, No. 2050, provides comments on the proposed changes to the regulations; and **make a recommendation to either approve, or deny the changes; with reasons for the recommendation.**

**VI. PLANNER'S STATUS REPORT**

**VII. COUNCIL LIAISON**

**VIII. INPUT FROM APC TO STAFF**

**IX. NEXT REGULAR MEETING**

Tuesday, June 20, 2017

**X. ADJOURNMENT**



**CORPORATION OF THE TOWNSHIP OF ESQUIMALT**  
**ADVISORY PLANNING COMMISSION MEETING MINUTES**  
**HELD ON**  
**TUESDAY, FEBRUARY 21, 2017**  
**ESQUIMALT COUNCIL CHAMBERS**

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**MEMBERS PRESENT:** David Schinbein (CHAIR)      Lorne Argyle  
Christina Hamer                                      Amy Higginbotham  
Graeme Dempster                                    Nick Kovacs

**REGRETS:**    Berdine Jonker

**STAFF LIAISON:**                                    Trevor Parkes, Senior Planner

**STAFF:**    Karen Hay, Planner

**COUNCIL LIAISON:**                                Councillor Beth Burton-Krahn  
Councillor Olga Liberchuk

**SECRETARY:**                                        Pearl Barnard

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**I. CALL TO ORDER**

The Chair called the meeting to order at 7:00 p.m.

**II. LATE ITEMS**

No late items

**III. ADOPTION OF AGENDA**

Moved by Lorne Argyle seconded by Nick Kovacs that the agenda be adopted as circulated. The Motion **CARRIED UNANIMOUSLY**.

**IV. ADOPTION OF MINUTES – January 17, 2017**

Moved by Lorne Argyle seconded by Amy Higginbotham that the minutes of the Advisory Planning Commission held January 17, 2017 be adopted as circulated. The Motion **CARRIED UNANIMOUSLY**.

**V. BUSINESS FROM MINUTES**

There was no outstanding business from the Minutes.

**VI. STAFF REPORTS**

- 1) **DEVELOPMENT PERMIT**  
**1122 Craigflower Road**  
**[PID 003-329-127, Lot a, Section 11, Esquimalt District, Plan 22176]**

Karen Hay outlined that the applicant is seeking a Development Permit for the proposed single family infill home. Ms. Hay explained that the property was rezoned in 2010 and at that time a Development Permit was issued, but has since expired.

Chase Robertson, Owner / Applicant and Barbara Robertson were in attendance



Chase Robertson outlined that no changes had been made since the previous application.

**APC Questions and Comments:**

- A member inquired about item #38 (solar ready) on the Green Building Checklist and asked the applicant if the home would be solar ready. Mr. Chase advised that the plans submitted for the Development Permit Application are preliminary plans only, and that construction plans are being prepared.
- A member asked if the proposed dwelling would be higher than the house that is located to the north. Mr. Chase advised that it would not.

**RECOMMENDATION:**

Moved by Nick Kovacs, seconded by Graeme Dempster: That the Esquimalt Advisory Planning Commission [APC] provide Council with comments on the form and character of the new home and landscaping proposed for 1122 Craigflower Road; as illustrated in the architectural drawings prepared by Banks Design, the landscaping plan prepared by Koi Dragon Enterprises Ltd., and sited as shown on the site plan prepared by Wey Mayenburg Land Surveying Inc., all stamped "Received February 3, 2017"; be forwarded to Council **with a recommendation of approval as the development complements the character of the neighbourhood. The Motion Carried Unanimously.**

**2) DEVELOPMENT VARIANCE PERMIT**

**1036 Munro Street**

**[PID 017-444-837, Lot A, Section 11, Esquimalt District Plan VIP52814]**

Karen Hay outlined that the property owner had started construction of an accessory building [shed] on the property without contacting the municipality to determine the correct siting for an accessory building. Ms. Hay then explained that the construction does not require a building permit as the building is not over 10.0 square metres in area, but the building does need to be sited appropriately. As the owner wishes to keep the building where it is currently located he is requesting the two siting variances.

Andrew Paine, Applicant was in attendance

Andrew Paine presented the application. Mr. Paine started by apologizing for not doing his proper due diligence with the siting of the shed. He explained that they had lost some items to theft in the past and realized that they needed secure outdoor storage. He then gave an overview of the proposed design, material and chosen location for the shed.

Chair thanked the applicant for the presentation.

**APC Questions and Comments:**

- A member asked staff, if the shed was freestanding [not secured to a foundation], would a variance still be required? Ms. Hay advised that any accessory building that is not sited according to regulations would require a variance.
- A member asked whether the existing accessory building could accommodate the extra storage that is required. Mr. Paine advised it could not; as it is being used as livable space by my parents who are the other owners of the property, when they come to visit.
- A concern was raised that the proposed shed would have a visible impact on the neighbourhood.
- A member thought the variances were reasonable. The separation between the two buildings seems appropriate and with the wide boulevard on the other side of the fence, no sight lines would be obstructed.

- A member expressed a concern with the height of the shed. To improve the look from the side, the member thought the shed should be lower and parallel to the dormer roof. Mr. Parkes clarified that the building design satisfies the minimum requirements for the allowable height for an accessory building.

**RECOMMENDATION:**

Moved by Graeme Dempster, seconded by Nick Kovacs: That the Esquimalt Advisory Planning Commission recommends to Council that the application for a Development Variance Permit authorizing the construction of an accessory building as shown on the plans stamped "Received January 31, 2017", and sited as detailed on the survey plans prepared by Powell and Associates, BCLS stamped "Received January 31, 2017 and including the following relaxations to Zoning Bylaw, 1992, No. 2050, for the development located at PID 017-444-837, Lot A, Section 11, Esquimalt District Plan VIP52814 [1036 Munro Street], be forwarded to Council **with a recommendation of approval; as the variances requested are reasonable and sight lines are not obstructed.**

**Zoning Bylaw, 1992, No. 2050, Section 34(9)(b)(ii) – Side Setback:** a 2.98 metre reduction to the required 3.6 metre side setback from an exterior side lot line [i.e. from 3.6 metres to 0.62 metres];

**Zoning Bylaw, 1992, No. 2050, Section 34(9)(b)(iv) – Building Separation:** a 1.1 metre reduction to the required 2.5 metre separation between a principal building and an accessory building [i.e. from 2.5 metres to 1.4 metres].

**The Motion Carried** (2 opposed, Amy Higginbotham and Lorne Argyle)

**3) REZONING APPLICATION**

**460 Head Street**

**"Marinaview"**

**460 Head Street [Lot 10, Block H, Section 11, Esquimalt District, Plan 292]**

**464 Head Street [Lot 9, Block H, Section 11, Esquimalt District, Plan 292]**

Trevor Parkes outlined that the applicant is requesting a change in zoning from the current mix of RS-1 [Single Family] and C-7 [West Bay Commercial] zoning to a Comprehensive Development zone [CD], to facilitate the consolidation of the two subject properties and authorize a new five storey, commercial/ residential mixed use building containing 3 ground floor commercial space and 12 residential units. Underground parking would be provided with the access off Gore Street through the underground parkade for the West Bay Triangle Development.

Mark Lindholm, Owner/Applicant, Peter Hardcastle, Hillel Architecture, Karen Hillel, Hillel Architecture and Max Tomaszewski, Consultant were in attendance.

Peter Hardcastle presented the application. Mr. Hardcastle outlined that the proposed development, stating that it is a companion project to the West Bay Triangle Development. He then outlined the history of the project and gave an overview of the proposed site plan, building design and materials and parking for the project.

Chair thanked the applicant for the presentation.

**APC Questions and Comments:**

- Members were positive about the project and had the following comments: like the design, glad to see the additional commercial space in that area and the development is going to be a wonderful addition to the neighbourhood.

- A member asked staff if the ground floor commercial space could potentially be converted to residential in the future. Mr. Parkes advised that it could be written into the zone that a minimum amount of ground floor commercial space is required thereby ensuring space is not converted to residential use.
- A member asked if the underground parking was open to the public. Mr. Hardcastle advised that a pass card would be required.
- What is the proposed construction schedule for the West Bay Triangle and MarinaView developments? Mr. Hardcastle advised that both projects will start as soon as approval is in place.
- Members suggested the applicant consider enclosing the porte cochere and adding additional commercial space. Members commented that the enclosure would improve safety along Head Street, add additional commercial space and allow for increased on-street parking in front of the building. Members agreed that if the porte cochere is enclosed, the APC members support that no additional on-site parking would be required.

#### RECOMMENDATION:

Moved by Amy Higginbotham, seconded by Lorne Argyle: That the Esquimalt Advisory Planning Commission recommends that the application for rezoning to facilitate consolidation of two properties located between Head Street and Lyall Street to permit a new five storey, commercial/ residential mixed use building containing ground floor commercial space oriented toward Head Street and 12 residential units, and incorporating siting, height and massing consistent with architectural plans prepared by Hillel Architecture, stamped "Received January 18, 2017" **be forwarded to Council with a recommendation for approval with the condition that the applicant consider the enclosure of the porte cochere to add commercial space, noting that such an enclosure is supported by the APC without the provision of any additional on-site parking.**

The reason: The proposal is generally consistent with the West Bay Neighbourhood Design Guidelines and the Official Community Plan Land Designation. The removal of the porte-cochere will allow for additional desirable commercial space, improve safety along Head Street and will also allow increased on street parking in front of building.

**The Motion Carried Unanimously**

#### VII. STAFF LIAISON

**910 McNaughton Ave:** [RZN to allow two small lots] Applicant provided confirmation the S.219 covenant had been registered. Staff presented the amendment bylaw to Council at the regular meeting of Council held on January 9, 2017, when Council adopted the bylaw.

**455 Nelson Street:** [RZN to allow two small lots] Applicant has executed the S.219 and staff await provision of confirmation of registration at LTSA, as well as the provision of an updated BCLS site plan confirming the encroachment into the municipal right of way has been addressed. Upon receipt of this information, staff will return the amendment bylaw to Council for consideration of adoption.

**468 Head Street "West Bay Triangle":** [Rezoning for 6 Storey, 73 unit commercial mixed use] Applicant has executed the S.219 covenants on the lands as well as 464 Head Street. Staff awaits provision of confirmation of registration at LTSA. Upon receipt of this information, staff will return the amendment bylaw to Council for consideration of adoption. Staff are also processing the associated Development Permit scheduled for presentation to the DRC on March 8<sup>th</sup>.

**910 Yarrow Road:** [DP & DVP to reduce the required Front Setback and Side Setback for a single family dwelling located on the Gorge Waterway]. APC recommended approval to Council on January 17, 2017. Council will consider the application on at the regular meeting to be held on February 27, 2017.

**337 Victoria View Road:** [RZN to allow the Core Area Sewage Treatment Plant] APC recommended approval to Council on January 17, 2017. Amendment bylaw was presented at a public hearing on February 20, 2017 and upon consideration of feedback heard prior to the hearing and at the hearing Esquimalt Council adopted the amendment bylaw.

**101 Island Highway:** [RZN to allow changes to the permitted uses on the site to include multiple family residential use to enable the conversion of the existing motel to 96 rental units] APC recommended approval to Council on December 20, 2017. Staff required the provision of a new BCLS Site Plan and subsequently updated drawings. Now that these documents are received staff are crafting the required amendment bylaw.

Staff are continuing to work on the Official Community Plan and the Esquimalt Road Urban Design Guidelines.

The Esquimalt Town Square Project is moving forward. In the near future, the blue building will be demolished and the generator and electric car charging station will be moved.

The Esquimalt Adventure Park is expected to open on July 1, 2017.

#### VIII. COUNCIL LIAISON

- Councillor Burton-Krahn advised that on February 20, 2017 Council approved the Zoning Bylaw Amendment for the Core Area Wastewater Treatment Plant. A member commented that the traffic management plan did not include Admirals Road. Council Burton-Krahn advised that the final routes are still to be being determined.
- Councillor Liberchuk advised that at the Committee of the Whole Meeting held on February 20, 2017, there was a discussion regarding the future of Hither Green Park.
- Councillor Liberchuk also advised there is an upcoming Housing Forum and she encouraged all APC members to attend.

#### IX. INPUT FROM APC TO STAFF

The Chair commented that the bolded preamble contained within the Staff Report is very helpful in framing consideration of each application.

#### X. NEW BUSINESS

#### XI. NEXT REGULAR MEETING

Tuesday, March 21, 2017

#### XII. ADJOURNMENT

On motion the meeting adjourned at 8:55 P.M.

CERTIFIED CORRECT:



# CORPORATION OF THE TOWNSHIP OF ESQUIMALT

Municipal Hall, 1229 Esquimalt Road, Esquimalt, B.C. V9A 3P1  
Telephone (250) 414-7100 Fax (250) 414-7111

APC Meeting: May 16, 2017

## STAFF REPORT

**DATE:** May 10, 2017  
**TO:** Chair and Members of the Advisory Planning Commission  
**FROM:** Karen Hay, Planner  
**SUBJECT:** **DEVELOPMENT VARIANCE PERMIT**  
**398 Constance Avenue**  
PID 009-337-288, Lot 6, Suburban Lot 51, Esquimalt District, Plan 61A

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### RECOMMENDATION:

The Advisory Planning Commission recommends to Council that the application for a Development Variance Permit authorizing the construction as shown on plans prepared by MTG Drafting, stamped "Received April 27, 2017", and sited as detailed on the survey plans prepared by Kenneth Ng, BCLS stamped "Received April 27, 2017 and including the following relaxations to Zoning Bylaw, 1992, No. 2050, for the development located at PID 009-337-288, Lot 6, Suburban Lot 51, Esquimalt District, Plan 61A [398 Constance Avenue], be forwarded to Council with a recommendation **to either approve, or deny the application; and include reasons for the recommendation.**

**Zoning Bylaw, 1992, No. 2050, Section 36. (9)(a)(ii) – Siting Requirements – Principal Building** - A 2.9 metre decrease to the requirement that no principal building shall be located within 3.0 metres of an Interior Side Lot Line, specifically for the deck located at the rear of the principal building. [ie. from 3.0 metres to 0.1 metres]

### BACKGROUND:

#### Purpose of the Application

The property owners are proposing to repair the existing deck which is deteriorating. The deck was built by a previous owner, without a permit, and located partially on the neighbour's property. The owners are proposing to remove the sections of deck that are currently on the neighbour's property. Due to the topography of the site, moving the deck any further from the property line would prove difficult and require removal of the stairs that access the backyard. Therefore, a variance is being requested. A development variance permit is required before a building permit could be issued for the repairs to the deck.

#### Context

**Applicant / Owner:** Attila and Jennifer Meszaros

**Property Size:** Metric: 501 m<sup>2</sup> Imperial: 5393 ft<sup>2</sup>

**Existing Land Use:** Single Family Residential

**Surrounding Land Uses:**

**North:** Single Family Residential  
**South:** Single Family Residential  
**East:** Single Family Residential  
**West:** Single Family Residential

**Existing Zoning:** Single Family Waterfront Residential [RS-3] [No change required]

**Zoning**

The siting requirements for principal buildings in the Single Family Residential zones are at least 3.0 metres from an interior side lot line on one side of the property and at least 1.5 metres on the other (if the property is not serviced by a lane). The house meets the 1.5 metre requirement on the south side of the property, but has no setback along the north lot line, and actually encroaches into the neighbouring property. There is an existing encroachment agreement for the corner of the house but not for the existing deck. The applicant has developed a plan so the deck is now located 0.13 metres from the northern interior lot line.

**Public Notification**

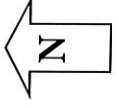
As this is a development variance permit application, should it proceed to Council, a notice will be mailed to tenants and owners of properties within 50 metres (164 feet) of the subject property.

**ALTERNATIVES:**

1. Forward the application for a Development Variance Permit to Council with a **recommendation of approval; with reasons.**
2. Forward the application for a Development Variance Permit to Council with a **recommendation of denial; with reasons.**



398 Constance Avenue





36. **SINGLE FAMILY WATERFRONT RESIDENTIAL [RS-3]**

The intent of this Zone is to accommodate Single Family Dwellings on properties that abut the Sea.

(1) **Permitted Uses**

The following Uses and no others are permitted:

- (a) Single Family Residential
- (b) Home Occupation
- (c) Secondary Suite: subject to the requirements of Section 30.6
- (d) Boarding: subject to the requirements of Section 30.3
- (e) Urban Hens: subject to the requirements of Section 30.4 of this bylaw.

(2) **Parcel Size**

The minimum Parcel Size for Parcels created by subdivision shall be 530 square metres.

(3) **Minimum Lot Width**

The minimum width of a Parcel created by subdivision shall be 16 metres, measured at the Front Building line.

(4) **Floor Area Ratio**

The Floor Area Ratio shall not exceed 0.35.

(5) **Floor Area**

The minimum Floor Area for the First Storey of a Principal Building shall be 88 square metres.

(6) **Building Height**

- (a) No Principal Building shall exceed a Height of 7.3 metres
- (b) No Accessory Building shall exceed a Height of 3.6 metres

(7) **Building Width**

The minimum width for any Single Family Dwelling shall be 7 metres.

(8) **Lot Coverage**

- (a) All Principal Buildings, Accessory Buildings and Structures combined shall not cover more than 30% of the Area of a Parcel.
- (b) All Accessory Buildings and Structures combined shall not exceed 10% of the Area of a Parcel.



(9) **Siting Requirements**

(a) **Principal Building**

- (i) **Front Setback:** No Principal Building shall be located within 7.5 metres of the Front Lot Line.
- (ii) **Side Setback:** No Principal Building shall be located within 1.5 metres of an Interior Side Lot Line, with the total Setback of all Side Yards not to be less than 4.5 metres. In the case where a Parcel is not served by a rear lane, one (1) Side Yard shall not be less than 3 metres. In the case of a Corner Lot, no Principal Building shall be located within 3.6 metres of an Exterior Side Lot Line.
- (iii) **Rear Setback:** No Principal Building shall be located within 7.5 metres of a Rear Lot Line.
- (iv) **Waterfront Setback:** No Principal Building shall be located within 7.5 metres of the High Water Mark. The Setback shall follow a line drawn parallel to the indentations and sinuosities of the High Water Mark.

(b) **Accessory Building**

- (i) **Front Setback:** No Accessory Building shall be located in front of the front face of the Principal Building.
- (ii) **Side Setback:** No Accessory Building shall be located within 1.5 metres of an Interior Side Lot Line nor 3.6 metres of an Exterior Side Lot Line.
- (iii) **Rear Setback:** No Accessory Building shall be located within 1.5 metres of a Rear Lot Line.
- (iv) **Waterfront Setback:** No Accessory Building shall be located within 4.5 metres of the High Water Mark. The Setback shall follow a line drawn parallel to the indentations and sinuosities of the High Water Mark.
- (v) **Building Separation:** No Accessory Building shall be located within 2.5 metres of a Principal Building.

(10) **Fencing**

Subject to Section 22, no fence shall exceed a Height of 2 metres except that the Height of a Fence within 7.5 metres of a Highway adjoining the front yard shall not exceed 1.2 metres.

(11) **Off Street Parking**

Off street parking shall be provided in accordance with the requirements of Parking Bylaw, 1992, No. 2011 (as amended).

**B.C. LAND SURVEYOR'S SITE PLAN OF:**  
**LOT 6, SUBURBAN LOT 51, ESQUIMALT**  
**DISTRICT, PLAN 61A**

**LEGEND**

Elevations are geodetic based on Integrated survey monument 87H3782 in the Municipality of Esquimalt at elevation 14.916m.  
 Note: Only trees with Trunk greater than 0.20m are identified. Consult Arborist to verify tree species

**SCALE:**



All distances are in metres.  
 The intended plot size of this plan is 432mm in width by 280mm in height (B size) when plotted at a scale of 1:200

**Parcel Identification Number (PID)**

009-337-288

**SITE AREA**

501+/- m<sup>2</sup>

**Municipality**

Esquimalt

**CIVIC ADDRESS**

398 CONSTANCE AVE,  
 VICTORIA, BC

**ZONING**

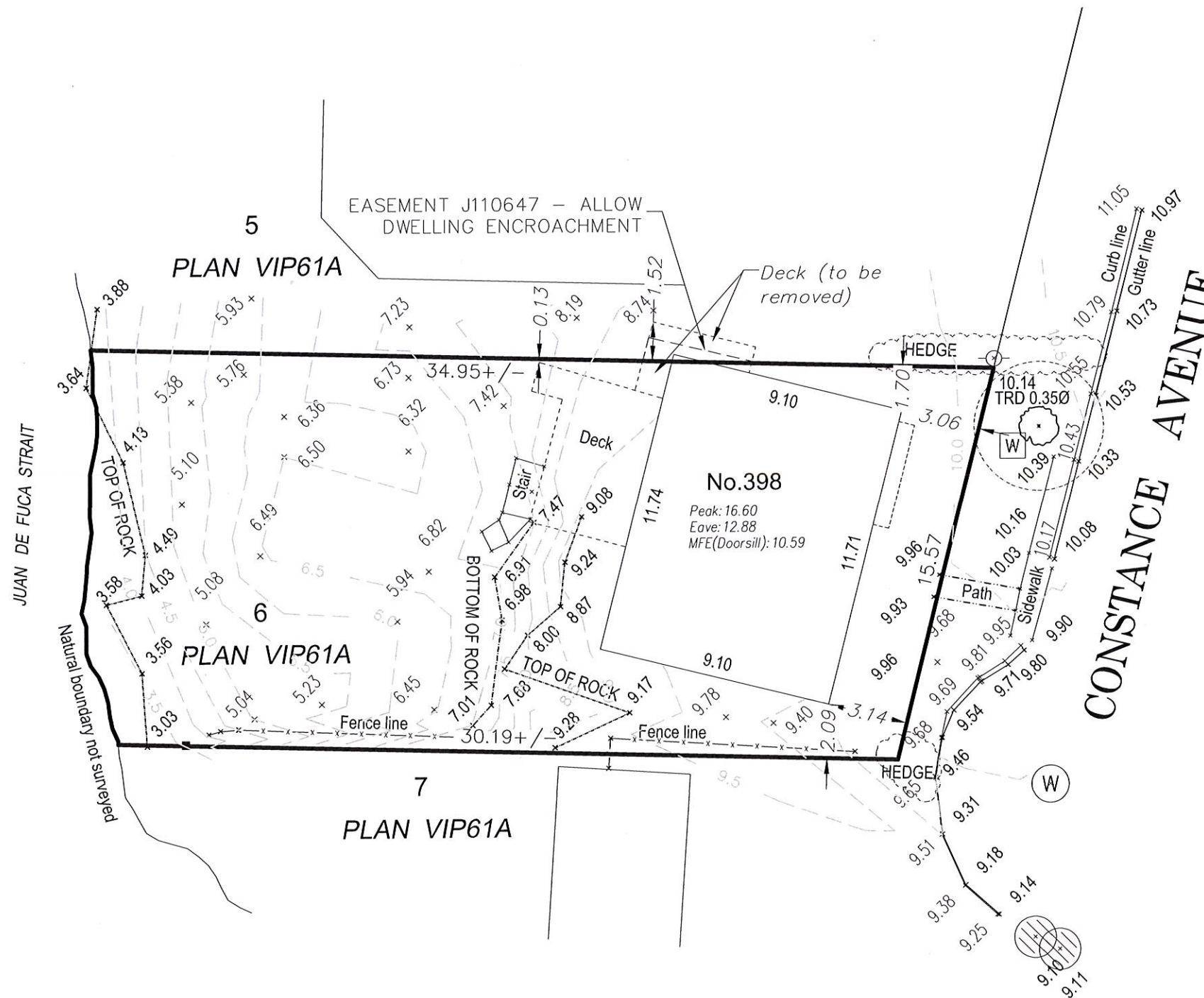
RS-3

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This document was prepared for the exclusive use of our client, **MESZAROS, ATTILA**

\*This document is intended for use as a topographic plan. It is based on Land Title Office records, and does not represent a boundary survey. Critical lot dimensions and areas must be confirmed by a proper cadastral survey.

Explorer Land Surveying INC., accepts no responsibility or liability for any damages that may be suffered by a third party as a result of any decisions made or actions taken based on this document.



- - denotes Lead plug
- TRD - denotes Deciduous Tree type
- TRC - denotes Coniferous Tree type
- (with diagonal lines) - denotes Lawn basin
- (with dot) - denotes power pole
- W (in square) - denotes Water meter
- W (in circle) - denotes Water manhole



**CERTIFIED CORRECT**

Lot dimensions are correct according to Land Title Office records.

**Kenneth Ng**  
 PICY1F

Digitally signed by Kenneth Ng PICY1F  
 DN: cn=Kenneth Ng, ou=BC Land Surveyor, ou=Verify ID at www.juricert.com/LKUP.cfm?id=PICY1F  
 Date: 2017.04.26 19:25:07 -0700

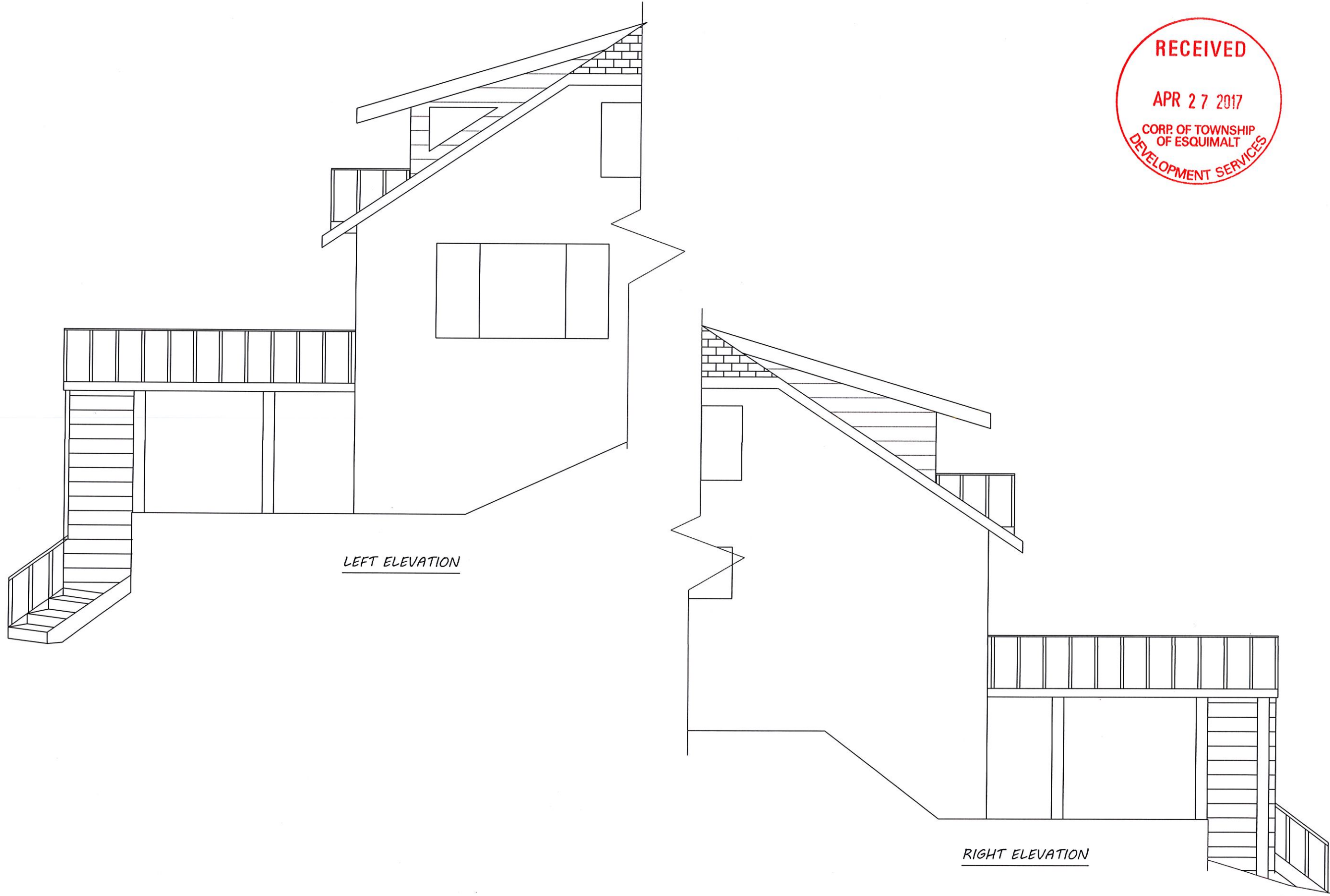
Kenneth KC Ng, BCLS  
 Field Survey - 2 March, 2017  
 Dated this 7th of March, 2017.

This document is not valid unless originally signed and sealed or digitally signed with Juricert digital signature.  
 Info: <https://www.juricert.com>

FILE: 11404  
 DWG/DATE: 11404-398Constance/2017-3-07

101 - 2610 Douglas Street  
 Victoria, B. C. V8T 4M1  
 Tel: (604) 355-8879  
 email: kenneth@explorersurvey.com





LEFT ELEVATION

RIGHT ELEVATION



TO THE BEST OF MY KNOWLEDGE THESE PLANS ARE DRAWN TO COMPLY WITH OWNER'S AND/OR BUILDER'S SPECIFICATIONS AND ANY CHANGES MADE ON THEM AFTER PRINTS ARE MADE WILL BE DONE AT THE OWNER'S AND/OR BUILDER'S EXPENSE AND RESPONSIBILITY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN ENCLOSED DRAWING. MTS DRAFTING IS NOT LIABLE FOR ERRORS ONCE CONSTRUCTION HAS BEGUN. WHILE EVERY EFFORT HAS BEEN MADE IN PREPARATION OF THIS PLAN TO AVOID MISTAKES, THE MAKER CAN NOT GUARANTEE AGAINST HUMAN ERROR. THE CONTRACTOR OF THE JOB MUST CHECK ALL DIMENSIONS AND OTHER DETAILS PRIOR TO CONSTRUCTION AND SOUGHT OUT ANY ENGINEERING SUPPORT DEEMED REQUIRED AND BE SOLELY RESPONSIBLE THEREAFTER.

FLOOR AREA'S (SQUARE FEET)

MAIN FLOOR = 1037.9 SQ-FT  
 2ND FLOOR = 642.79 SQ-FT  
 TOTAL = 1680.69 SQ-FT

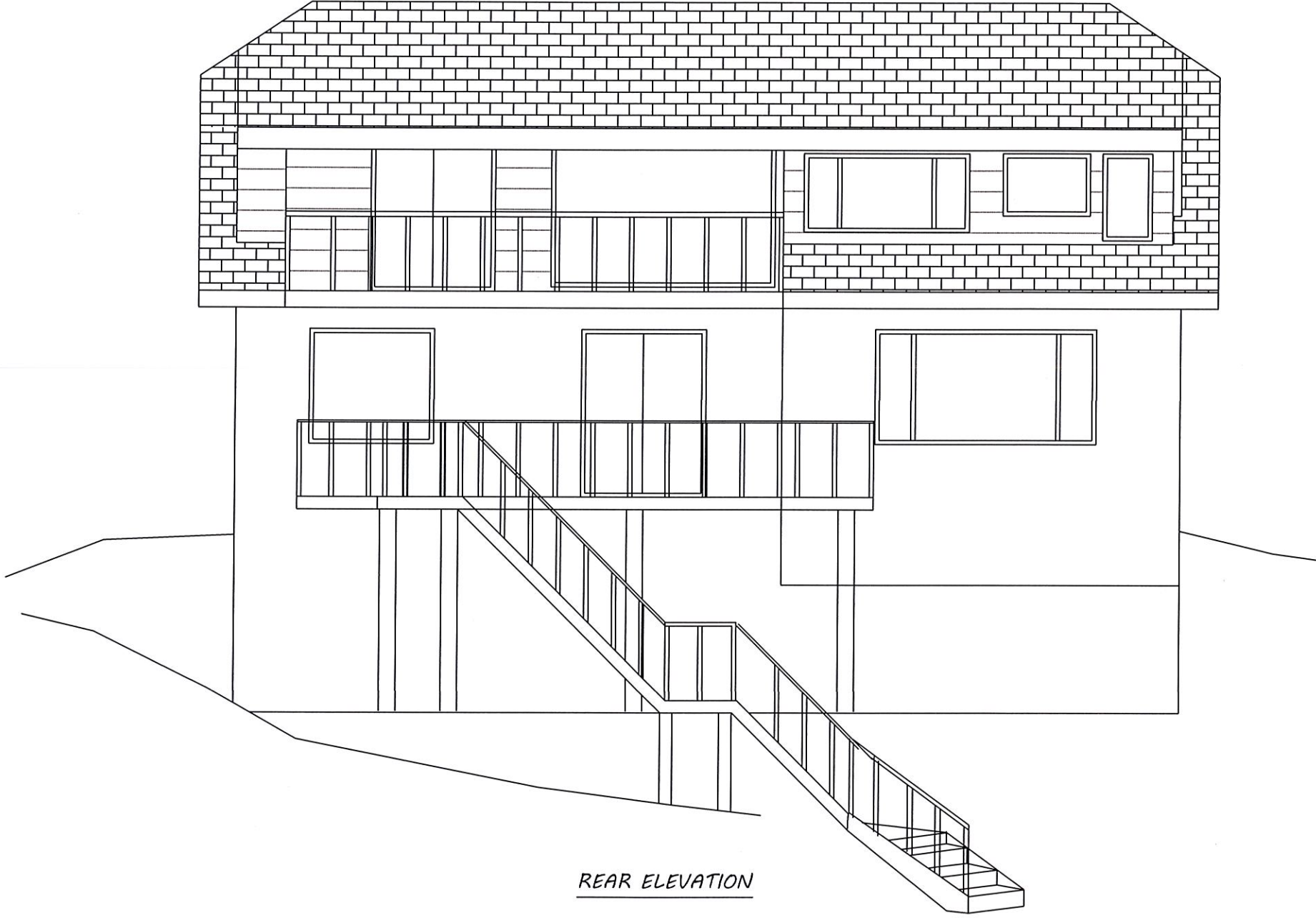
MAIN FLOOR  
 SCALE 3/16" = 1'-0" (11X17)  
 SCALE 3/8" = 1'-0" (D SIZE)  
 PAGE 2 OF 3

REVISION 0 Mar-23, 2017  
 ISSUED FOR APPROVAL  
 CIVIC ADDRESS: 398 CONSTANCE AVE  
 LOT: 6 PLAN: VIP61A



DRAWING  
 TITLE:  
 DECK LAYOUT - REAR ELEVATION

PROJECT  
**ATTILA**



REAR ELEVATION

TO THE BEST OF MY KNOWLEDGE THESE PLANS ARE DRAWN TO COMPLY WITH OWNER'S AND/OR BUILDER'S SPECIFICATIONS AND ANY CHANGES MADE ON THEM AFTER PRINTS ARE MADE WILL BE DONE AT THE OWNER'S AND/OR BUILDER'S EXPENSE AND RESPONSIBILITY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN ENCLOSED DRAWING. MITG DRAFTING IS NOT LIABLE FOR ERRORS SINCE CONSTRUCTION HAS BEGUN. WHILE EVERY EFFORT HAS BEEN MADE IN PREPARATION OF THIS PLAN TO AVOID MISTAKES, THE MAKER CAN NOT GUARANTEE AGAINST HUMAN ERROR. THE CONTRACTOR OF THE JOB MUST CHECK ALL DIMENSIONS AND OTHER DETAILS PRIOR TO CONSTRUCTION AND SOUGHT OUT ANY ENGINEERING SUPPORT DEEMED REQUIRED, AND BE SOLELY RESPONSIBLE THEREAFTER.

FLOOR AREA'S (SQUARE FEET)

MAIN FLOOR = 1037.9 SQ-FT  
 2ND FLOOR = 642.79 SQ-FT  
 TOTAL = 1680.69 SQ-FT

REVISION 0 Mar-23, 2017  
 ISSUED FOR APPROVAL  
 CIVIC ADDRESS: 398 CONSTANCE AVE  
 LOT: 6 PLAN: V1P61A

MAIN FLOOR  
 SCALE 3/16" = 1'-0" (T1X17)  
 SCALE 3/8" = 1'-0" (D SIZE)  
 PAGE 2 OF 3

DRAWING TITLE:  
 DECK LAYOUT - REAR ELEVATION

PROJECT  
 ATTLILA





# CORPORATION OF THE TOWNSHIP OF ESQUIMALT

Municipal Hall, 1229 Esquimalt Road, Esquimalt, B.C. V9A 3P1  
Telephone (250) 414-7100 Fax (250) 414-7111

APC Meeting: May 16, 2017

## STAFF REPORT

**DATE:** May 12, 2015  
**TO:** Chair and Members of the Advisory Planning Commission  
**FROM:** Bill Brown, Director of Development Services  
**SUBJECT:** Development Permit and Development Variance Permit  
1151 Colville Road  
PID 006-327-800  
Lot 10, Block 17, Section 10, Esquimalt District, Plan 2546

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### RECOMMENDATION:

The Advisory Planning Commission recommends to Council that the application for a Development Variance Permit and a Development Permit limiting the form and character of the development, and authorizing the construction as shown on architectural plans prepared by Virtual Home Design stamped "Received January 31, 2017", and sited as detailed on the survey plans prepared by Explorer Surveying Inc. , stamped "Received January 31, 2017", and including the following variance for the development located at 1151 Colville Road [PID 006-327-800] and legally described as Lot 10, Block 17, Section 10, Esquimalt District, Plan 2546, be forwarded to Council with a recommendation **to either approve, approve with conditions, or deny the application; and provide reasons for the recommendation**

**Zoning Bylaw, 1992, No. 2050, Section 40 (9) (a) (ii) Siting Requirements - Principal Building - Side Setback.** A 0.83 metre reduction to the requirement that, "In the case where a Parcel is not served by a rear lane, one (1) Side Yard shall not be less than 3 metres" from 3.0 metres to 2.33 metres.

### BACKGROUND:

#### Context

**Applicant:** Baldev Lalli (for the development permit)  
Guneet Lalli (for the development variance permit)

**Owner:** Baldev Lalli / Daniel Brewster

**Property Size:** Metric: 669 m<sup>2</sup> Imperial: 7201.29 ft<sup>2</sup>

**Existing Land Use:** Single Family Residence

**Surrounding Land Uses:**

**North:** Department of National Defense sports fields  
**South:** E & N Railway access  
**West:** Single Family Residential  
**East:** Single Family Residential

**Proposed Use:** Two Family Residential

**Existing Zoning:** Two Family/Single Family Residential [RD-3]

**Proposed Zoning:** RD-3 [No change required]

**Existing OCP Designation:** Single and Two-Unit Residential [no change required]

**Purpose of the Application**

The applicant is proposing to remove the existing dwelling and construct a side by side strata titled Two Family Residential dwelling on the subject property. The property is currently zoned Two Family/ Single Family Residential [RD-3] [attached]. This two-unit dwelling is subject to Development Permit Area No. 5 – Enhanced Design Control Residential; therefore a Development Permit is required before a Building Permit can be issued.

**Official Community Plan**

The Official Community Plan does allow for sensitive infill development in residential zones provided the development is compatible with, and enhances the surrounding neighbourhood.

Section 2.2 of the Official Community Plan recognizes that modest residential growth will occur through the infilling of vacant or under-utilized parcels, and states that this growth should occur in a manner that maintains and enhances individual neighbourhoods and the community as a whole.

Section 2.2.1(a) states the Township should work toward a more complete community by maintaining a healthy mixture of housing types, accommodating people with a wide range of income levels.

Section 2.2.1(b) states the Township should encourage new residential development with high design standards for building and landscaping and which enhance existing and new neighbourhoods.

**Building Design:****Fit with Neighbourhood:**

**Green Features:** The applicant has completed the Esquimalt Green Building Checklist [attached].

**Landscaping:**

A landscape bond of 125% of the estimated value of all landscaping will be required if this application is approved.

**Design Guidelines:**

This proposal is subject to Section 9.7 'Development Permit Area No. 5 – Enhanced Design Control Residential' of the Official Community Plan and the Design Guidelines of Section 9.7.5 (attached) are applicable.

**Zoning**

Section 40 8.1 Building Massing states: "The second storey of any Two Family Dwelling shall be a maximum of 75% of the total floor area of the ground floor, including an attached garage. Typically, the floor area has been calculated as the, "entire area which in plan is enclosed by the interior face of the exterior walls of the Storey of floor level..." This has resulted in the exterior physical mass of the second floor being 75% less than the first floor. However, in this case the applicants have reduced the floor area on the second storey by incorporating a void space (open to above) which technically creates a single storey from the ground floor to the ceiling under the roof. In addition, the area of the stairwell has also been removed from the calculation of the floor area of the second storey. Again, it can be argued that stairwells are a single storey in height even though they may pass through several floors and the treads could be extrapolated as floor area. Although the Zoning Bylaw specifically exempts "staircases and stairwells" intended to be used by all residents of Multiple Family Dwellings and in residential portions of Mixed Commercial/Residential Buildings it is silent on how "staircases and stairwells" are to be treated in other types of buildings such as "Two Family Residential". Although the methodology to calculate floor area outlined above is different than the methodology currently used by staff, it is a defensible methodology based on an exegesis of the Zoning Bylaw. It should be noted that staff are currently preparing a number of amendments to the Zoning Bylaw that will make it clear that void spaces open to above/below and stairwells will not be counted as floor area in any buildings.

**Comments From Other Departments**

The plans for this proposal were circulated to other departments and the following comments were received by the APC submission deadline:

**Building Inspection:** Construct to current BC Building Code and Municipal Building Code Bylaw, 2002, No. 2538. Applicant must address all issues contained within the Township Development Protocol should the application be approved. Plans will be reviewed for compliance with BC Building Code upon submission of a building permit application.

**Fire Services:** Fire Suppression required as per current BC Building Code.

**Engineering Services:** Engineering staff have completed a preliminary evaluation of the Works and Services that would be required for the two-unit dwelling proposed. Staff confirms that the design appears achievable on the site, and that appropriate works and services are available in the immediate area. The new building will be required to connect to the storm drain system. Should the application be approved, additional comments will be provided when detailed civil engineering drawings are submitted as part of a Building Permit application.

**Parks Services:** Owners must abide by the regulations as stated in Esquimalt's Tree Protection Bylaw, 2007, No. 2664. • It will be the contractor's responsibility to install and maintain a 'tree protection zone', with fencing at the drip-line of each retained tree, during demolition and construction.



*Note: All projects are subject to compliance with the BC Building Code, Esquimalt Subdivision and Servicing Bylaw, Esquimalt Zoning Bylaw and other Regulations and Policies set by Council.*

**ALTERNATIVES:**

1. Forward the application for a Development Permit to Council with a **recommendation of approval.**
2. Forward the application for a Development Permit to Council with a **recommendation of approval with conditions.**
3. Forward the application for a Development Permit to Council with a **recommendation of denial.**



**40. TWO FAMILY/SINGLE FAMILY RESIDENTIAL [RD-3]**

The intent of this Zone is to accommodate Single Family or Two Family Dwelling Units on individual Parcels of land.

(1) **Permitted Uses**

The following Uses and no others are permitted:

- (a) Single Family Residential
- (b) Two Family Residential
- (c) Home Occupation
- (d) Boarding: subject to the requirements of Section 30.3
- (e) Urban Hens: subject to the requirements of Section 30.4 of this bylaw.

(2) **Parcel Size**

The minimum Parcel Size for Parcels created by subdivision shall be 668 square metres.

(3) **Minimum Lot Width**

The minimum width of Parcels created by subdivision shall be 18.3 metres, measured at the Front Building Line.

(4) **Floor Area Ratio**

- (a) For parcels 800 square metres in area and larger, the Floor Area Ratio for Two Family Dwellings shall not exceed 0.35.
- (b) For parcels under 800 square metres in area the Floor Area Ratio for Two Family Dwellings shall not exceed 0.4.

(5) **Floor Area**

The minimum Floor Area for the First Storey of a Principal Building shall be 88 square metres.

(6) **Building Height**

- (a) No Principal Building shall exceed a Height of 7.3 metres.
- (b) No Accessory Building shall exceed a Height of 3.6 metres.
- (c) When developing a front to back Two Family Dwelling, the back Dwelling Unit shall be no higher than the highest point of the existing Dwelling Unit. A Two Family Dwelling is considered back to front if more than 75% of the floor area of the back Dwelling Unit is behind the rear wall of the front Dwelling Unit.

(7) **Building Width**

The minimum width of any Single Family or Two Family Dwelling shall be 7 metres.

(8) **Lot Coverage**

- (a) All Principal Buildings, Accessory Buildings and Structures combined shall not cover more than 30% of the Area of a Parcel.
- (b) All Accessory Buildings and Structures combined shall not exceed 10% of the Area of a Parcel.

(8.1) **Building Massing**

The second storey of any Two Family Dwelling shall be a maximum of 75% of the total floor area of the ground floor, including an attached garage.

(9) **Siting Requirements**

(a) **Principal Building**

- (i) Front Setback: No Principal Building shall be located within 7.5 metres of the Front Lot Line.
- (ii) Side Setback: No Principal Building shall be located within 1.5 metres of an Interior Side Lot Line, with the total Setback of all Side Yards not to be less than 4.5 metres. In the case where a Parcel is not served by a rear lane, one (1) Side Yard shall not be less than 3 metres. In the case of a Corner Lot, no Principal Building shall be located within 3.6 metres of an Exterior Side Lot Line.
- (iii) Rear Setback: No Principal Building shall be located within 7.5 metres of a Rear Lot Line.

(b) **Accessory Building**

- (i) Front Setback: No Accessory Building shall be located in front of the front face of the Principal Building.
- (ii) Side Setback: No Accessory Building shall be located within 1.5 metres of an Interior Side Lot Line nor 3.6 metres of an Exterior Side Lot line.
- (iii) Rear Setback: No Accessory Building shall be located within 1.5 metres of a Rear Lot line.
- (iv) Building Separation: No Accessory Building shall be located within 2.5 metres of a Principal Building.

(c) **Garage Setback**

Detached and attached garages shall be set back a minimum of 1.5 metres from the front face of the Dwelling Unit.

(10) **Common Wall Requirements**

In Two Family Dwellings the common wall overlap between the habitable areas of the two Dwelling Units shall be not less than 50%.

(11) **Fencing**

Subject to Section 22, no fence shall exceed a Height of 1.2 metres in front of the front face of the Principal Building and 2 metres behind the front face of the Principal Building.

(12) **Off Street Parking**

Off street parking shall be provided in accordance with the requirements of Parking Bylaw, 1992, No. 2011 (as amended).

(13) **Driveway Width**

The maximum width of a driveway surface on a Two Family Residential lot shall be a total of 5.5 metres. This applies to a double-wide driveway, or the combined width of two (2) single lane driveways serving a Two Family Dwelling.



## GREEN BUILDING CHECKLIST

The purpose of this Checklist is to make property owners and developers aware of specific green features that can be included in new developments to reduce their carbon footprints to help create a more sustainable community.

Creating walkable neighbourhoods, fostering green building technologies, making better use of our limited land base and ensuring that new development is located close to services, shops and transit are some of the means of achieving sustainability.

The Checklist which follows focuses on the use of **Green Technologies** in new buildings and major renovations. The Checklist is not a report card, it is a tool to help identify how your project can become 'greener' and to demonstrate to Council how your project will help the Township of Esquimalt meet its sustainability goals. It is not expected that each development will include all of the ideas set out in this list but Council is looking for a strong commitment to green development.

There are numerous green design standards, for example, Built Green BC; LEED ND; Living Building Challenge; Green Shores; Sustainable Sites Initiative. Esquimalt is not directing you to follow any particular standard, however, you are strongly encouraged to incorporate as many green features as possible into the design of your project.

As you review this checklist, if you have any questions please contact **Development Services** at 250.414.7108 for clarification.

**New development is essential to Esquimalt.  
We look forward to working with you  
to ensure that development is  
as green and sustainable as possible.**

Other documents containing references to building and site design and sustainability, which you are advised to review, include:

- Esquimalt's Official Community Plan
- Development Protocol Policy
- Esquimalt's Pedestrian Charter
- Tree Protection Bylaw No. 2664
- A Sustainable Development Strategic Plan for the Township of Esquimalt





"One-third of Canada's energy use goes to running our homes, offices and other buildings. The federal government's Office of Energy Efficiency (Natural Resources Canada) reports that a corresponding one-third of our current greenhouse gas (GHG) emissions come from the built environment."  
 [Green Building and Development as a Public Good, Michael Buzzelli, CPRN Research Report June 2009]

Please answer the following questions and describe the green and innovative features of your proposed development. Depending on the size and scope of your project, some of the following points may not be applicable.

### Green Building Standards

*Both energy use and emissions can be reduced by changing or modifying the way we build and equip our buildings.*

- 1 Are you building to a recognized green building standard? Yes  No   
 If yes, to what program and level?
- 2 If not, have you consulted a Green Building or LEED consultant to discuss the inclusion of green features? Yes  No
- 3 Will you be using high-performance building envelope materials, rainscreen siding, durable interior finish materials or safe to re-use materials in this project? Yes  No   
 If so, please describe them. Rainscreen, house wrap, hardie plank siding
- 4 What percentage of the existing building[s], if any, will be incorporated into the new building? 0 %
- 5 Are you using any locally manufactured wood or stone products to reduce energy used in the transportation of construction materials? Please list any that are being used in this project.  
Yes; framing, sheathing
- 6 Have you considered advanced framing techniques to help reduce construction costs and increase energy savings? Yes  No
- 7 Will any wood used in this project be eco-certified or produced from sustainably managed forests? If so, by which organization? NIA  
 For which parts of the building (e.g. framing, roof, sheathing etc.)? NIA
- 8 Can alternatives to Chlorofluorocarbon's and Hydro-chlorofluorocarbons which are often used in air conditioning, packaging, insulation, or solvents] be used in this project? If so, please describe these. Yes  No   
Low VOC paint
- 9 List any products you are proposing that are produced using lower energy levels in manufacturing.  
NIA
- 10 Are you using materials which have a recycled content [e.g. roofing materials, interior doors, ceramic tiles or carpets]? Yes  No
- 11 Will any interior products [e.g. cabinets, insulation or floor sheathing] contain formaldehyde? Yes  No



## Water Management

The intent of the following features is to promote water conservation, re-use water on site, and reduce storm water run-off.

### Indoor Water Fixtures

- 12 Does your project exceed the BC Building Code requirements for public lavatory faucets and have automatic shut offs? Yes  No
- 13 For commercial buildings, do flushes for urinals exceed BC Building Code requirements? Yes  No
- 14 Does your project use dual flush toilets and do these exceed the BC Building Code requirements? Yes  No
- 15 Does your project exceed the BC Building Code requirements for maximum flow rates for private showers? Yes  No
- 16 Does your project exceed the BC Building Code requirements for flow rates for kitchen and bathroom faucets? Yes  No

### Storm Water

- 17 If your property has water frontage, are you planning to protect trees and vegetation within 60 metres of the high water mark? [Note: For properties located on the Gorge Waterway, please consult Sections 7.1.2.1 and 9.6 of the Esquimalt Official Community Plan.] Yes  No  N/A
- 18 Will this project eliminate or reduce inflow and infiltration between storm water and sewer pipes from this property? Yes  No  N/A
- 19 Will storm water run-off be collected and managed on site (rain gardens, wetlands, or ponds) or used for irrigation or re-circulating outdoor water features? If so, please describe. \_\_\_\_\_ Yes  No  N/A
- 20 Have you considered storing rain water on site (rain barrels or cisterns) for future irrigation uses? Yes  No  N/A
- 21 Will surface pollution into storm drains will be mitigated (oil interceptors, bio-swales)? If so, please describe. \_\_\_\_\_ Yes  No  N/A
- 22 Will this project have an engineered green roof system or has the structure been designed for a future green roof installation? Yes  No  N/A
- 23 What percentage of the site will be maintained as naturally permeable surfaces? 40-50 %

### Waste water

- 24 For larger projects, has Integrated Resource Management (IRM) been considered (e.g. heat recovery from waste water or onsite waste water treatment)? If so, please describe these. \_\_\_\_\_ Yes  No  N/A

### Natural Features/Landscaping

The way we manage the landscape can reduce water use, protect our urban forest, restore natural vegetation and help to protect the watershed and receiving bodies of water.

- 25 Are any healthy trees being removed? If so, how many and what species? 3 - chestnut tree & cedar tree Yes  No  N/A
- Could your site design be altered to save these trees? -NO
- Have you consulted with our Parks Department regarding their removal? -Yes.



- 26 Will this project add new trees to the site and increase our urban forest?  
If so, how many and what species? Cedar hedges  Yes No N/A
- 27 Are trees [existing or new] being used to provide shade in summer or to buffer winds?  Yes No N/A
- 28 Will any existing native vegetation on this site be protected?  
If so, please describe where and how. \_\_\_\_\_ Yes No  N/A
- 29 Will new landscaped areas incorporate any plant species native to southern Vancouver Island? Yes No  N/A
- 30 Will xeriscaping (i.e. the use of drought tolerant plants) be utilized in dry areas?  Yes No N/A
- 31 Will high efficiency irrigation systems be installed (e.g. drip irrigation; 'smart' controls)? Yes  No N/A
- 32 Have you planned to control invasive species such as Scotch broom, English ivy, Himalayan and evergreen blackberry growing on the property? Yes No  N/A
- 33 Will topsoil will be protected and reused on the site?  Yes No N/A

### Energy Efficiency

*Improvements in building technology will reduce energy consumption and in turn lower greenhouse gas [GHG] emissions. These improvements will also reduce future operating costs for building occupants.*

- 34 Will the building design be certified by an independent energy auditor/analyst?  
If so, what will the rating be? \_\_\_\_\_ Yes  No N/A
- 35 Have you considered passive solar design principles for space heating and cooling or planned for natural daylighting?  Yes No N/A
- 36 Does the design and siting of buildings maximize exposure to natural light?  
What percentage of interior spaces will be illuminated by sunlight? 70 %  Yes No N/A
- 37 Will heating and cooling systems be of enhanced energy efficiency (ie. geothermal, air source heat pump, solar hot water, solar air exchange, etc.).  
If so, please describe. heat pump  
If you are considering a heat pump, what measures will you take to mitigate any noise associated with the pump? ductless heat pump  Yes No N/A
- 38 Has the building been designed to be solar ready? Yes  No N/A
- 39 Have you considered using roof mounted photovoltaic panels to convert solar energy to electricity? Yes  No N/A
- 40 Do windows exceed the BC Building Code heat transfer coefficient standards? Yes No  N/A
- 41 Are energy efficient appliances being installed in this project?  
If so, please describe. energyguide appliance. Yes
- 42 Will high efficiency light fixtures be used in this project?  
If so, please describe. LED  Yes No N/A
- 43 Will building occupants have control over thermal, ventilation and light levels?  Yes No N/A
- 44 Will outdoor areas have automatic lighting [i.e. motion sensors or time set]?  Yes No N/A
- 45 Will underground parking areas have automatic lighting? Yes No  N/A



### Air Quality

The following items are intended to ensure optimal air quality for building occupants by reducing the use of products which give off gases and odours and allowing occupants control over ventilation.

46	Will ventilation systems be protected from contamination during construction and certified clean post construction?	Yes	No	<input checked="" type="radio"/> N/A
47	Are you using any natural, non-toxic, water soluble or low-VOC [volatile organic compound] paints, finishes or other products? If so, please describe. <u>paint</u>	<input checked="" type="radio"/> Yes	No	N/A
48	Will the building have windows that occupants can open?	<input checked="" type="radio"/> Yes	No	N/A
49	Will hard floor surface materials cover more than 75% of the liveable floor area?	Yes	No	<input checked="" type="radio"/> N/A
50	Will fresh air intakes be located away from air pollution sources?	<input checked="" type="radio"/> Yes	No	N/A

### Solid Waste

Reuse and recycling of material reduces the impact on our landfills, lowers transportation costs, extends the life-cycle of products, and reduces the amount of natural resources used to manufacture new products.

51	Will materials be recycled during demolition of existing buildings and structures? If so, please describe. _____	Yes	<input checked="" type="radio"/> No	N/A
52	Will materials be recycled during the construction phase? If so, please describe. _____	Yes	No	<input checked="" type="radio"/> N/A
53	Does your project provide enhanced waste diversion facilities i.e. on-site recycling for cardboard, bottles, cans and or recyclables or on-site composting?	Yes	No	<input checked="" type="radio"/> N/A
54	For new commercial development, are you providing waste and recycling receptacles for customers?	Yes	No	<input checked="" type="radio"/> N/A

### Green Mobility

The intent is to encourage the use of sustainable transportation modes and walking to reduce our reliance on personal vehicles that burn fossil fuels which contributes to poor air quality.

55	Is pedestrian lighting provided in the pathways through parking and landscaped areas and at the entrances to your building[s]?	<input checked="" type="radio"/> Yes	No	N/A
56	For commercial developments, are pedestrians provided with a safe path[s] through the parking areas and across vehicles accesses?	Yes	No	<input checked="" type="radio"/> N/A
57	Is access provided for those with assisted mobility devices?	Yes	No	<input checked="" type="radio"/> N/A
58	Are accessible bike racks provided for visitors?	Yes	No	<input checked="" type="radio"/> N/A
59	Are secure covered bicycle parking and dedicated lockers provided for residents or employees?	Yes	No	<input checked="" type="radio"/> N/A
60	Does your development provide residents or employees with any of the following features to reduce personal automobile use [check all that apply]: <input type="checkbox"/> transit passes <input type="checkbox"/> car share memberships <input type="checkbox"/> shared bicycles for short term use <input type="checkbox"/> weather protected bus shelters <input type="checkbox"/> plug-ins for electric vehicles <span style="margin-left: 200px;">N/A</span>			

Is there something unique or innovative about your project that has not been addressed by this Checklist? If so, please add extra pages to describe it.



THESE NOTES FORM AN INTEGRAL PART OF THESE PLANS  
AND SHOULD NOT BE REMOVED.



PROPOSED RESIDENCE /  
BUILDING for:

NAME	
LOT #	SECT.
PLAN	
DIST.	
STREET ADDRESS	

GENERAL SPECIFICATIONS  
CODES & STANDARDS

-All information including dimensions and specifications must be verified by Builder before proceeding with construction.  
-Any variances from the plans to conditions found on site are the responsibility of the Owner/Builder.  
-All work shall comply with the Building Code of British Columbia and the National Building Code of Canada.  
-Compliance with municipal or regional zoning health and other bylaws is the sole responsibility of the Owner/Builder.

SITE PLAN

-All layouts shall be confirmed by a registered B.C. Land Surveyor.  
-All setbacks shall be confirmed by the Owner/Builder and by the authority having jurisdiction in the area.  
-All grades and elevations are the responsibility of the Owner/Builder and any modifications are to be made on site.  
-Conformity of these plans to the actual site, in any respect, is the responsibility of the Owner/Builder.  
-All local health and zoning bylaws must be respected.

SNOW LOADS

-Loads for these plans are to be calculated at 60.0k/psf, unless otherwise stipulated.

CONCRETE & FOUNDATIONS

-All concrete shall have a minimum compression strength of 2900 psi (20 mpa) at 28 days, mixed placed and tested in accordance with CAN3-A438.  
-32 mpa for garage and carport floors and exterior steps.  
-Concrete footings must be placed on undisturbed, non-organic, compacted soil to a suitable depth below frost penetration. If other conditions apply, the soil-bearing capacity and size of footings are to be redesigned by a qualified engineer.  
-All walls are 8" concrete unless otherwise noted.  
-All walls must have a minimum of 2 #4 rebar continuous and a minimum overlap of 16".  
-All grades are estimated only and shall be adjusted on site.  
-All concrete walls shall have a damp-proofing agent applied below finished grade.

WOOD & FRAMING

-All wood in contact with concrete shall be treated or separated by a moisture-resistant gasket material.  
-All plates are to be anchored with 1/2" anchor bolts 8" on center minimum.  
-All beams supporting roof loads shall be sized by the Truss Manufacturer.  
-Framing timber shall be graded #2 or better unless noted otherwise.  
-All spans shall conform to the tables set out in "The Span Book" and the National Building Code of Canada.  
-Verification of all spans is the responsibility of the Owner/Builder.  
-All headers shall be constructed from 2"x10" lumber unless noted otherwise.

TRUSSES

-Trusses and layout are to be engineered and installed according to the manufacturer's specification, including all bracing.

CLADDING

-All cladding shall be installed in accordance with code requirements to provide necessary protection from precipitation.

ROOFING

-All roofing shall be applied to manufacturer's specification.  
-All roofing shall include Eave Protection from ice dams and snow build-up.

PLUMBING & ELECTRICAL

-All plumbing and electrical shall comply with the B.C. & National Building Codes.  
-Any electrical shown on plans is to serve as a guide only and must be installed by qualified personnel.  
-Smoke detectors shall be provided on every floor in accordance with the National and B.C. Building codes.

FLASHING

-All exposed openings shall be provided with adequate flashing.  
-All roofing shall incorporate step flashing.  
-All penetrations through roof shall include appropriate flashing.

DOORS - rough opening sizes

-Frame opening 2" wider than door.  
-Frame height 83 1/2" for exterior doors.  
-Frame height 83 1/2" for interior doors.  
-Frame opening 1 1/4" wider thanifold doors.  
-Frame height 81 1/2" forifold doors.  
-All dimensions shall be verified by with the manufacturer.

GENERAL

-Written dimensions supercede scale.

NOTE: THESE PLANS ARE SUBJECT TO APPROVAL BY A QUALIFIED STRUCTURAL ENGINEER.

Braced wall panels, beams, girders, headers, columns, connectors, footings, foundations, and other structural elements are subject to engineer approval.

Sections and framing guides are schematic only. Refer to engineer's plans for actual layout, installation and construction.

Foundation walls, retaining walls, re-inforcing and footings are subject to engineer approval.

All manufactured products must be engineer approved and installed to manufacturer's specification and layout.

LIABILITY

-Virtual Home Design does not accept responsibility for the following:  
-Information provided on existing buildings or site.  
-Conformity of plans to site.  
-Errors or omissions.  
-Any house built from these plans.



PERSPECTIVE VIEW

Plan VIP2546  
BLOCK 17  
LOT 11

WINDOW AND DOOR PERFORMANCE GRADE CALCULATOR

Province:

Geographical Location:

Height of building:  m

Terrain:  Open  Rough

Product Class:

Product Type:

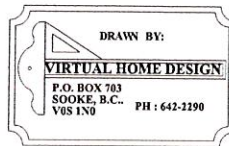
PG 30

Air	Water	Structural
A2	260 Pa	1440 Pa

RD-3		
	BYLAW	ACTUAL
Lot Area (min) (m <sup>2</sup> )	668	668.9
Lot Frontage (min)(m)	18.3	18.29
Lot Coverage (max) (%)	30.0	29.9
Total Floor Area(m <sup>2</sup> ) 1st&2nd		263.8
Floor Area Ratio (m <sup>2</sup> )(max)	.40	39.4
Floor Area 1st Level (m <sup>2</sup> )(min)	88	175.4
Bldg. Footprint (m <sup>2</sup> )	TOTAL	200.3
BASE LEVEL-finished (m <sup>2</sup> )	each side	60.7
1st LEVEL- GARAGE (m <sup>2</sup> )	each side	21.7
1st LEVEL - finished (m <sup>2</sup> )	each side	66.1
1st LEVEL - TOTAL (m <sup>2</sup> )	each side	87.7
2nd LEVEL - finished (m <sup>2</sup> )	each side	65.8
2nd LEVEL - Percentage of 1st	75 %	75 %
Building Height (m) (max)	7.3	7.3
BuildingWidth (m) (min)	7.0	13.62
Setbacks (m) (min)		
Front	7.5	7.67
Rear	7.5	12.21
Side A Int.	2.25	2.33
Side B Int.	2.25	2.33
Hse. to Gar (min)	1.50	1.50

Driveway width (max)  
5.5m for both.

N.W. cor.	14.00
N.E. cor.	14.49
S.W. cor.	13.61
S.E. cor.	13.31
AVERAGE GRADE	13.85

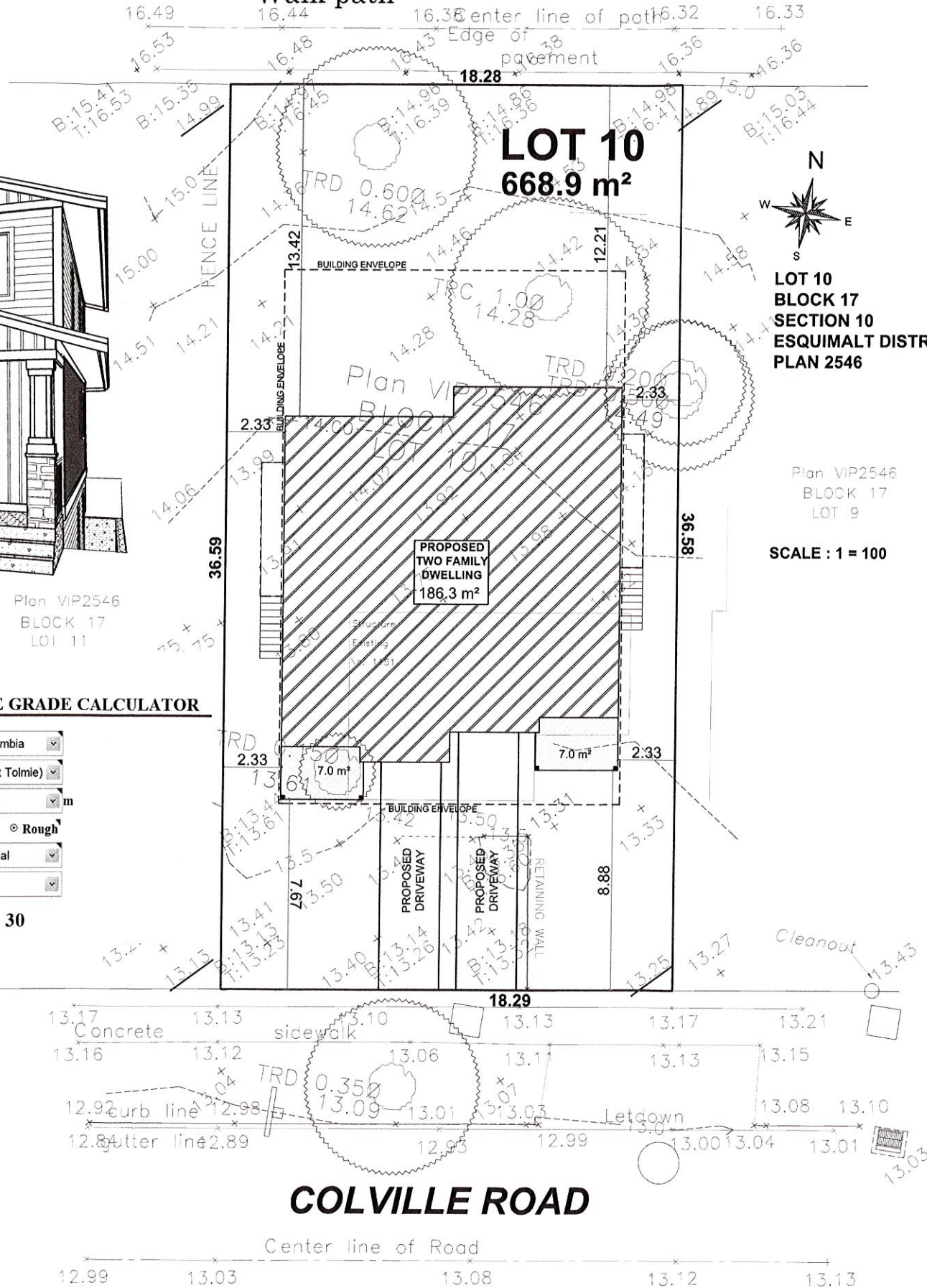


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VIRTUAL HOME DESIGN

Walk path



LOT 10  
BLOCK 17  
SECTION 10  
ESQUIMALT DISTRICT  
PLAN 2546

Plan VIP2546  
BLOCK 17  
LOT 9

SCALE : 1 = 100

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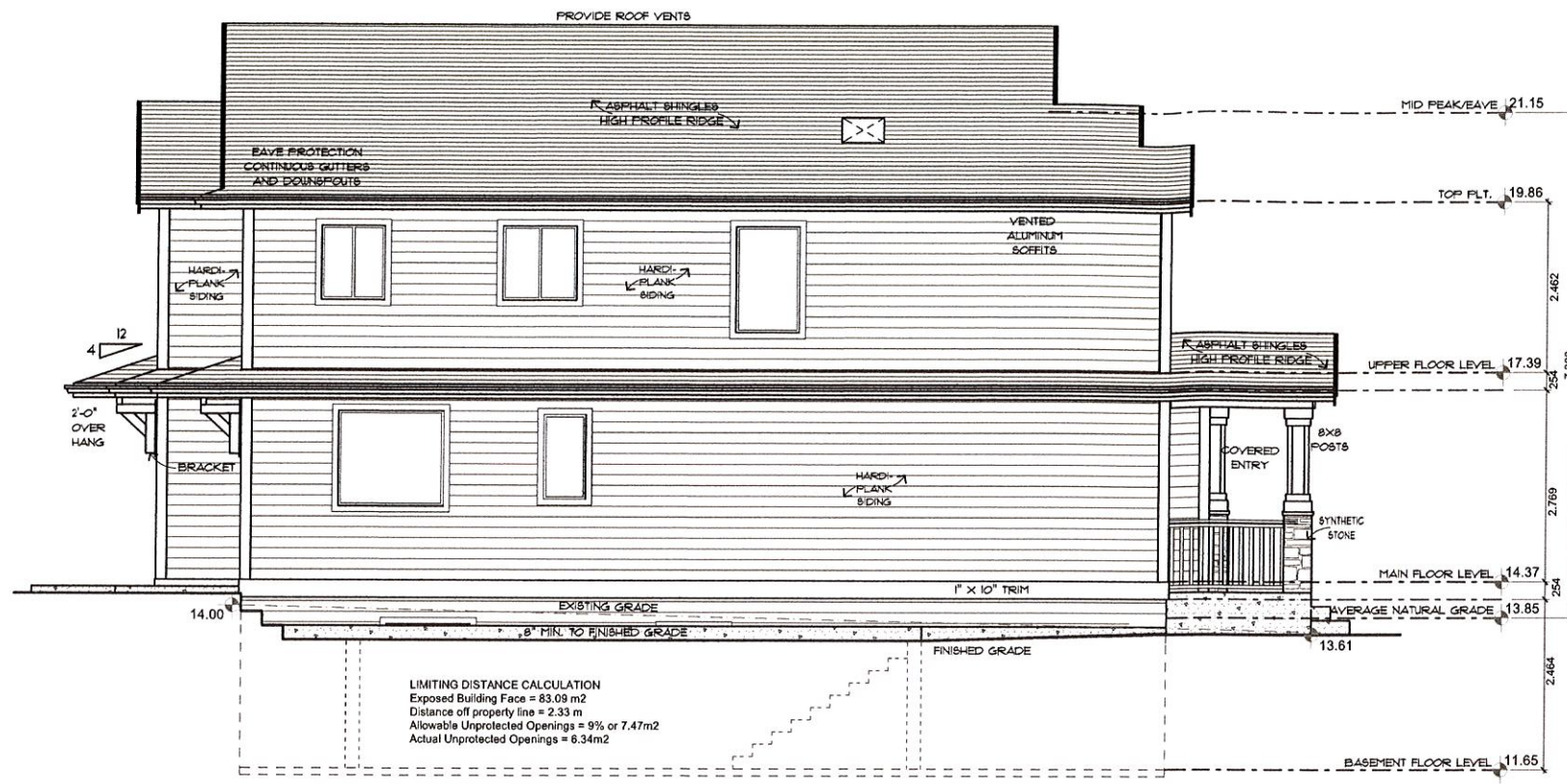
PLANS FOR:  
LALLI  
RESIDENCE  
1151 COLVILLE  
ROAD

date JAN.30,2017

A-1

sheet number

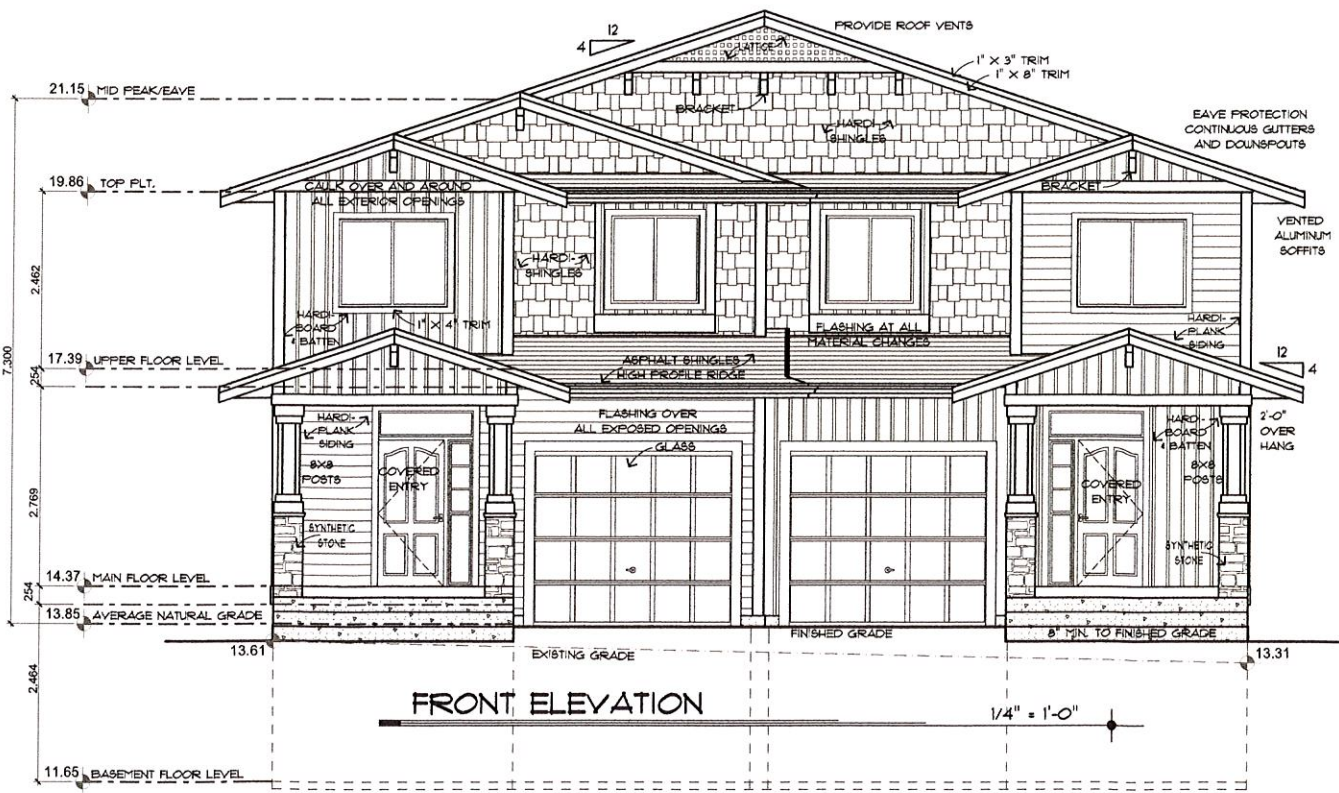




LEFT ELEVATION

1/4" = 1'-0"

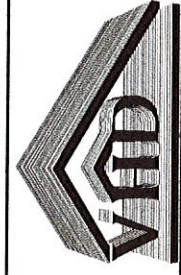
LIMITING DISTANCE CALCULATION  
 Exposed Building Face = 83.08 m<sup>2</sup>  
 Distance off property line = 2.33 m  
 Allowable Unprotected Openings = 9% or 7.47m<sup>2</sup>  
 Actual Unprotected Openings = 6.34m<sup>2</sup>



FRONT ELEVATION

1/4" = 1'-0"

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PLANS FOR:

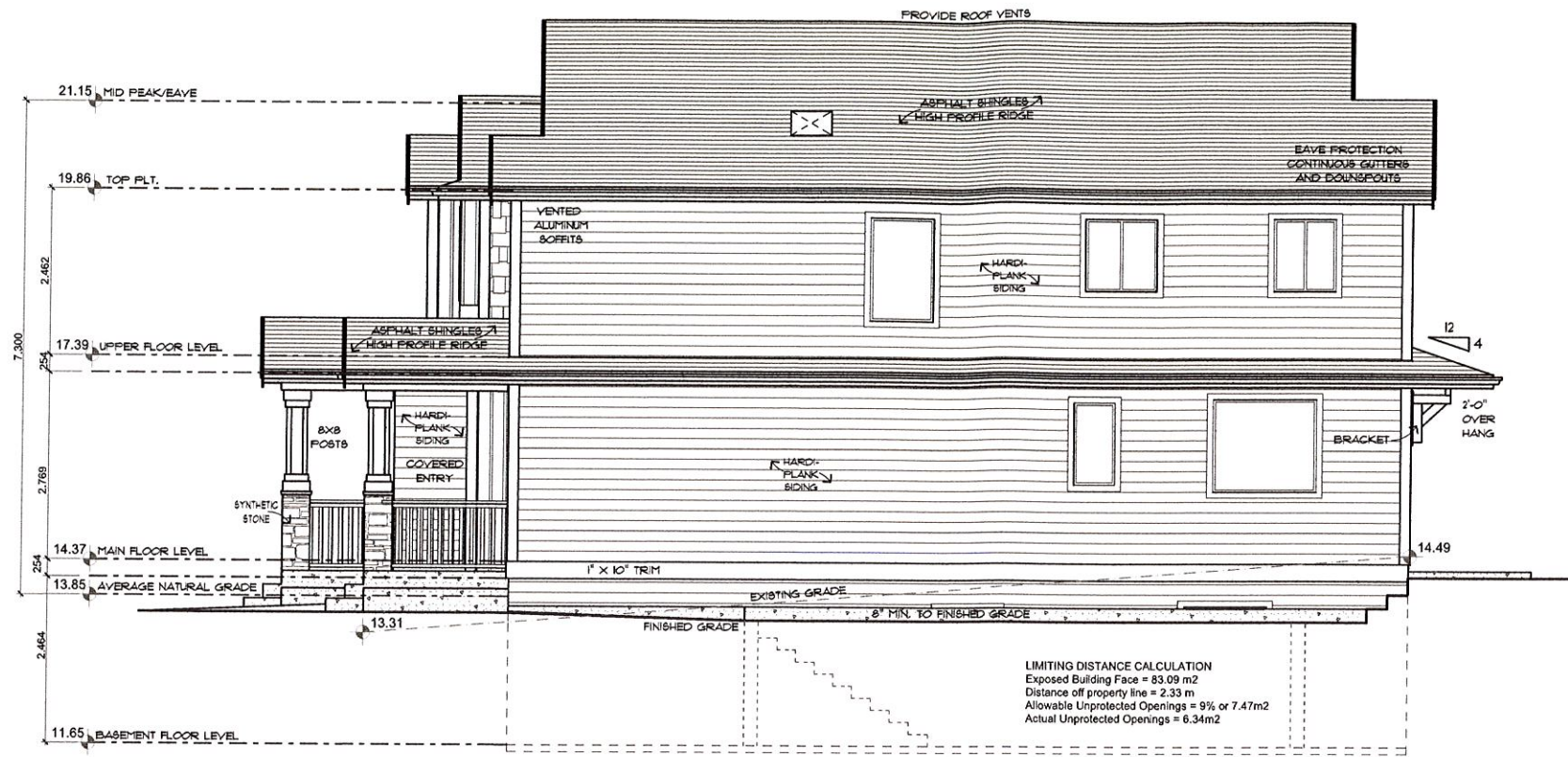
date JAN.30,2017

A-2

sheet number



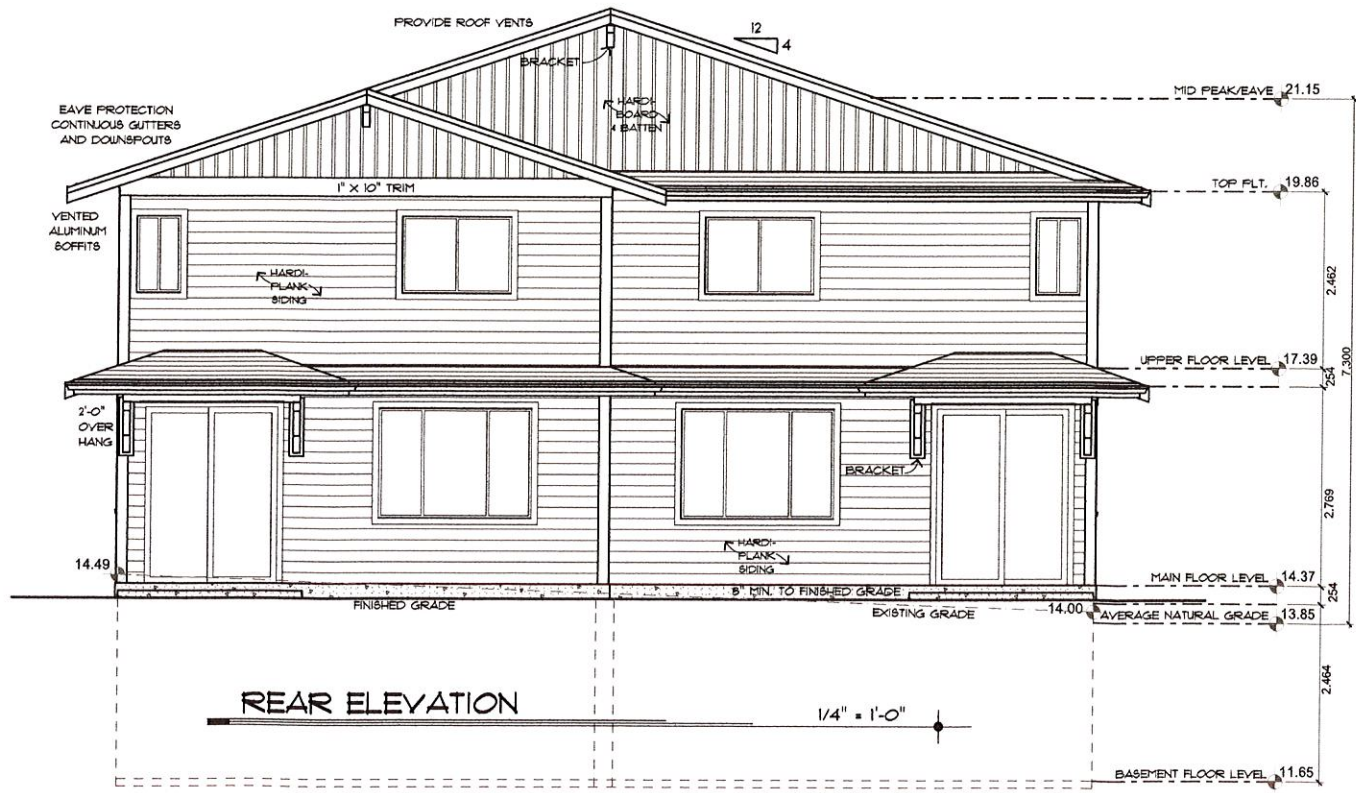
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 OF ESQUIMALT  
 DEVELOPMENT SERVICES



RIGHT ELEVATION

1/4" = 1'-0"

LIMITING DISTANCE CALCULATION  
 Exposed Building Face = 83.09 m<sup>2</sup>  
 Distance off property line = 2.33 m  
 Allowable Unprotected Openings = 9% of 7.47m<sup>2</sup>  
 Actual Unprotected Openings = 6.34m<sup>2</sup>



REAR ELEVATION

1/4" = 1'-0"

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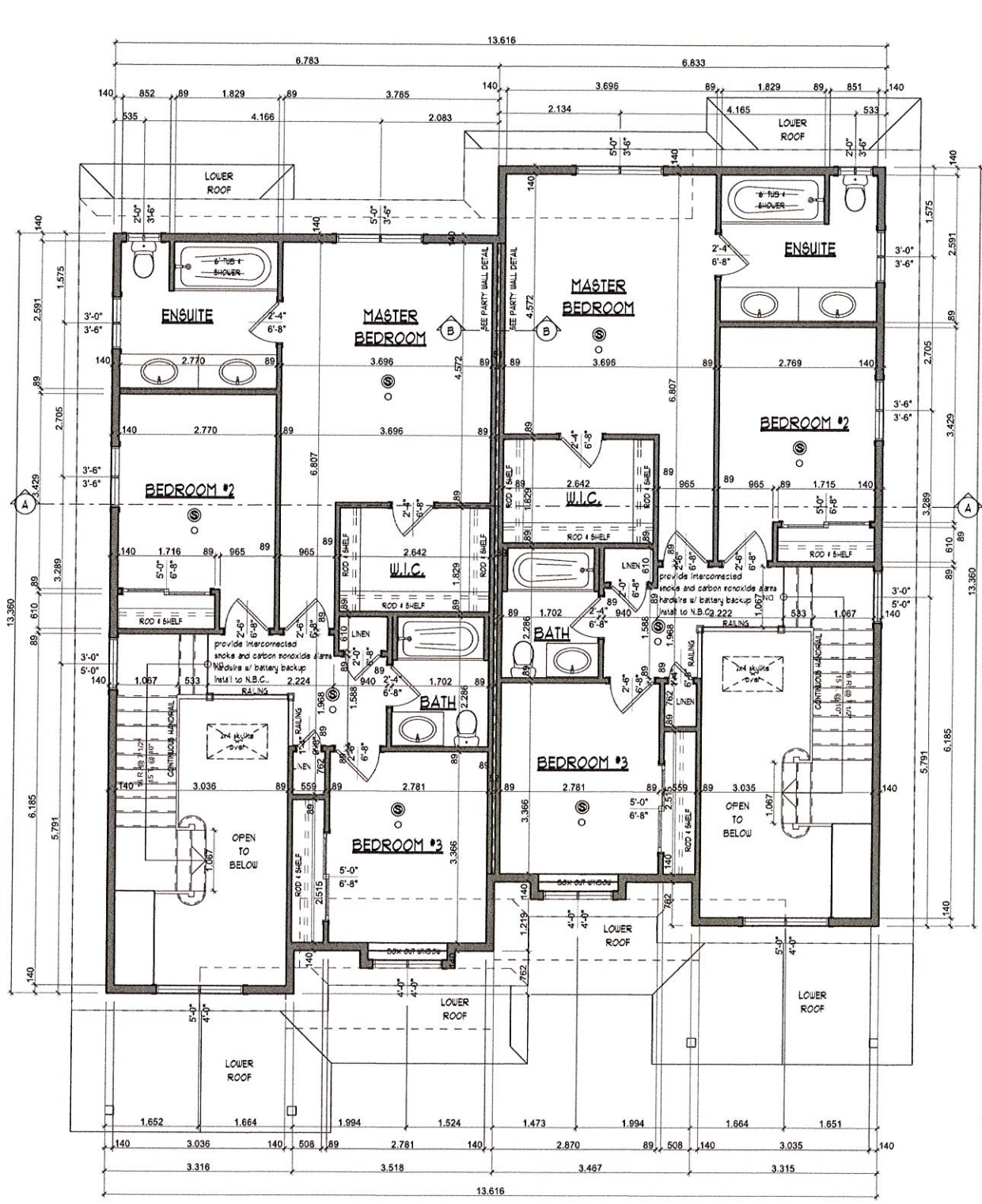
PLANS FOR:

date JAN.30,2017

A-3

sheet number



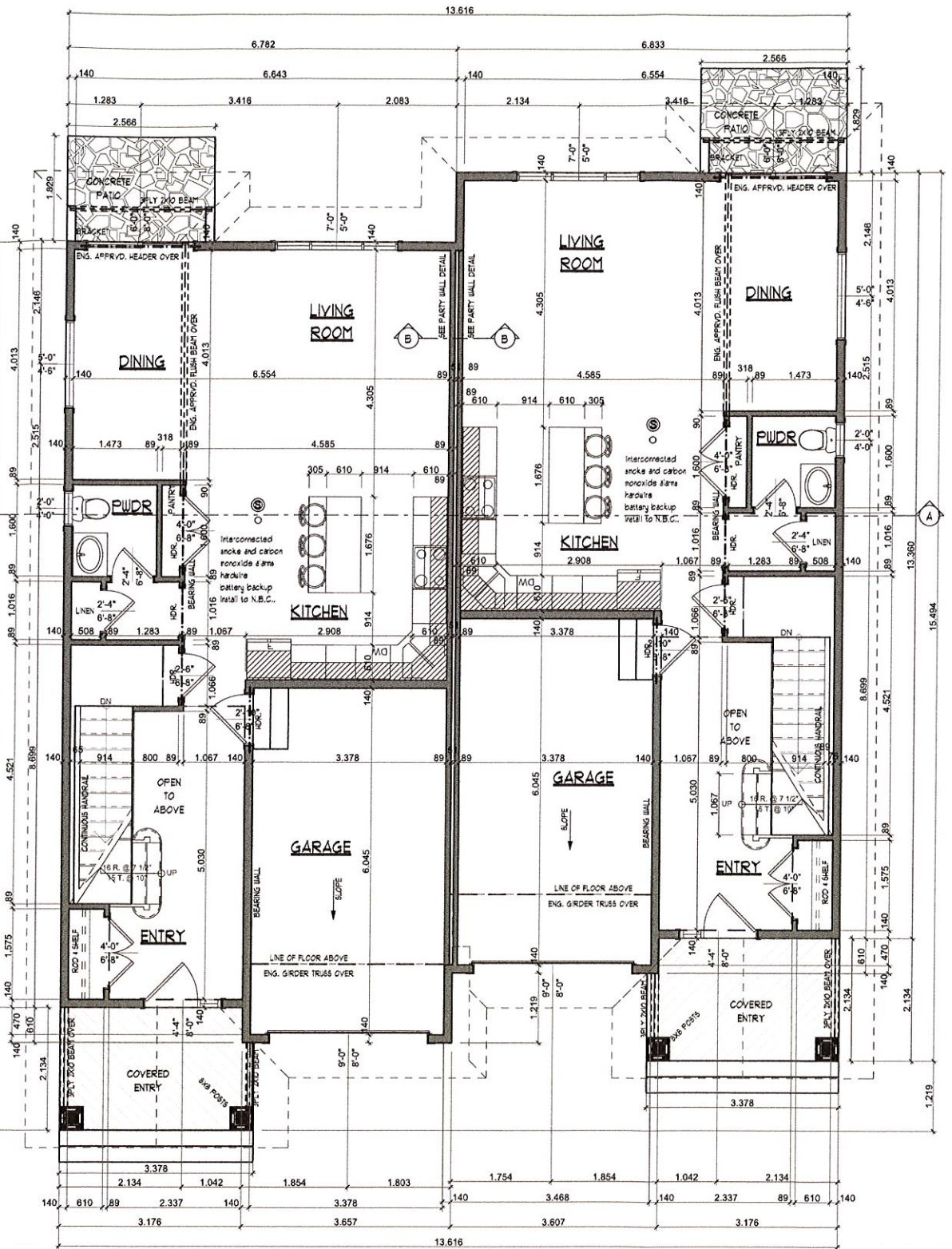


**UNIT "B" Finished 708.3 sqft (65.8 m2)**

**UNIT "A" Finished 708.3 sqft (65.8 m2)**

**SECOND LEVEL PLAN**

1/4" = 1'-0"



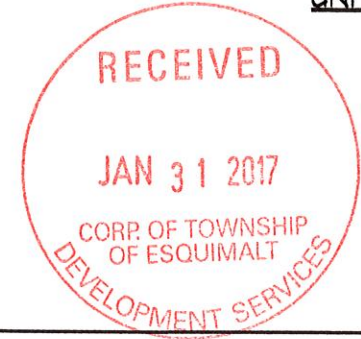
**UNIT "B" Finished 711.6 sqft (66.1m2)  
Garage 233.3 sqft (21.7m2)**

**UNIT "A" Finished 711.6 sqft (66.1m2)  
Garage 233.3 sqft (21.7m2)**

**FIRST LEVEL PLAN**

1/4" = 1'-0"

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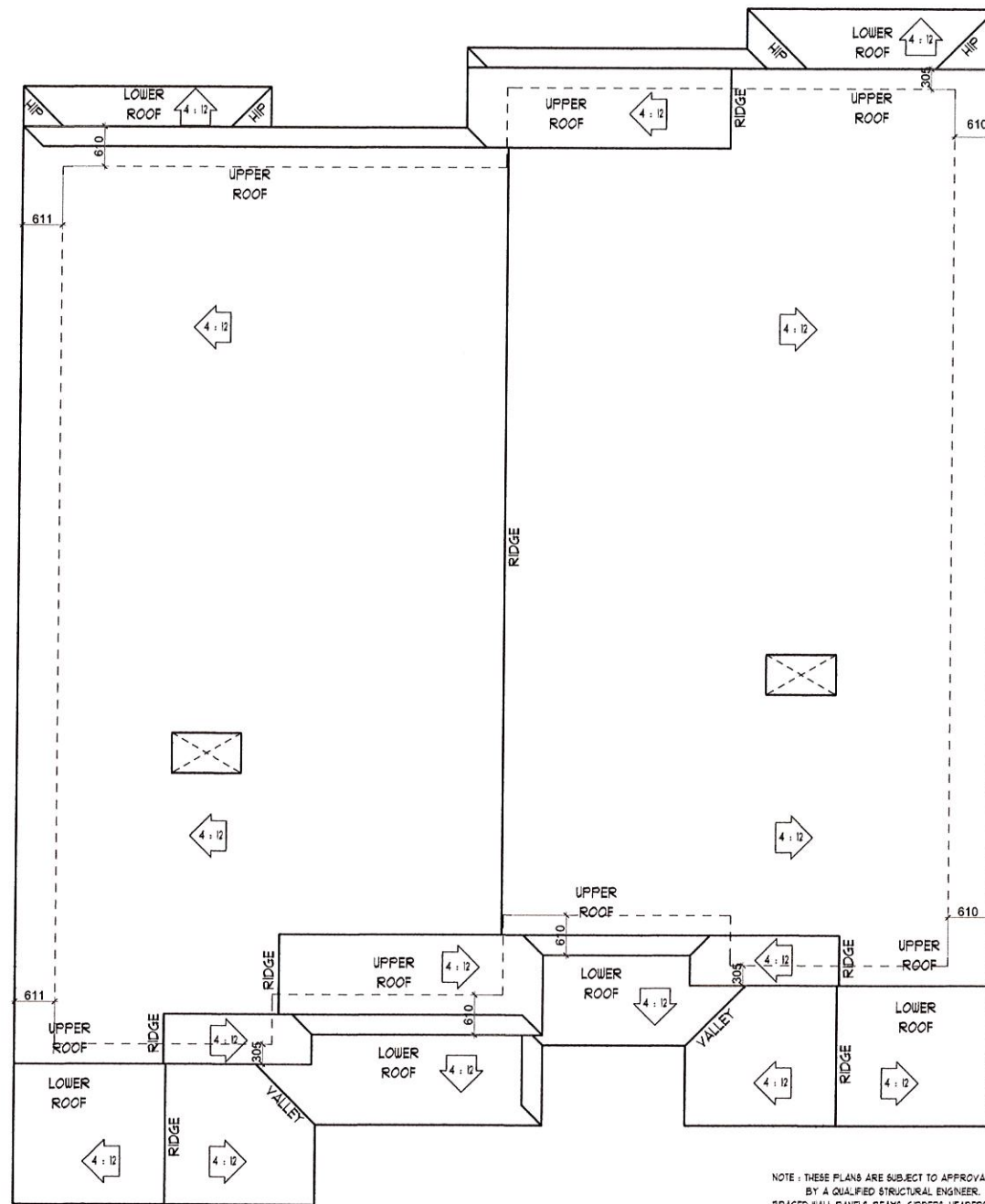
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**PLANS FOR:**

date **JAN.30,2017**

**A-4**  
sheet number

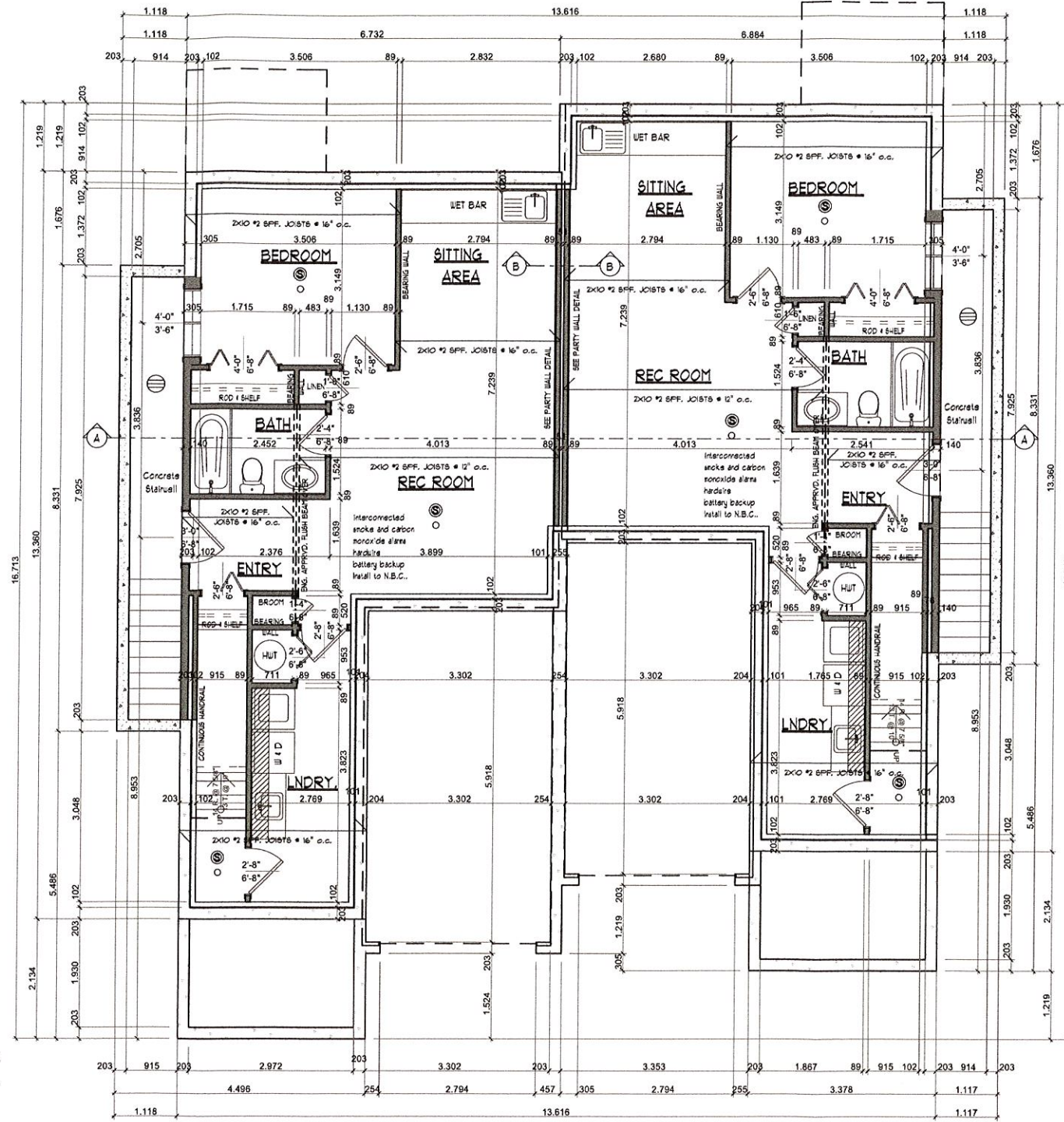




ROOF VIEW

1/4" = 1'-0"

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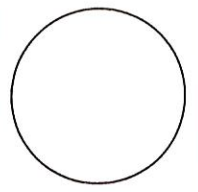


UNIT "B" Finished 667.6 sqft (62.0m2)

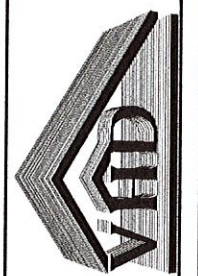
UNIT "A" Finished 667.6 sqft (62.0m2)

BASEMENT LEVEL PLAN

1/4" = 1'-0"



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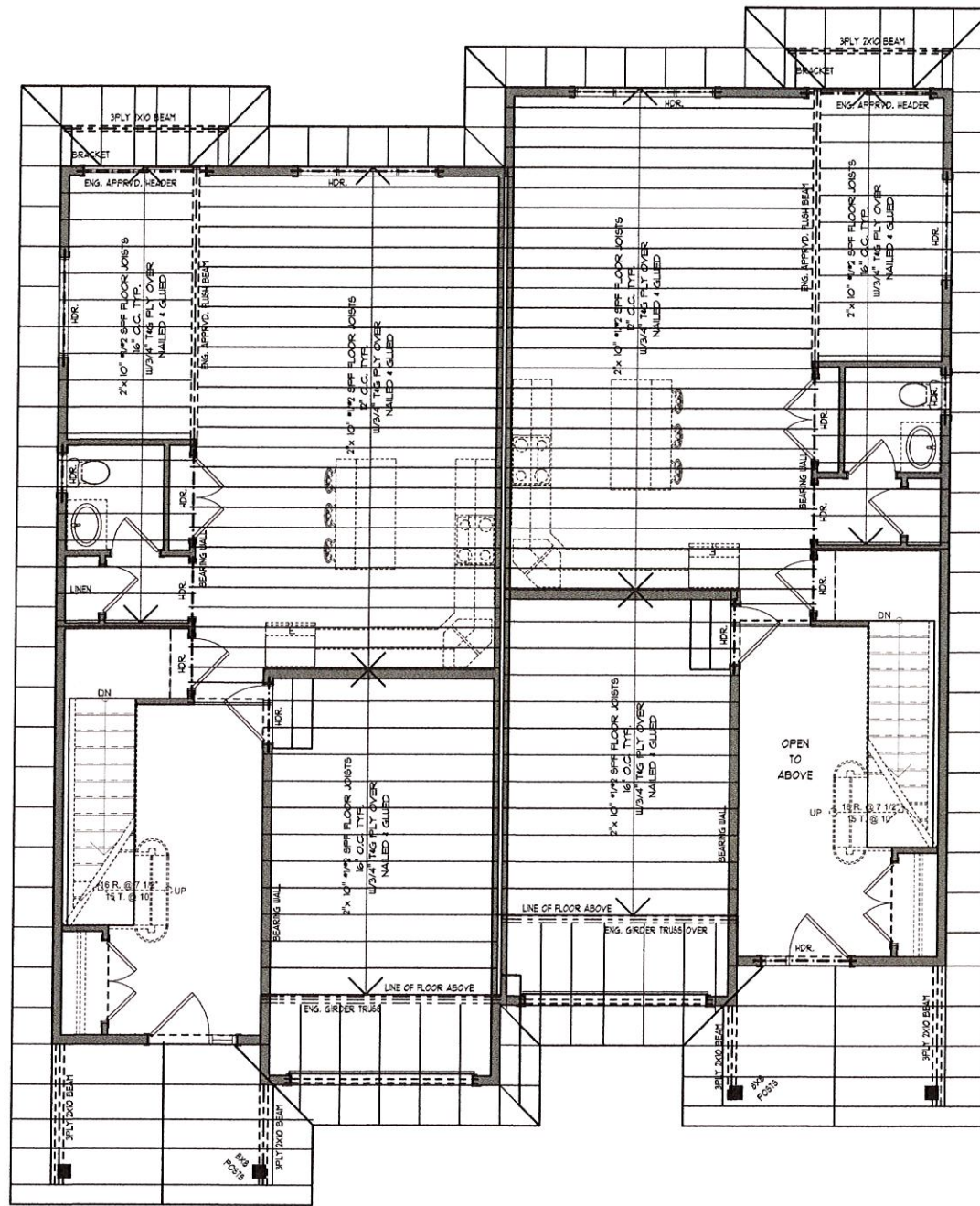
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PLANS FOR:

date JAN.30,2017

A-5  
sheet number



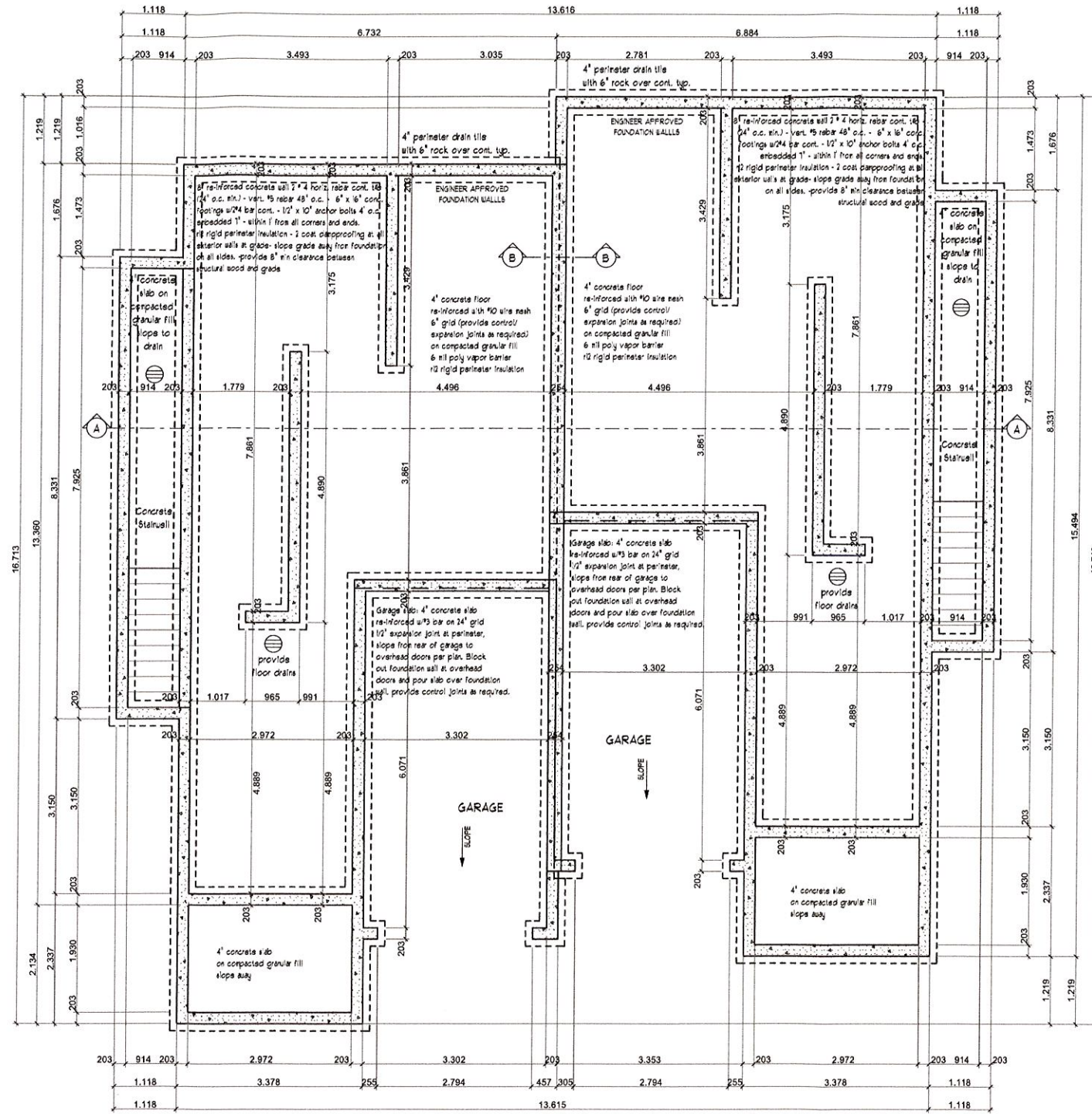


UPPER FLOOR & LOWER ROOF  
FRAMING GUIDE

1/4" = 1'-0"

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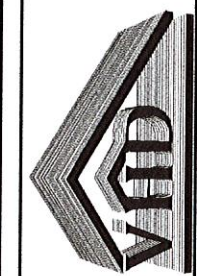
UNIT "B"

UNIT "A"

FOUNDATION PLAN

1/4" = 1'-0"

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date JAN.30,2017

A-6  
sheet number





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**ADDITIONAL NOTES  
NOT ON SECTION**

Window & Door required performance:  
DP = 140 PG + 30 Pa + 200

All wood framing in contact with concrete must be treated or separated by a waterproof gasket.

All Lumber #2 or better - S.P.F. unless otherwise noted.

Dryer vent directly under floor to exterior per local code. Provide weatherproof hood at exterior. Washer, gray box in sill for washer hookup. (Install washer & dryer in floor pan with drain)

Double glazing in thermal break frames not shown in section.

Caulk over and around all exterior openings.

All lumber including headers/studs and plates under bearing points to be #2 or #1 fir only.

Include bathroom and laundry fan size ducts as to spec.

Provide 4" fresh air supply to any woodburning appliances.

Provide continuous handrails on interior stairs.

1/2" drywall finish throughout.

R-28 insulation in all floors directly above garage and at cantilevers.

Maintain 2" clearance from framing to chimney.

Provide interconnected smoke and carbon monoxide alarm in all bedrooms. Hardwire a battery backup bell to N.B.C.

Flashing at all material changes.

Flashing at all exposed openings.

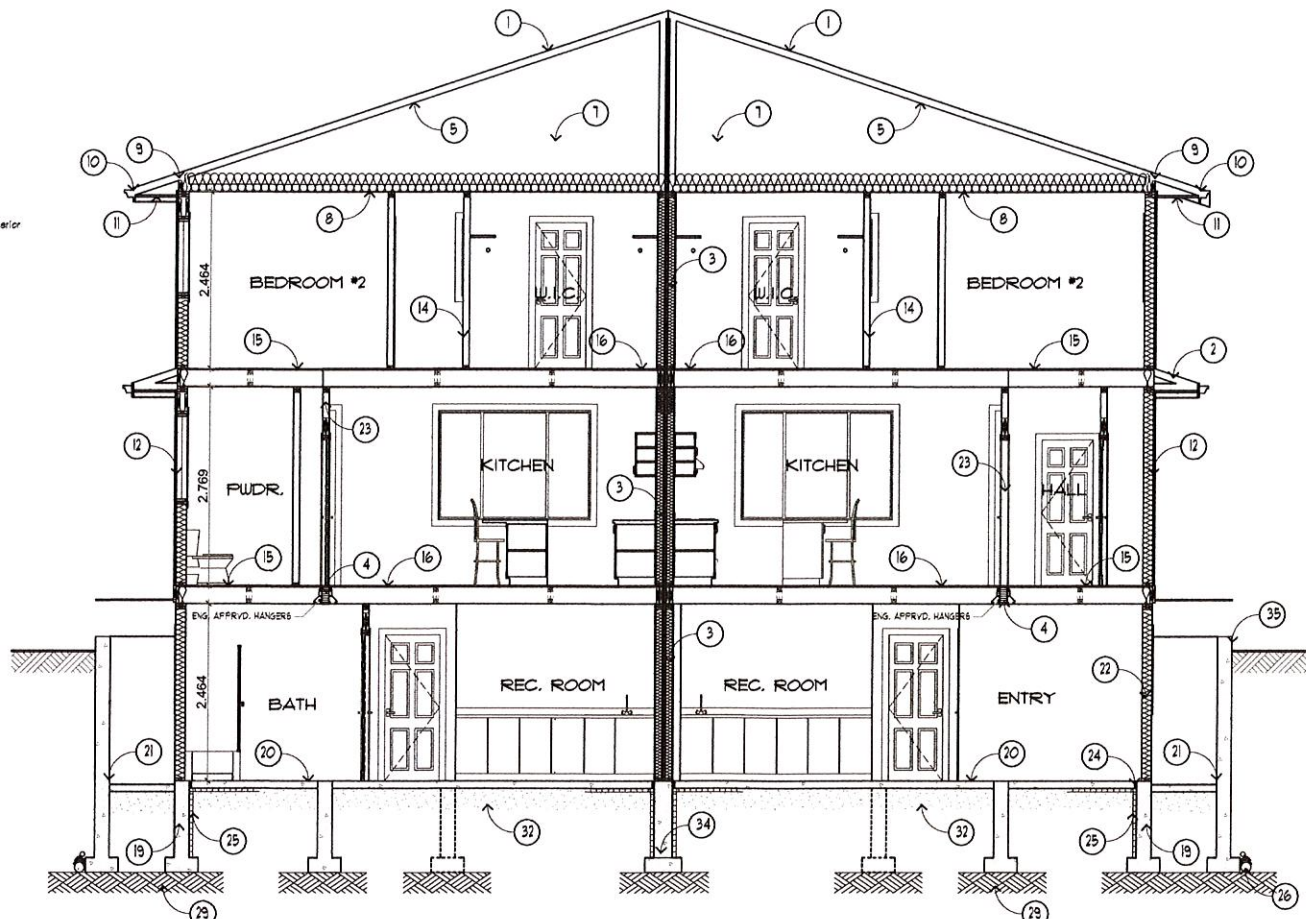
Provide engineer approval for bearing walls beyond 10'-0" in height.

Flush framed members to be anchored with girth metal joint hangers.

Provide roof vents.

Provide floor drains and sump pit if required.

Provide r/n increase per code.



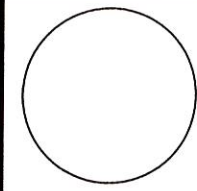
**SECTION A - A**

1/4" = 1'-0"

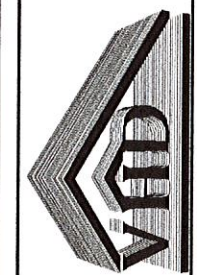
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**SECTION NOTES :**

- 1 Pre-engineered roof trusses 24" o.c. typ. 7/16" o.s.b. H clips asphalt roof
- 2 Pre-engineered Jack trusses 24" o.c. typ. 7/16" o.s.b. H clips asphalt roof
- 3 See Party Wall Detail
- 4 engineer approved laminated beam
- 5 All trusses designed by others
- 6 8x8 post
- 7 vent 1/300
- 8 r 40 insulation 6 mil poly vib. 1/2" ceiling board
- 9 provide 2" clear between truss and exterior wall w/baffle board extra protection to 2" beyond sheathing
- 10 2'-0" overhang w/continuous gutters and down spouts
- 11 Vented soffit 1/8" fascia w/5" gutter
- 12 Typical Ext. Siding Wall Construction: Hard-plank Siding (wall per 1910, spec. over 3/8" p.l. furring strips 12" o.c. finish screen - spaced) w/5" building paper and 7/16" O.S.B. ext. sheathing on 2x6 framing 16" o.c. w/ double top plate, firestop and corner bracing per code. Provide R24 batt insulation, 6mil poly and 1/2" gyp. board interior finish.
- 13 Typical Ext. Stucco Wall Construction: 1" acrylic stucco system on 1 1/2" - 2" stucco lath over breather board - 3/8" p.l. furring strips 12" o.c. finish screen - spaced) w/5" building paper and 7/16" O.S.B. ext. sheathing on 2x6 framing 16" o.c. w/ double top plate, firestop and corner bracing per code. Provide R24 batt insulation, 6mil poly and 1/2" gyp. board interior finish.
- 14 TYPICAL INTERIOR WALL CONSTR.: 2 x 4 studs at 16" o.c. (or as noted on plan) firestop per code. w/ 1/2" gyp. board finish. 1/2" water resistant bd. at tub/shower enclosures.
- 15 Typical Floor Construction: 3/4" T&G ply nailed and glued on 2x10 #2 SFF Floor Joists 16" o.c. or as noted. (glue T&G joints) solid blocking 6" o.c. max.
- 16 2x10 Floor Joists 16" o.c. 3/4" 1/2" ply nail & glue cross-bracing 6" o.c.
- 17 4" r/c ceiling cont. 4" r/c. baluster spacing
- 18 60 mil vinyl deck on 3/4" select T&G ply 2x10 T&G deck joists 16" o.c. slope to drain
- 19 REFER TO ENGINEER'S PLANS FOR ALL FOUNDATION 8" re-inforced concrete wall 2' x 4 horiz. rebar cont. 16 - 174" o.c. min. - vert. #5 rebar 48" o.c. - 6" x 18" conc. footings w/4 bar cont. - 12" x 12" anchor bolts 4' o.c. embedded 1" - 1/2" into 1' floor at corners and ends. R20 rigid perimeter insulation - 2 coat clampproofing at all exterior walls at grade - slope grade away from foundation on all sides. provide 6" min clearance between structural sood and grade
- 20 4" concrete floor - re-inforced with #2 w/s mesh - 6" grid (provide control/expansion joints as required) on compacted granular fill - 6 mil poly vapor barrier R20 rigid perimeter insulation
- 21 Concrete Starwall - Provide Drain
- 22 2x6 bearing walls 16" o.c. typ.
- 23 2x4 bearing walls 16" o.c. typ.
- 24 provide perimeter thermal break
- 25 R20 rigid insulation
- 26 4" drain tile with 6" rock over cont. typ.
- 27 30"x30"x8" re-inforced concrete footing 8" pilaster - 6" post saddle
- 28 4" re-inforced concrete slab on compacted granular fill slope away
- 29 undisturbed non-organic bearing soil
- 30 Garage slab: 4" concrete slab re-inforced w/3 bar on 24" grid 1/2" suspension joint at perimeter slope from rear of garage to overhead doors per plan. Block out foundation wall at overhead doors and post slab over foundation wall. provide control joints as required.
- 31 CSA Approved Electric Fireplace (refer to manufacturer's specification and code.
- 32 compacted granular fill
- 33 8"x8" type 1x1 hour rated gyp. board to be installed at all garage walls and ceilings adjacent to living areas (wrap all columns and beams). Accesses from garage to living areas must be metal clad or solid core fire rated door with auto-close hinges.
- 34 Engineer Approved 10" Concrete foundation wall on 8" x 20" footing
- 35 8" conc. #10/m to grade



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**A-7**  
sheet number



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**Insulation and Vapor Barrier**  
 Insulation to be continuous around all openings. Effective RSI values are calculated using the Parallel Path Method, with all parts of the assembly taken into account. Any deviation from listed assemblies must be reported to the Certified Energy Advisor (CEA) for RSI value recalculation. Insulation values not to be decreased below required levels at any point around major penetrations, wall-floor connections, window/floor headers, behind electrical breaker boxes, or around plumbing or ducting in walls. Refer to B.C.A.C. 9.36 for exceptions.

- Insulation Values are based on those in B.C.A.C. 9.36 for Zone 4 (4000 Heating Degree Days in Celsius Degree-Days):**
- Trusses or Rafters with Ceiling Joists ( attic spaces ) - R 39.34 - 6.81 RSI
  - Floors over unheated exterior space - R 25.52 - 4.67 RSI
  - Floors over garages - R 25.51 - 4.51 RSI
  - Cechnical Walls or Flat roofs - R 25.51 - 4.67 RSI
  - Exterior Walls above grade - R 15.79 - 2.78 RSI
  - Between Garage and Primary Residence - R 14.65 - 2.63 RSI
  - Foundation Walls < 600mm above grade or below grade - R 11.30 - 1.99 RSI
  - Heated Concrete Slabs (beneath and/or slab) - R 11.13 - 2.82 RSI
  - Concrete Floor Slab < below front line - R 11.13 - 1.96 RSI
  - Concrete Floor Slab > above front line - N/A - N/A

- Doors, Windows, and Skylights**  
 All windows, doors, and skylights to meet the requirements laid forth in B.C.A.C. 9.7, and 9.36. All windows, doors and skylights to comply with AMM/NOMA/CSA 102.5.2/AA40-08, "NAFS-North American Fenestration Standard/Specification for Windows, Doors, and Skylights", & AM4001-09
- Windows and Doors - U 0.31 - 1.89 USI
  - Front Entrance Door - U 0.48 - 2.60 USI
  - Glass Block - U 0.51 - 2.90 USI
  - Skylight - U 0.51 - 2.90 USI
  - Skylight with vents - R 15.79 - 2.78 RSI
  - Garage Doors - R 6.25 - 1.10 RSI
  - Slits built doors and windows to comply with 9.7.5 and 9.36.2.7(2)

**Thermal Resistance of Wall, Ceiling, and Floor Assemblies.**  
 All Thermal resistance calculations were done using the parallel path method as described in B.C.A.C. 9.36.2.4 (2)

**Roofs - Truss**  
 Ceiling Below Attic  
 Roof from bottom chord, diagonal member, 1/2" x 8" stud (2"x4")

Element	Details	Effective RSI	Notes
Continuous materials	Asph/Flt	0.00	1
Continuous materials	2x12' OSB	0.00	1
Continuous materials	Exterior air film	0.03	
Continuous materials	R25 Insulation	4.59	
Frame Cavity	Pre-engineered trusses with 2x12' OSB	1.75	2
Continuous materials	8 mil poly	0.00	2
Continuous materials	1/2" gypsum board	0.08	
Continuous materials	Interior air film	0.11	
<b>Total / 1/2" Membr B.C.B. 2013 &amp; 9.36 requirements</b>		<b>6.67</b>	<b>v</b>

1 - Layer is to the exterior of the vented roof air space, therefore excluded from calculation  
 2 - Frame Cavity 1. Layer filled with insulation

N Framing	N Cavity
min Framing	11
min Framing	89
<b>RSI Framing</b>	<b>RSI cavity</b>
0.21	1.10
<b>RSI</b>	<b>1.75</b>

**Walls Above and Not in Contact with Ground**  
 Wall Above Grade - Lumber Stud  
 Stud Spacing: 16" on center (2"x4")

Element	Details	Effective RSI	Notes
Continuous materials	Exterior air film	0.03	
Continuous materials	Horizontal siding	0.08	
Continuous materials	Ran sheath	0.16	2
Continuous materials	1 1/2" Insulation	2.58	2
Continuous materials	2x12' OSB exterior sheathing	0.09	
Frame Cavity	2x4 16" OC wood frame with R24 insulation	2.60	2
Continuous materials	8 mil poly	0.00	2
Continuous materials	1/2" gypsum board	0.08	
Continuous materials	Interior air film	0.11	
<b>Total / 1/2" Membr B.C.B. 2013 &amp; 9.36 requirements</b>		<b>3.74</b>	<b>v</b>

1 - As per information Ref: B.C.A.C. 9.36.2.4 - Calculating the Effective Thermal Resistance of " rainscreen " Wall Assemblies  
 2 - Layer has negligible contribution to effective thermal resistance

N Framing	N Cavity
min Framing	31
min Framing	77
<b>RSI Framing</b>	<b>RSI cavity</b>
1.60	4.21
<b>RSI</b>	<b>2.61</b>

**Walls Below and in Contact with Ground - Lower Floor**  
 Walls Below Grade - Concrete

Element	Details	Effective RSI	Notes
Continuous materials	2 coat waterproofing	0.00	1
Continuous materials	4" concrete wall	0.08	
Frame Cavity	2x4 16" OC with R24 insulation	1.81	2
Continuous materials	8 mil poly	0.00	2
Continuous materials	1/2" gypsum board	0.08	
Continuous materials	Interior air film	0.11	
<b>Total / 1/2" Membr B.C.B. 2013 &amp; 9.36 requirements</b>		<b>1.99</b>	<b>v</b>

1 - Layer has negligible contribution to effective thermal resistance  
 2 - Frame Cavity 1. Layer filled with insulation

N Framing	N Cavity
min Framing	16
min Framing	84
<b>RSI Framing</b>	<b>RSI cavity</b>
0.26	2.65
<b>RSI</b>	<b>1.81</b>

**Floors over Unheated Spaces**  
 Floors - 2" x 12" Floor Joists

Element	Details	Effective RSI	Notes
Continuous materials	Interior air film	0.16	
Continuous materials	Floor covering (hardwood assumed)	0.09	
Continuous materials	R25 plywood	0.17	
Frame Cavity	2" x 12" joists 16" OC with R24 batt insulation	4.44	1
Continuous materials	8 mil poly	0.00	2
Continuous materials	1/2" gypsum board	0.08	
Continuous materials	Interior air film	0.11	
<b>Total / 1/2" Membr B.C.B. 2013 &amp; 9.36 requirements</b>		<b>4.91</b>	<b>v</b>

1 - Frame Cavity 1. Layer filled with insulation

N Framing	N Cavity
min Framing	6
min Framing	23
<b>RSI Framing</b>	<b>RSI cavity</b>
1.77	4.03
<b>RSI</b>	<b>4.91</b>

2 - Layer filled with air

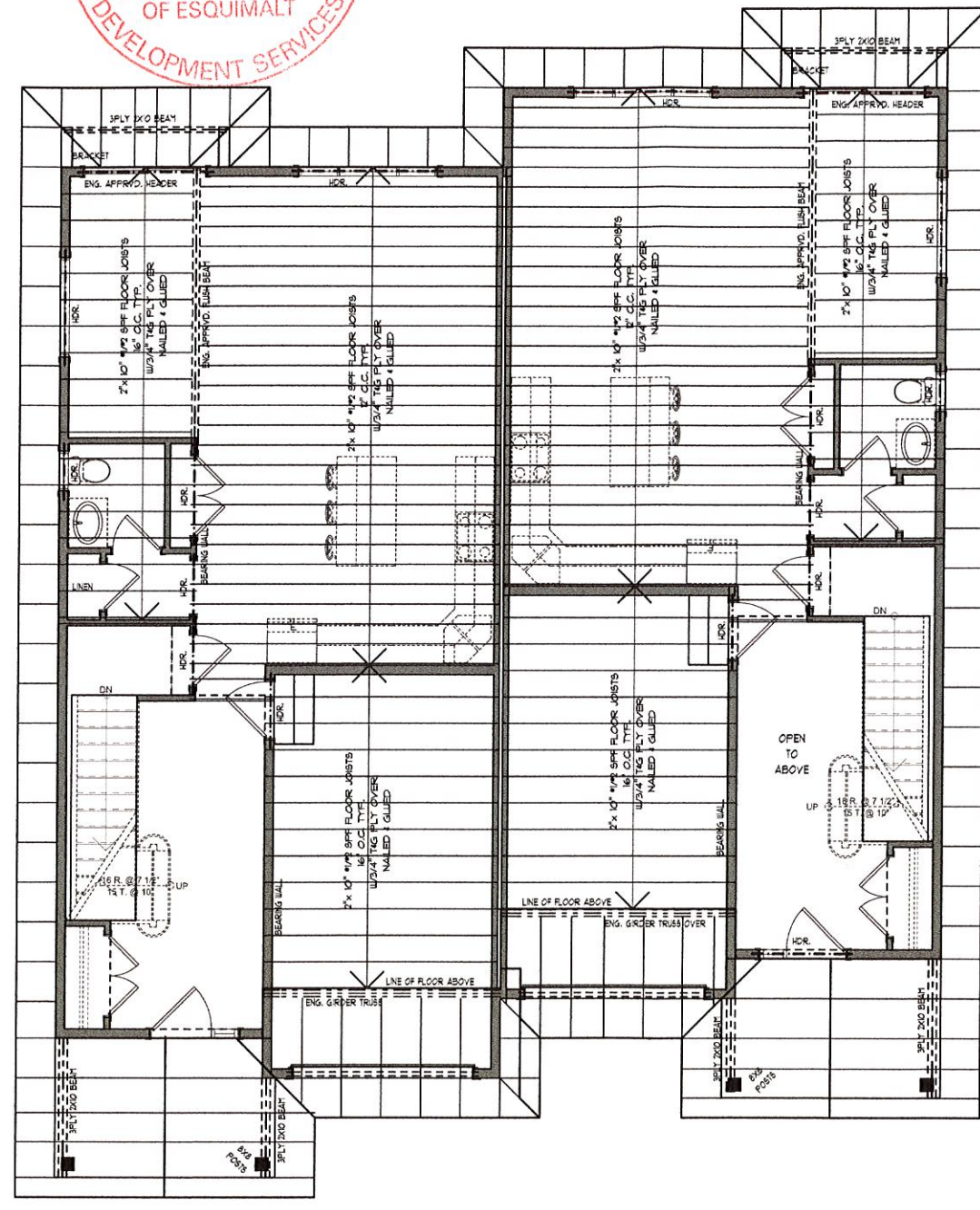
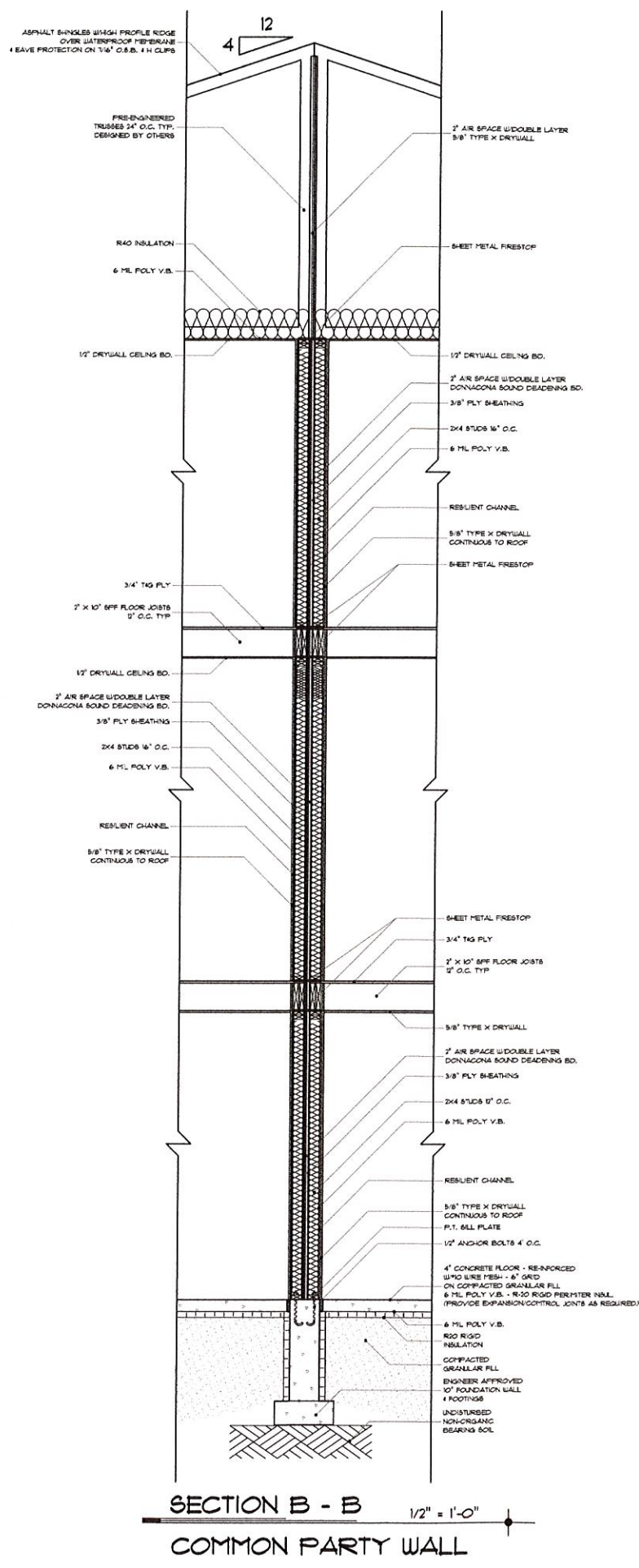
N Framing	N Cavity
min Framing	10
min Framing	20
<b>RSI Framing</b>	<b>RSI cavity</b>
0.83	0.13
<b>RSI</b>	<b>0.19</b>

3 - total

N Framing	N Cavity
min Framing	10
min Framing	20
<b>RSI Framing</b>	<b>RSI cavity</b>
0.83	0.13
<b>RSI</b>	<b>0.19</b>

**Subsoil/Grade**  
 Concrete Slab  
 4" Concrete Floor

Element	Details	Effective RSI	Notes
Continuous materials	Interior air film	0.16	
Continuous materials	4" concrete floor	0.04	
Continuous materials	R24 rigid insulation	3.52	
Continuous materials	R24 rigid insulation	3.73	v



**UPPER FLOOR & LOWER ROOF  
 FRAMING GUIDE**

NOTE: THESE PLANS ARE SUBJECT TO APPROVAL BY A QUALIFIED STRUCTURAL ENGINEER. SECTIONS AND FRAMING GUIDES ARE SCHEMATIC ONLY. REFER TO ENGINEER'S PLANS FOR ACTUAL LAYOUT AND INSTALLATION.

**Virtual Home Design**  
 P.O. Box 703  
 Sooke, B.C. Canada  
 V0S 1N0  
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**NOTE:**  
 Great care and effort have been taken in the making of this design and blueprint. Since variations can occur with site conditions, local building codes, municipal bylaws, weather conditions, etc., Virtual Home Design cannot assume any responsibility for damage as a result of errors or omissions. It is recommended that the owner and/or the builder consult a local engineer, and check with your local building officials prior to the start of construction.

**PLANS FOR:**

date **JAN.30,2017**

**A-8**  
 sheet number



**RECEIVED**  
**MAY 11 2017**  
 CORP OF TOWNSHIP  
 OF ESQUIMALT  
 DEVELOPMENT SERVICES

10' X 12' HIGH NEW PRIVACY SCREENING TO CREATE FORMAL LOOK AND FEEL. MATURE HEIGHT = 12'  
 10' X 12' TO SERVE AS TREE REPLACEMENT FOR REMOVED TREES  
 TREES NOT TO BE TOPPED OR REGULARLY SHEARED TO ALLOW FOR MATURE HEIGHT & SPREAD TO BE ACHIEVED.

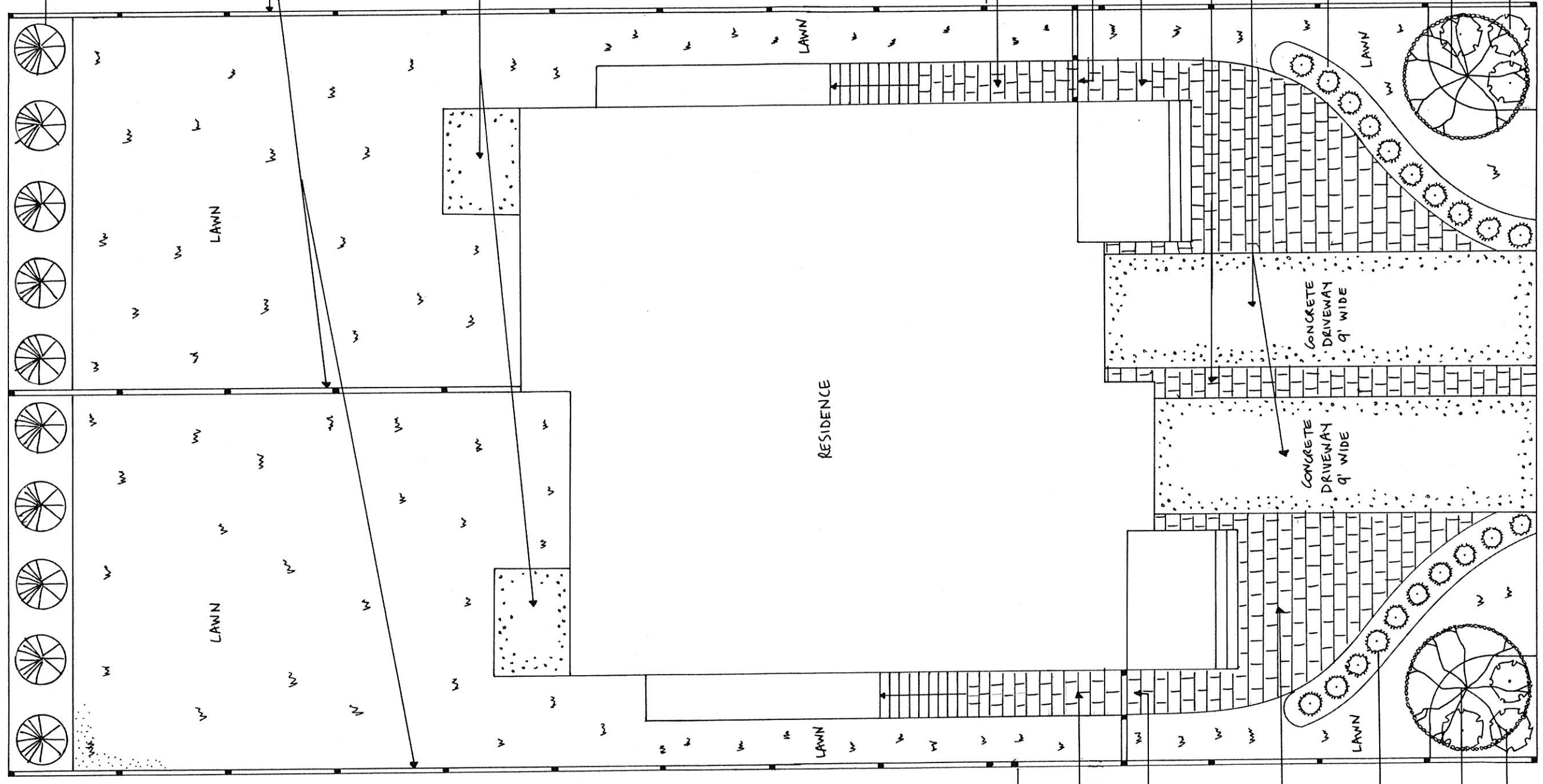
6' VERTICAL SLAT FENCE BORDERING BOTH SIDES OF REAR YARDS  
 4' X 4' POSTS & 8' WIDE PANELS

**LEGEND**  
 [Symbol] GRASS  
 [Symbol] CONCRETE  
 [Symbol] PAVERS

6' X 8'-6" CONCRETE PATIOS

0 1 2 4 8  
 SCALE: 3/16" = 1'-0"  
 PREPARED FOR:  
 DANIEL BREWSTER &  
 GUNEET LALLI  
 LOT 10, 11ST COLVILLE RD  
 ESQUIMALT BC  
 PREPARED BY:  
 SHAN MARCUS  
 THRIVE GARDENS &  
 LIVING SPACES  
 250. 885. 8154  
 SHAN@THRIVEGARDENS.CA  
 WWW.THRIVEGARDENS.CA  
 MAY 09, 2017

**FENCE INFO FOR BOTH UNITS:**  
 FENCE ABOVE THIS LINE (SIDE & REAR YARDS) TO BE 6' HIGH  
 FENCE BELOW THIS LINE (FRONT YARD) AND 2 M INTO SIDE YARD TO BE 1.2 M  
 FENCE STYLE: VERTICAL SLAT w/ 4" X 4" POSTS



VERTICAL SLAT FENCE 6'  
 FENCE 1.2 M VERTICAL SLAT  
 GATE  
 PAVING STONE WALKWAY  
 10' X 12' WIDE GARDEN BED  
 1' X 4' 3' X 6' RC

9' WIDE CONCRETE DRIVEWAYS  
 TOTAL OF TWO DRIVEWAYS = 5.5 M  
 ANY SURFACE MATERIAL BEYOND THE TWO STRIPS TO BE PAVING STONES  
 10' X 12' WIDE GARDEN BED

1' X 4' 3' X 6' RC IN GARDEN BED  
 3' X 6' RC IN GARDEN BED



# CORPORATION OF THE TOWNSHIP OF ESQUIMALT

Municipal Hall, 1229 Esquimalt Road, Esquimalt, B.C. V9A 3P1  
Telephone (250) 414-7100 Fax (250) 414-7111

APC Meeting: May 16, 2017

## STAFF REPORT

**DATE:** May 12, 2017  
**TO:** Chair and Members of the Advisory Planning Commission  
**FROM:** Karen Hay, Planner  
Bill Brown, Director of Development Services  
**SUBJECT:** Interim Amendments to Zoning Bylaw 1992, No. 2050

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### RECOMMENDATION:

That the Advisory Planning Commission [APC] consider the included zoning amendments [Appendix 'A'] to Zoning Bylaw 1992, No. 2050, provides comments on the proposed changes to the regulations; and **make a recommendation to either approve, or deny the changes; with reasons for the recommendation.**

### BACKGROUND:

#### Purpose:

This interim amendment bylaw is intended to provide clarification for Council, staff, residents and developers for Esquimalt's Zoning Bylaw 1992, No. 2050; and addresses issues that have arisen since the last amendments to the Zoning Bylaw.

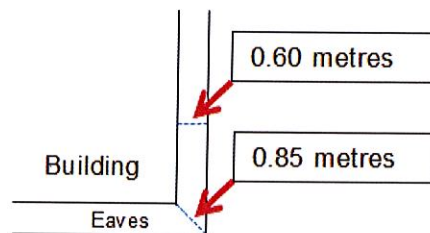
For the following please also refer to Appendix 'A' - attached, and your Zoning Bylaw (<https://www.esquimalt.ca/municipal-hall/bylaws/zoning-bylaw-consolidated>)

#### Summary of Definition changes:

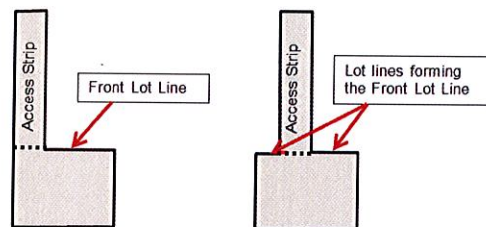
1. Accessory Building: Adds clarification that some of the objects included as landscaping (smaller play structures, pergolas) are not accessory buildings and therefore will not be treated as such in the siting regulations.
2. Fence: Clarification that within Esquimalt a hedge is not considered a fence.
3. Floor: Definition to be added as the zoning bylaw does not provide a definition and 'Floor' is used differently from 'Storey' within the zoning bylaw.



4. Floor Area and Floor Area Ratio: Clarify both definitions by removing reference to 'storey', which has caused some misunderstanding.
5. Landscaping:
  - a. Clarification that parking areas will be treated the same as driveways and not considered landscaping.
  - b. Clarification that children's playground equipment, including playhouses/ tree forts can be considered landscaping as long as they are not too large.
6. Lot Coverage:
  - a. Change to clarify that the lowest portion of a stairway (less than 0.4 metres above natural ground) at the entrance to a building will be treated the same as a patio and not counted toward the lot coverage calculation.
  - b. Change to clarify that eaves and canopies are not counted in the lot coverage calculation unless they are excessively large.



7. Lot Line, Front: clarify that a panhandle lot can have two lot lines adjoining the access strip which together form the 'front lot line' on some properties.



8. Dwelling - Townhouse: For clarification of the language that is used in the zoning bylaw the term 'Townhouse Residential' is added to the definition. Also, for clarity accessory buildings and accessory uses (home occupations) may occur on townhouse zoned property, unless specifically exclude from a zone.
9. Dwelling – Two Family: For clarification of the language that is used in the zoning bylaw the term 'Two Family Residential' is added to the definition.

### **Summary of changes to the General Regulations:**

1. Calculation of Floor Area and Floor Area Ratio: This section has been rewritten with new interpretation of which portions of buildings are counted when calculating the permitted density allowed on a parcel. 'Open to below' areas having no floor, stairways and dedicated bicycle storage facilities will now not be counted in any building. There is also clarity for Commercial, Institutional and Mixed Use Residential buildings that those areas used by all occupants will not be counted towards the floor area calculation.

2. **Height Calculations:** For clarification adding "or equal to" before 3:12, as it was unclear how a building with a roof pitch of exactly 3:12 would be calculated.
3. **Siting Exemptions:** This section deals with the features of a building that may protrude into required setbacks. The rewrite provides greater rationality for below grade stairwells that are an integral part of a building. The 0.9 metre exemption is based on *BC Building Code* requirements for satisfactory egress from a building but does not allow for the width of a wall. The proposed rewrite allows the outer wall for the stairwells to protrude into a setback.

### **Summary of changes to the Zones:**

In Sections 38, 39 and 40 (The two family residential zones) changes are proposed for the Garage Setback and Building Massing requirements.

1. **Garage Setback:** Rewritten for clarity that the garage must be setback from the front face of the 'building' instead of the 'dwelling unit'. In recent history, most garages have been set back from a covered entrance, which is technically not a part of the 'dwelling unit', as it is not a 'habitable room' (see the definition of 'dwelling unit' in the zoning bylaw).
2. **Building Massing:** To be replaced with 'Second Storey Setback', which is a requirement to force some articulation at the front of a proposed building; without the confusion of trying to calculate massing based on the proposed interior floor area.

### **Public Notification**

As this is a proposed amendment to the Zoning Bylaw a Public Hearing would be required, and notification would be provided in two editions of the Victoria News.

## Appendix A – Proposed 2017 Zoning Bylaw Revisions

### 1. Definitions:

- a. **Accessory Building:** Replace existing definition with:

**"Accessory Building"** means a Building or Structure:

- (1) having an area greater than 1.0 square metre;
- (2) located on the same Parcel as the Principal Building yet subordinate in area and extent, and whose purpose is customarily incidental to the Principal Building;
- (3) having no shower/ bathtub or cooking facilities;
- (4) includes but is not limited to a Garage, garden/storage shed, gazebo, workshop, studio and greenhouse;
- (5) does not include Landscaping."

- b. **Fence:** Add "or a hedge" to end of existing definition, (i.e. "but does not include a Retaining Wall, a Guard or a hedge.").

- c. Add definition: **"Floor"** means the lowest surface of a room(s).

- d. **Floor Area:** Replace existing definition with

**"Floor Area"** means the entire area which in plan is enclosed by the interior face of the exterior walls of a Building, calculated in accordance with Section 14.

- e. **Floor Area Ratio:** Remove "and Storeys" from existing definition.

- f. **Landscaping:** Add to existing definition:

"(7) children's play structures including playhouses, tree forts less than 4.0 square metres in area where the height to the mid-point of the roof is less than 1.8 metres above natural ground."

And change "and specifically excluding driveways of concrete/asphalt or a similar paving material."

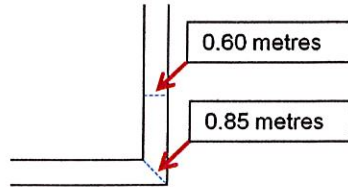
To read as: "and specifically excluding driveways and parking areas of concrete/asphalt or a similar paving material."



g. **Lot Coverage:** Add to existing definition:

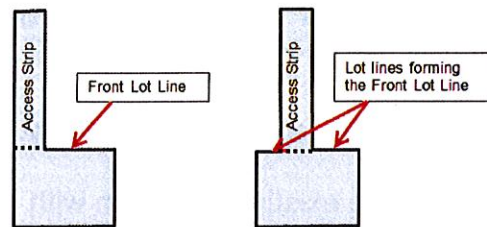
(3) that portion of a stairway less than 0.4 metres vertical distance above the natural surface of the ground at any point, and

(4) building eaves, canopies that extend no more than 0.60 metres from the building's exterior wall (0.85 metres at the building corners)."



h. **Lot Line, Front:** Change existing definition section (2) to read

(2) Where a Parcel is a Panhandle Lot, the Front Lot Line means the Lot Line(s) adjoining and approximately perpendicular to the Access Strip, excluding any lot line in the Access Strip.



i. **Dwelling - Townhouse:** Replace existing definition with

**“Dwelling – Townhouse” (also “Townhouse Residential”)** means a Building which contains three or more Dwelling Units, with each Dwelling Unit having its principal access from a separate exterior entrance, and

(1) may be accompanied by Accessory Buildings where specifically permitted by this bylaw; and

(2) may be accompanied by other Accessory Uses where specifically permitted by this bylaw.”

j. **Dwelling - Two Family:** Add in brackets (also “Two Family Residential”)

## 2. General Regulations

### a. Section 14. CALCULATION OF FLOOR AREA AND FLOOR AREA RATIO :

Replace with:

(1) The following shall not be included as Floor Area for the purposes of computing Floor Area Ratio:

- (a) balconies,
- (b) open decks and sun decks,
- (c) unenclosed porches and verandas,
- (d) chimneys forming part of an exterior wall,
- (e) projecting bay windows where the bottom of the window is located a minimum 0.3 metres above the Floor, and no area of the bay window in plan exceeds 1.0 square metre,
- (f) Accessory Buildings,
- (g) all portions of the Building used or intended to be used for the parking or movement of vehicles,
- (h) Notwithstanding section (g) the area used and maintained as a Garage, in a Principal Building, equal to or less than:
  - (i) 45 square metres in a Single Family Dwelling;
  - (ii) 40 square metres in a Two Family Dwelling;
  - (iii) 40 square metres per Dwelling Unit in a Townhouse Dwelling;(For certainty, the area of Garages exceeding the above amounts must be included),
- (i) secure bicycle storage facilities (bike lockers) not located within a Dwelling Unit,
- (j) staircases and stairwells,
- (k) areas having no Floor ('open to below'),
- (l) any portion of a penthouse containing elevator or ventilating machinery,
- (m) any portion of a Building where the ceiling height is less than 1.2 metres above the Floor; and

(n) any Basement, ground Floor, or portion thereof, within a Single Family, Two Family, or Townhouse Dwelling where the ceiling is less than 1.2 metres above the natural ground level at any point.

(2) In addition; the following shall not be included as Floor Area in Multiple Family Dwellings, Mixed Commercial/ Residential Buildings, Mixed Institutional/ Residential Buildings and Mixed Commercial/ Institutional Buildings,

(a) the Floor of any and all portions of the Building intended to be used by all occupants of the building, including but not limited to the following:

- (i) mezzanines,
- (ii) corridors and hallways,
- (iii) landings and foyers; and
- (iv) elevator shafts.

b. Section **15. HEIGHT CALCULATIONS**

Replace Section (2) with the following:

(2) For Buildings and Structures with a gable, hip, gambrel, or a sloping roof with a pitch greater than or equal to 3:12 and less than 12:12, height is measured from Grade to the midpoint between the eaves and highest ridge.

c. Section **16. SITING EXCEPTIONS**

Add to Section (1)

(f) that portion of a stairway less than 0.4 metres vertical distance above the natural surface of the ground at any point.

Replace Section (2) with the following:

(2) The required Setback may be reduced by not more than 0.9 metres only for the following features if projecting beyond the face of a Building:

- (a) below ground stairwells (allowing additional width for the below-ground-level-outside-supporting-wall), and
- (b) below ground window wells.

### 3. Zones

#### a. Section 38, 39, 40 – Building Massing

Replace with:

##### Second Storey Setback

The front face of the second storey shall be set back a minimum of 2.0 metres from the front face of the First Storey of the Principal Building.

#### b. Section 38, 39, 40 – Siting Requirements – **Garage Setback**

Replace with:

##### **Garage Setback**

Detached Garages, and that portion of a Principal Building used as a Garage, shall be set back a minimum of 1.5 metres from the front face of the Principal Building.