



## CORPORATION OF THE TOWNSHIP OF ESQUIMALT

### ADVISORY PLANNING COMMISSION AGENDA

TUESDAY June 19, 2018  
7:00 P.M.

### ESQUIMALT COUNCIL CHAMBERS

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- I. CALL TO ORDER
- II. LATE ITEMS
- III. ADOPTION OF AGENDA
- IV. ADOPTION OF MINUTES – None
- V. STAFF REPORTS

#### 1) DEVELOPMENT VARIANCE PERMIT

##### 1173 Old Esquimalt Road

[PID: 018-183-298, Lot 2, Section 11, Esquimalt District, Plan  
VIP56221]

##### Purpose of Application:

The applicant is seeking a development variance permit to decrease the required setback distance from the Rear Lot Line. The applicant is proposing to build a new deck, replacing and expanding their existing deck. The proposed deck will encroach into the rear setback up to the Statutory Right of Way. A development variance permit is required before a building permit can be issued for construction.

##### Recommendation:

The Advisory Planning Commission recommends to the Council that the application for a Development Variance Permit, authorizing construction into the rear setback as per plans prepared by Jay Meyer, stamped "Received June 4, 2018", and sited as per the site plan prepared by Island Land Surveying LTD, stamped "Received June 4, 2018", and including the following variance to the Zoning Bylaw 1992, No. 2050, for the property located at 1173 Old Esquimalt Road [PID: 018-183-298, Lot 2, Section 11, Esquimalt District, Plan VIP56221] be forwarded to Council with a recommendation to either approve, approve with conditions, or deny the application;

**Zoning Bylaw, 1992, No.2050, Section 35. (10)(a)(iii) – Setback Requirements – Principal Building.-** A 3.8 metre decrease to the requirement that no principal building be located within 7.5 metres of a Rear Lot Line, specifically for the deck located at the rear of the principal building. [i.e. from 7.5 metres to 3.7 metres].

- 2) REZONING APPLICATION to allow for a three lot residential subdivision at 901 Selkirk Avenue**  
PID [009-285-831]  
Lot 14, Block A, Section 10, Esquimalt District Plan 195 Except Part In Plans 12714, 13477, and 15155.

**Purpose of the Application:**

The applicant is seeking to create a site specific Comprehensive Development Zone for the subject property that will allow it to be subdivided into three residential lots for detached residential dwellings.

**Recommendation:**

The Esquimalt Advisory Planning Commission recommends that the application to rezone the subject property in order to allow it to be subdivided into three residential lots as illustrated in the Proposed Subdivision Survey prepared by Explorer Land Surveying Inc. dated received May 18, 2018 (Schedule “A”) with the proposed zoning bylaw regulations as set out in the attached Info Sheet (Schedule “B”), be forwarded to Council with a recommendation to either approve, approve with conditions, or deny the application including reasons for the chosen recommendation.

**3) ZONING TEXT AMENDMENTS**

**Purpose:**

This latest interim amendment bylaw is intended to provide clarification for Council, staff, residents, and developers for Esquimalt’s Zoning Bylaw 1992, No. 2050; and addresses issues that have arisen since the last amendments to the Zoning Bylaw.

**Recommendation:**

That the Advisory Planning Commission [APC] consider the included zoning amendments [Appendix ‘A’] to Zoning Bylaw 1992, No. 2050, provides comments on the proposed changes to the regulations; and make a recommendation to either approve, or deny the changes; with reasons for the recommendation.

**VI. NEXT REGULAR MEETING**

Tuesday, July 17, 2018

**VII. ADJOURNMENT**



# CORPORATION OF THE TOWNSHIP OF ESQUIMALT

Municipal Hall, 1229 Esquimalt Road, Esquimalt, B.C. V9A 3P1  
Telephone (250) 414-7100 Fax (250) 414-7111

**APC Meeting: June 19, 2018**

## STAFF REPORT

**DATE:** June 14, 2018

**TO:** Chair and Members of the Advisory Planning Commission

**FROM:** Janany Nagulan, Planner 1  
Bill Brown, Director of Development Services

**SUBJECT: DEVELOPMENT VARIANCE PERMIT**  
**1173 Old Esquimalt Road**  
[PID: 018-183-298, Lot 2, Section 11, Esquimalt District, Plan  
VIP56221]

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### RECOMMENDATION:

The Advisory Planning Commission recommends to the Council that the application for a Development Variance, authorizing construction into the rear setback as per plans prepared by Jay Meyer, stamped "Received June 4, 2018", and sited as the site plan prepared by Island Land Surveying LTD, stamped "Received June 4, 2018", and including the following variance to the Zoning Bylaw 1992, No. 2050, for the property located at 1173 Old Esquimalt Road [PID: 018-183-298, Lot 2, Section 11, Esquimalt District, Plan VIP56221] be forwarded to Council with a recommendation **to either approve, approve with conditions, or deny the application;**

**Zoning Bylaw, 1992, No.2050, Section 35. (10)(a)(iii) – Setback Requirements – Principal Building.- A 3.8 metre decrease to the requirement that no principal building be located within 7.5 metres of a Rear Lot Line, specifically for the deck located at the rear of the principal building. [i.e. from 7.5 metres to 3.7 metres]**

### BACKGROUND:

#### Purpose of the Application

The applicant is seeking a development variance permit to decrease the required setback distance from the Rear Lot Line. The applicant is proposing to build a new deck, replacing and expanding their existing deck. The proposed deck will encroach into the rear setback up to the Statutory Right of Way. A development variance permit is required before a building permit can be issued for construction.

**Context**

**Applicant:** Jordan Grant

**Owner:** Allen & Linda Meyer

**Property Size: Metric:** 792.91 m<sup>2</sup>                      **Imperial:** 8534.81 ft<sup>2</sup>

**Existing Land Use:** Single Family Dwelling

**Surrounding Land Uses:**

<b>North:</b>	Park
<b>South:</b>	Single Family Dwelling
<b>East:</b>	Park
<b>West:</b>	Single Family Dwelling

**Existing Zoning:** RS-2 [Single Family Panhandle Residential] [No change required]

**Zoning**

The subject property is in the Single Family Panhandle Residential [RS-2] Zone. The siting Requirement for a Principal Dwelling in the RS-2 zone is at least 7.5 metres from the Rear Lot Line. The applicant would like to build a new rear deck, replacing and expanding the deck to connect together an area for entertaining. The proposed deck would encroach into the rear setback and would be 3.7 metres from the Rear Lot Line. With the expanded deck the lot coverage will meet the requirements of the zone and will not exceed 30% of the Area of the Parcel.

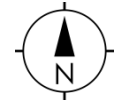
**Public Notification**

As this is a development variance permit application, should it proceed to Council, a notice will be mailed to tenants and owners of properties within 50 metres (164 feet) of the subject property.

**ALTERNATIVES:**

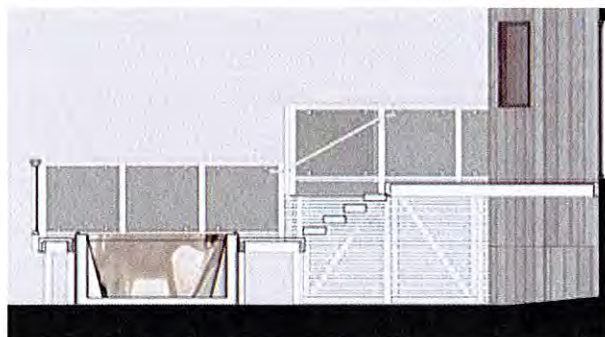
1. Forward the application for a Development Variance Permit to Council with a **recommendation of approval including reasons for the recommendation.**
2. Forward the application for a Development Variance Permit to Council with a **recommendation of approval including specific conditions and including reasons for the recommendation.**
3. Forward the application for a Development Variance Permit to Council with a **recommendation of denial including reasons for the recommendation.**

1173 Old Esquimalt Road



1173 Old Esquimalt Road - House Renovations

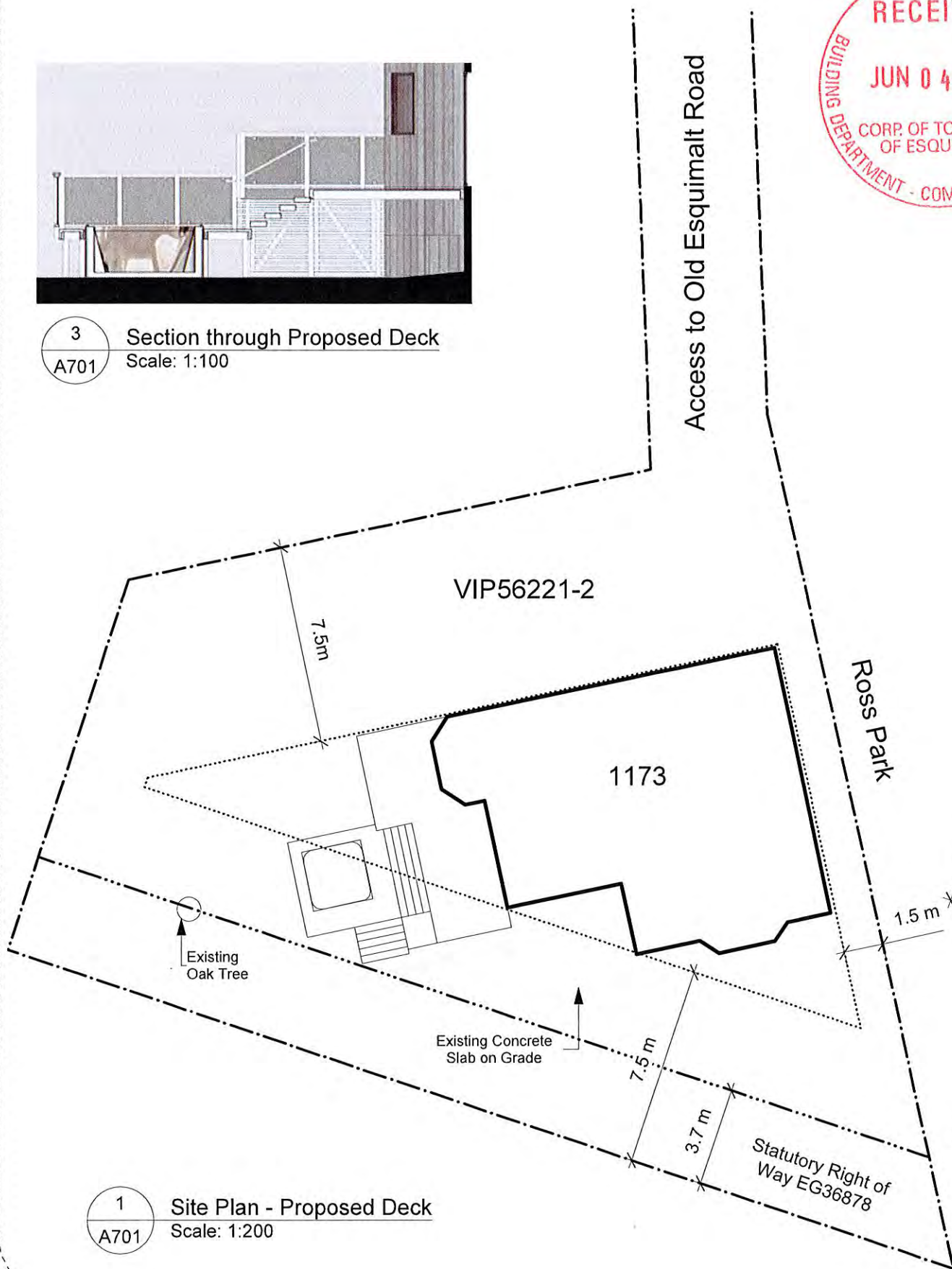
May 30, 2018 - PROPOSED DECK



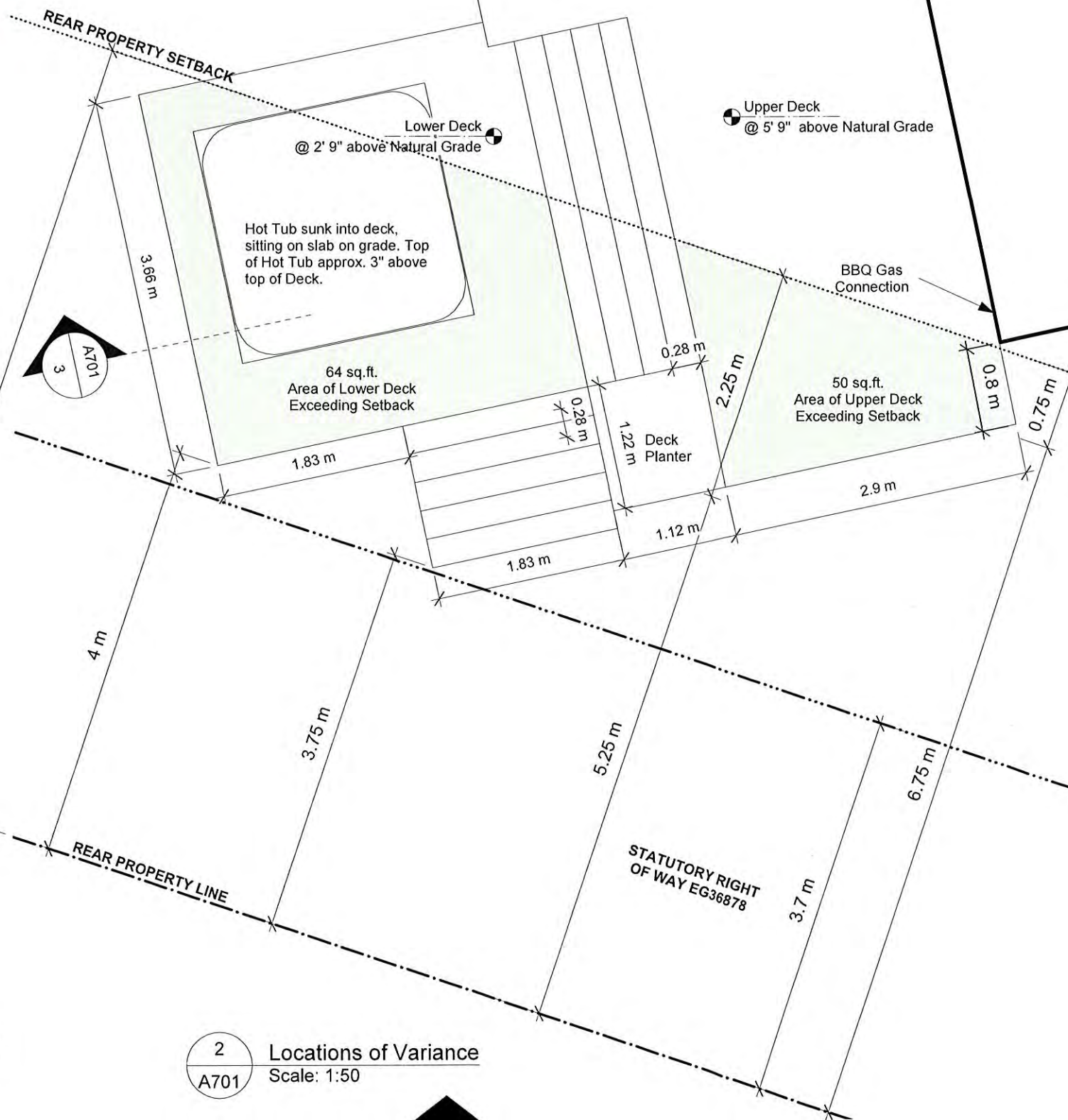
3 Section through Proposed Deck  
Scale: 1:100



Access to Old Esquimalt Road



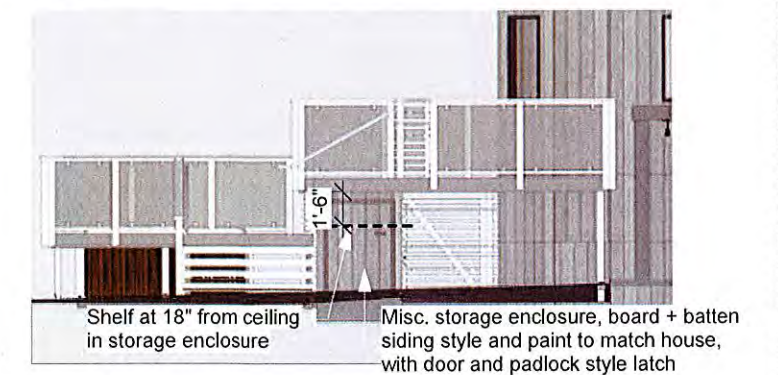
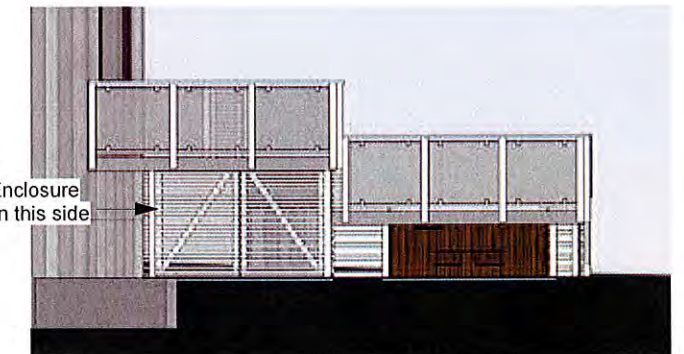
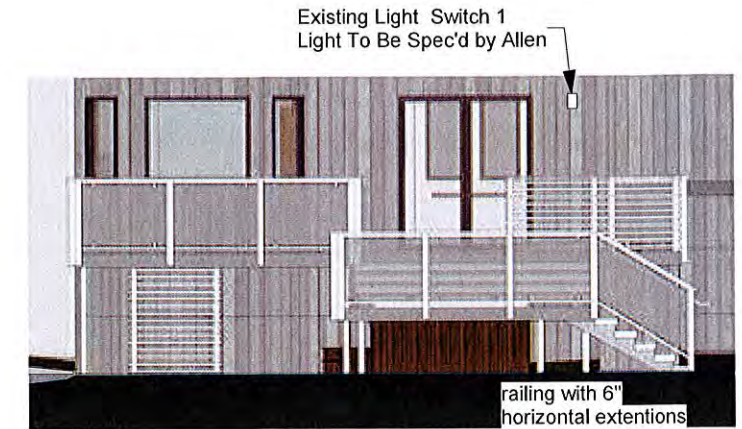
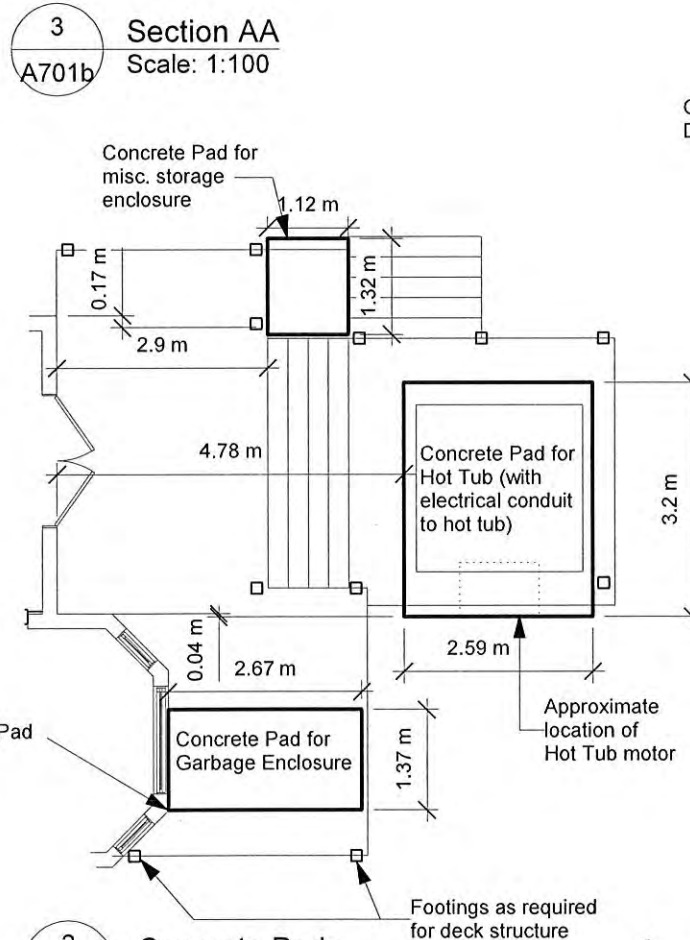
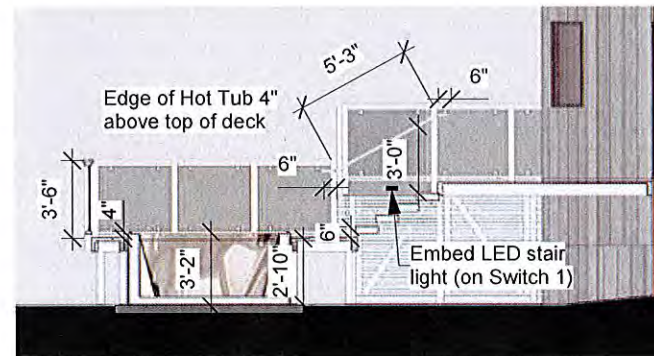
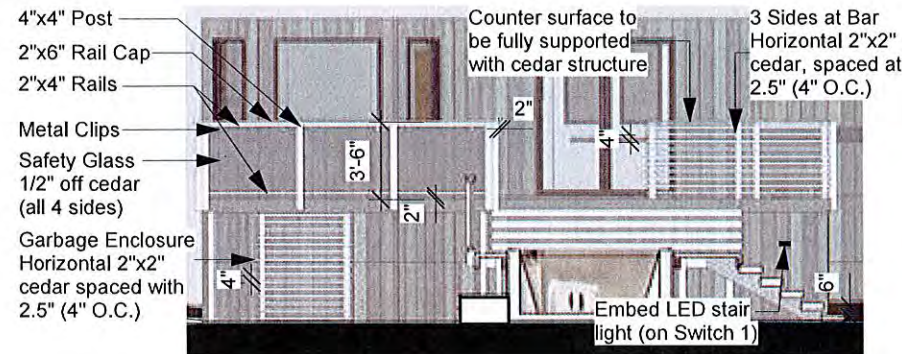
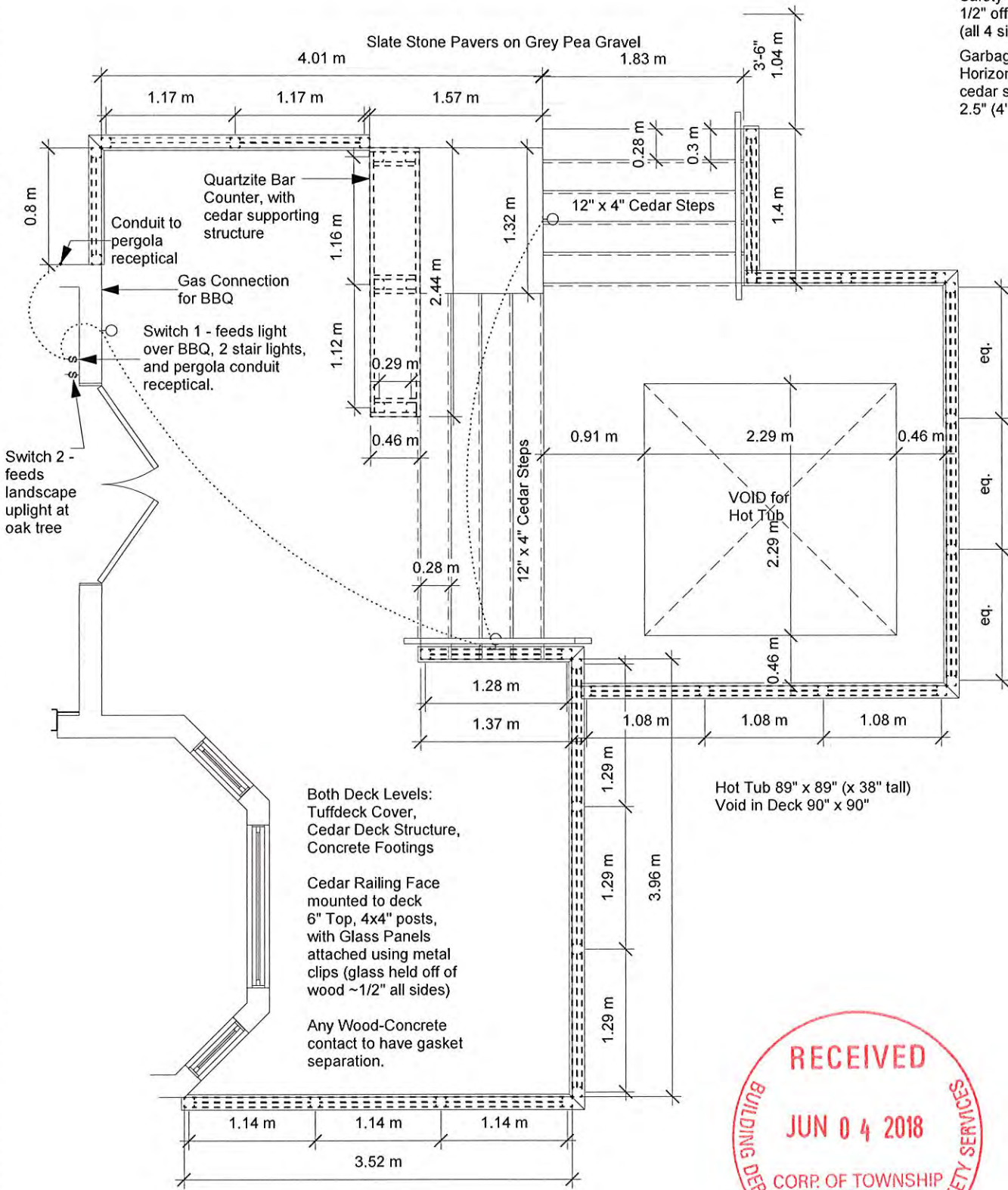
1 Site Plan - Proposed Deck  
Scale: 1:200



2 Locations of Variance  
Scale: 1:50

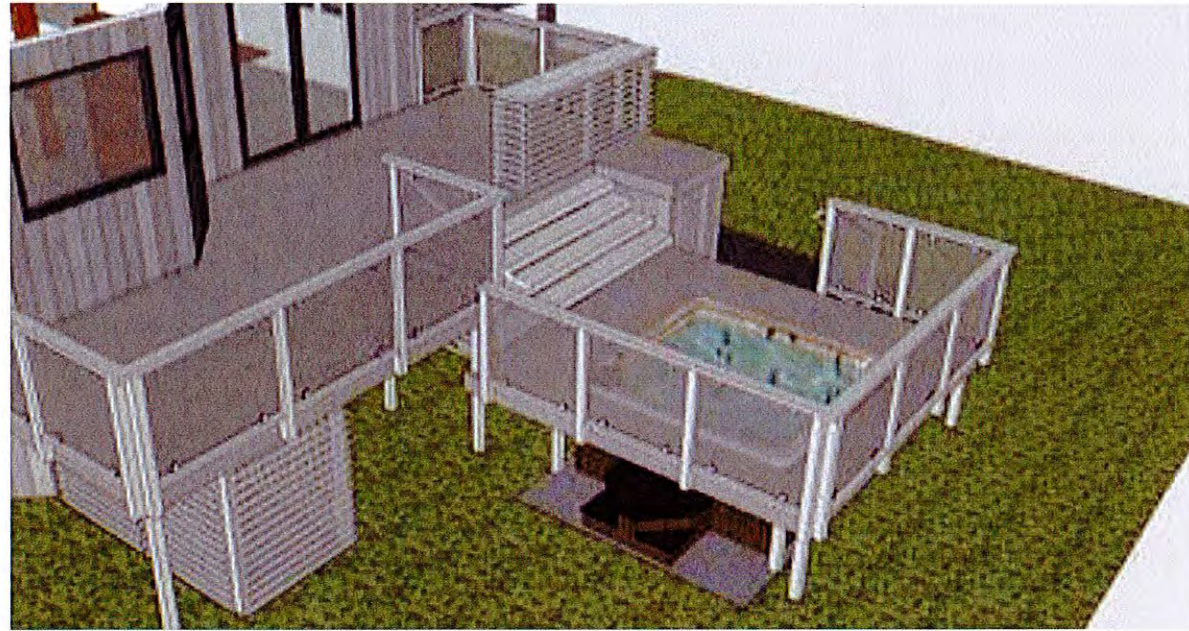
# 1173 Old Esquimalt Road - House Renovations

May 30, 2018 - PROPOSED DECK



1173 Old Esquimalt Road - House Renovations

May 30, 2018 - PROPOSED DECK

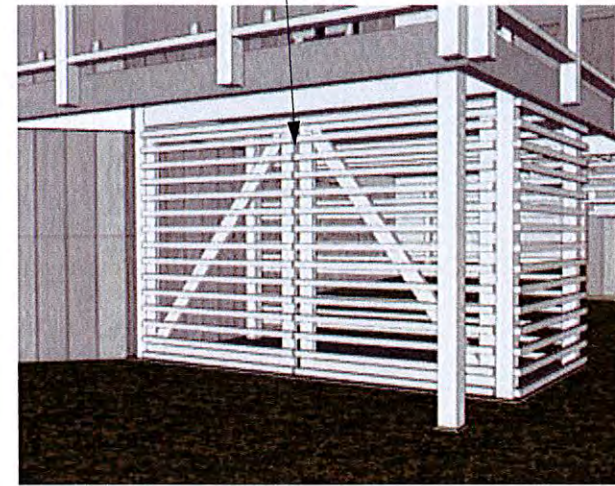


2 NW Aerial Perspective of Deck  
A701c N.T.S.



1 SW Aerial Perspective of Deck  
A701c N.T.S.

Add Latch for Pad Lock



5 Garbage Enclosure  
A701c N.T.S.



4 Upper Deck Railing  
A701c N.T.S.



3 Lower Deck Railing  
A701c N.T.S.



Ensure Door Height able to swing free u/s deck structure

6 Garbage Enclosure Open  
A701c N.T.S.





# SITE PLAN OF LOT 2, SECTION 11, ESQUIMALT DISTRICT, PLAN VIP56221.



SCALE=1:250. All distances are in metres.

**NOTE:**

Lot dimensions shown are based upon Plan VIP56221.

Lot dimensions, offsets, and area shown may vary upon completion of a comprehensive legal survey. Geodetic elevations shown are based upon observations to geodetic control monuments 84H0165 (Elevation=45.733m) and 84H0173 (Elevation=49.895m).

This plan is for building design & permit purposes only and is for the exclusive use of our client. This plan shall not be used to define property lines or property corners. Unregistered interests have not been included or considered.

**LEGEND**

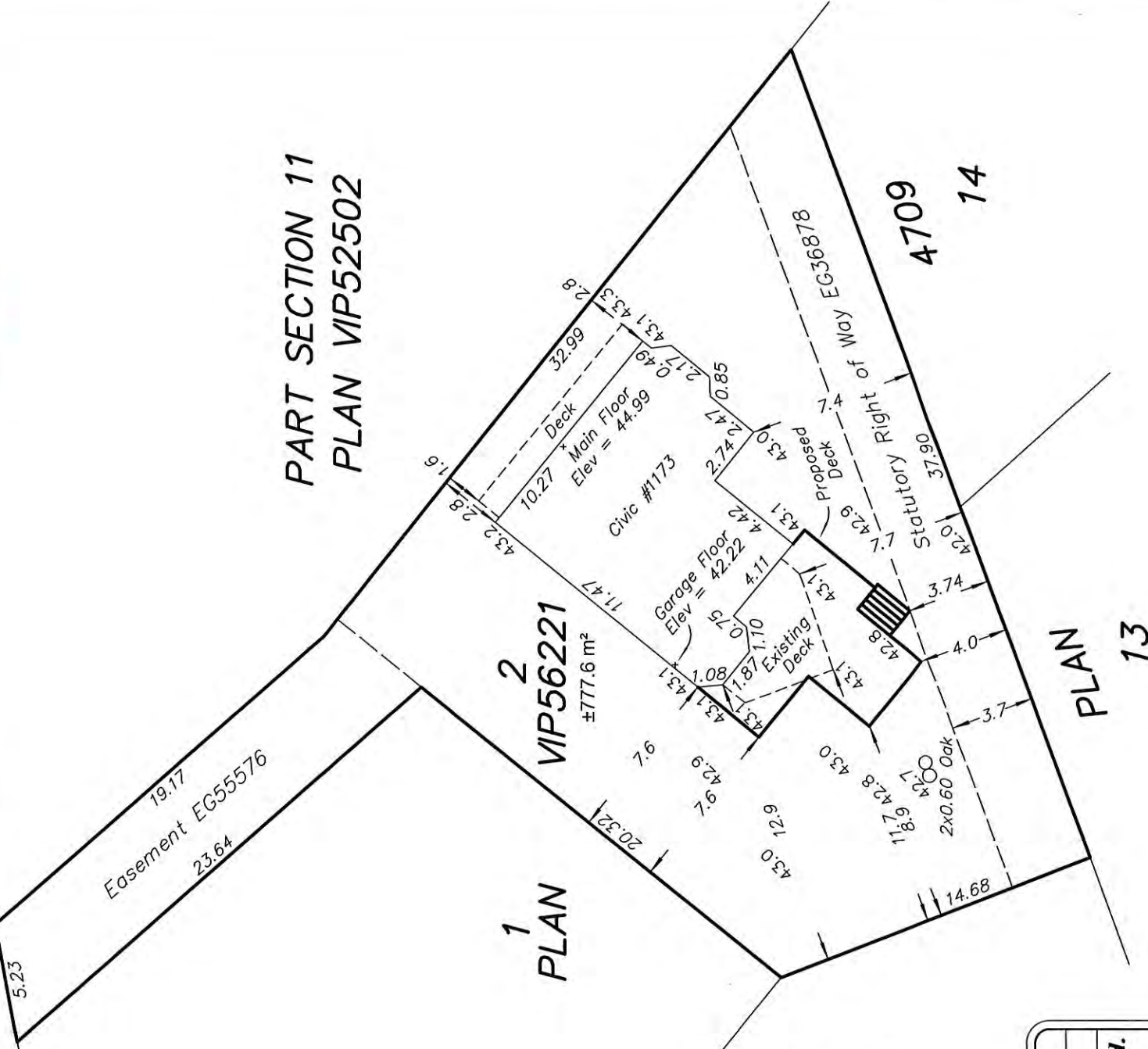
- 0.35 Tree location and diameter
- ### Denotes ground elevation

Field survey dated April 30, 2018.

The parcel is subject to charges:  
Statutory Right of Way EG36878  
Easement EG55576



OLD ESQUIMALT ROAD



PART SECTION 11  
PLAN VIP52502

2  
VIP56221  
±777.6 m<sup>2</sup>

1  
PLAN

STRATA  
PLAN  
VIS6695

File: 19-LIDA-SP3

Date: June 1, 2018

**Island Land Surveying Ltd.**  
#117-693 Hoffman Avenue  
Victoria B.C. V9B 4X1  
Tel 250.475.1515 Fax 250.475.1516  
www.islandsurveying.ca



# CORPORATION OF THE TOWNSHIP OF ESQUIMALT

Municipal Hall, 1229 Esquimalt Road, Esquimalt, B.C. V9A 3P1  
Telephone (250) 414-7100 Fax (250) 414-7111

APC Meeting: June 19, 2018

## STAFF REPORT

**DATE:** June 15, 2018

**TO:** Chair and Members of the Advisory Planning Commission

**FROM:** Bill Brown, Director of Development Services

**SUBJECT:** **REZONING APPLICATION to allow for a three lot residential subdivision  
901 Selkirk Avenue  
PID [009-285-831]  
Lot 14, Block A, Section 10, Esquimalt District Plan 195 Except Part In  
Plans 12714, 13477, and 15155.**

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### RECOMMENDATION:

The Esquimalt Advisory Planning Commission recommends that the application to rezoning the subject property in order to allow it to be subdivided into three residential lots as illustrated in the Proposed Subdivision Survey prepared by Explorer Land Surveying Inc. dated received May 18, 2018 (Schedule "A") with the proposed zoning bylaw regulations as set out in the attached Info Sheet (Schedule "B"), be forwarded to Council with a recommendation **to either approve, approve with conditions, or deny the application including reasons for the chosen recommendation.**

### BACKGROUND:

#### Purpose of the Application:

The purpose of the application is to create a site specific Comprehensive Development Zone for the subject property that will allow it to be subdivided into three residential lots for detached residential dwellings.

**Evaluation of this application should focus on the proposed siting, height, mass, density, lot coverage, usable open space, parking, fit with the neighbourhood, and consistency with the overall direction contained within the Official Community Plan.**

#### Context

**Applicant:** Kors Development Services Inc. [Denise Kors]

**Owner:** Radius Property Group Inc., Inc. No. BC1019960

**Property Size:** Metric: 1058 m<sup>2</sup> Imperial: 11388.6 ft<sup>2</sup>

**Existing Land Use:** Vacant

**Surrounding Land Uses:**

North: Detached Residential Dwelling  
South: Detached Residential Dwelling  
West: Two-unit Residential Dwelling  
East: Detached Residential Dwelling

**Existing OCP Designation:** Single and Two-unit residential

**Proposed OCP Designation:** No change proposed

**Existing Zoning:** RD-1 [Two Family Residential]

**Proposed Zoning:** CD [Comprehensive Development District]

**Zoning**

The proposed zoning regulations are set out in the Info Sheet attached as Schedule “B”. Also attached are site plans for each proposed dwelling (Schedule “C”). These plans include the proposed setbacks for each dwelling.

**Official Community Plan**

An analysis of the relevant OPC policies is set out in the Info Sheet attached as Schedule “B”.

**Green Building Features**

The applicant has completed the Esquimalt Green Building Checklist (Schedule “D”). An Arborist’s Report is attached as Schedule “E”.

**Public Notification**

As this is a Rezoning application, should it proceed to a Public Hearing, notice would be mailed to tenants and owners of properties within 100m (328ft) of the subject property. This sign would be updated to include the date, time, and location of the Public Hearing.

**ALTERNATIVES:**

1. Forward the application for Rezoning to Council with a **recommendation of approval including reasons for the recommendation.**
2. Forward the application for Rezoning to Council with a **recommendation of approval including specific conditions and including reasons for the recommendation.**
3. Forward the application for Rezoning to Council with a **recommendation of denial including reasons for the recommendation.**

**B.C. LAND SURVEYOR'S PROPOSED SUBDIVISION SURVEY OF:**

**LOT 14, BLOCK A, SECTION 10, ESQUIMALT DISTRICT, PLAN 195 EXCEPT PART IN PLANS 12714, 13477, AND 15155**

**SCALE:**



All distances are in metres.  
The intended plot size of this plan is 432mm in width by 280mm in height (B size) when plotted at a scale of 1:250

**Parcel Identification Number (PID)**

009-285-831

**SITE AREA**

1058 m<sup>2</sup>

**MUNICIPALITY**

ESQUIMALT

**CIVIC ADDRESS**

901 Selkirk Ave  
VICTORIA, BC

**ZONING**

RD-1

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This document was prepared for the exclusive use of our client, Amit Sandhu

\*This document is intended for use as a topographic plan. It is based on Land Title Office records, and does not represent a boundary survey. Critical lot dimensions and areas must be confirmed by a proper cadastral survey.

Undersurface charges and covenant will not be shown on this survey unless such documents are provided and it can be shown in two dimensional view.

Explorer Land Surveying Inc., accepts no responsibility or liability for any damages that may be suffered by a third party as a result of any decisions made or actions taken based on this document.

FILE: 11556  
DWG/DATE: 11556- 901Selkirk/2018-5-02

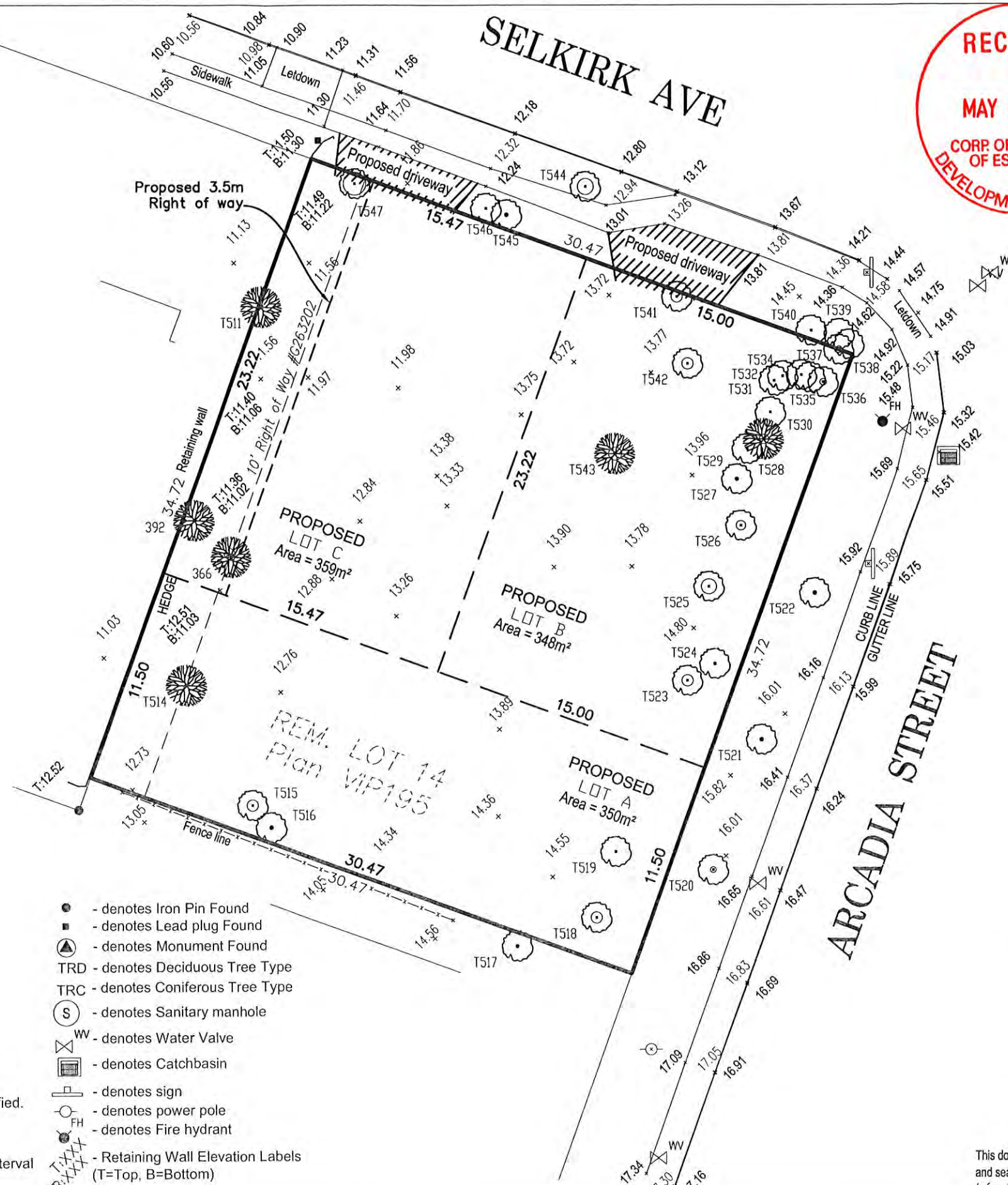
133-1335 Bear Mountain Pkwy  
Victoria, B. C. V9B 6T9  
Tel: (250) 381-2257  
email: kenneth@explorersurvey.com

**LEGEND**

Elevations are geodetic based on Integrated survey monument 84H0203 in Esquimalt at elevation 15.460m.

Note: Only trees with Trunk greater than 0.20m are identified. Consult Arborist to verify tree species  
Grade shots are taken at the point marked X  
Contours are descriptive, and only accurate to +/- 0.5m interval

- - denotes Iron Pin Found
- - denotes Lead plug Found
- ▲ - denotes Monument Found
- TRD - denotes Deciduous Tree Type
- TRC - denotes Coniferous Tree Type
- (S) - denotes Sanitary manhole
- ⊗ - denotes Water Valve
- ☒ - denotes Catchbasin
- ♣ - denotes sign
- - denotes power pole
- ⊕ - denotes Fire hydrant
- ⊕ - Retaining Wall Elevation Labels (T=Top, B=Bottom)



**CERTIFIED CORRECT**

Lot dimensions are correct according to Land Title Office records.

Kenneth Ng  
PICY1F

Digitally signed by Kenneth Ng PICY1F  
DN: cn=Kenneth Ng, o=BC Land Surveyor, ou=Verify ID at www.juricert.com/LKUP.cfm? id=PICY1F  
Date: 2018.05.11 11:19:59 -07:00

Kenneth KC Ng, BCLS  
Field Survey - 20 February, 2018  
Dated this 2nd of May, 2018

This document is not valid unless originally signed and sealed or digitally signed with Juricert digital signature.  
Info: <https://www.juricert.com>

**Rezoning & Subdivision Applications for**  
**901 Selkirk Ave**  
**INFO SHEET**

*Registered Owner:*

Radius Property Group Inc  
c/o Amit Sandhu  
1435 Braefoot Close  
Victoria, BC V8X 2B8

*Applicant:*

Kors Development Services Inc  
2618 Natalie Road  
Shawnigan Lake, BC V0R 2W2  
250-686-7125 [denise@korsdevelopment.com]

*Civic Address:* 901 Selkirk Ave, Esquimalt, BC

*Legal Description:* Lot 14, Block A, Section 10, Esquimalt District, Plan 195 Except Part in Plans  
12714, 13477, and 15155  
PID: 009-285-831

*Approximate Lot Area:* 1058 m<sup>2</sup> (approx.)

*Existing Zoning:* RD-1 Two Family Residential

*OCP Designation:* Within the "Single and Two Unit" Area of Schedule A of the the OCP – Within  
DPA No 5 – Enhanced Design Control Residential Development Permit Area of  
Schedule C.

*OCP Policies:* *Policy 2.0.1 (e)* To encourage small scale redevelopment / infill that improves  
and enhances the appearance and livability of single-unit and two-unit  
neighbourhoods and the community as a whole.

*Policy 2.2.1 (b)* To encourage new residential development with high design  
standards for building and landscaping and which enhance existing and new  
neighbourhoods.

*Policy 2.2.3 (a)* Proposed subdivisions or redevelopment/infill within established  
single-unit and two-unit residential areas must be built to high design and  
landscaping standards and respond sensitively to existing neighbourhood  
amenities and existing significant views.

*Adjacent land uses:* Immediately surrounding the subject property to the west is an existing  
duplex (RD-1) and to the south is a single family home zoned RD-3. Across the  
street to the north and to the east are single family homes (RS-1).



*Area Services:* This lot is close to the BC Transit Bus Route 14 which runs on Craigflower St between UVic and Victoria General Hospital. The #26 Route runs on Tillicum Rd close to this property between the dockyard and UVic. Local Shopping is available nearby and there are numerous local parks and schools.

*Existing Grades:* Grades are moderately sloping from east to west. Grades are provided on the attached proposed plan of subdivision.

### **Development Proposal**

*Proposed Use:* A subdivision of the existing vacant lot to create two new lots under a new Comprehensive Development zone. Lot A will face Arcadia Street and Lots B and C will face Selkirk Ave. Details on the size and dimensions of the proposed lots are provided in the table below.

	<b>Lot Area</b>	<b>Lot Width</b>	<b>Lot Depth</b>
<b>Proposed Lot A</b>	350 m <sup>2</sup>	11.5 m	30.47 m
<b>Proposed Lot B</b>	348 m <sup>2</sup>	15.0 m	23.22 m
<b>Proposed Lot C</b>	359 m <sup>2</sup>	15.47 m	23.22 m

New houses are proposed for all three lots and the proposed house design plans and a streetscape are attached. Prior to proceeding with the application, reviews with staff yielded the design criteria for the proposed CD zone as noted in this table below.

	<b>Lot A – Arcadia St</b>	<b>Lot B Selkirk Corner</b>	<b>Lot C Selkirk Interior</b>
<b>Lot Area</b>	350m <sup>2</sup> 3767 sf	348m <sup>2</sup> 3749sf	359m <sup>2</sup> 3866sf
<b>Lot Width</b>	11.5m 37.7ft	15m 49ft	15.47m 50ft
<b>Front Setback</b>	6m 19.6ft	5.5m 18ft	5.5m 18ft
<b>Rear Setback</b>	7.5m 24.6ft	6m 19.6ft	6m 19.6ft
<b>Exterior Side Setback</b>		3.6m West 11.8ft	
<b>Interior Side Setback</b>	1.8m (5.9ft) South & 1.5m (4.9ft) North	1.5m East 4.9ft	3.5m (11.5ft) West (new ROW) & 1.5m (4.9ft) East
<b>Allowable FSR (0.38)</b>	133m <sup>2</sup> 1431sf	132.3 m <sup>2</sup> 1424sf	136.4m <sup>2</sup> 1468sf
<b>Allowable Site Coverage (30%)</b>	105m <sup>2</sup> 1130sf	104.4m <sup>2</sup> 1123sf	107.7m <sup>2</sup> 1159sf
<b>Height</b>	7.3m	7.3m	7.3m

*Development Permit Application:* In support of the proposed rezoning, the house designs have been completed considering the policies of DP Area 5 outlined in Section 9.7 of the OCP as well as the Guidelines for Single-Unit Infill Housing outlined in Section 9.10.

In consideration of these policies, site plans, elevations and a streetscape drawing have been provided and the following features are noted;

- The proposed subdivision is located in an area close to transit, schools parks and shopping;
- Policy 9.10.3.1 Preferred Locations/Site Characteristics (a) (b) and (d)
  - The lot is currently zoned RD-1 and has extra width and lot area;
  - The lot is a corner lot and has two road frontages;
  - The lot is vacant and no demolition is required;
- Policy 9.10.4 Design Elements
  - The two lots facing Selkirk have a modern design scheme and the lot facing Arcadia has a more traditional design scheme similar to the existing house to the south. In this way, each frontage will have an overall theme.
  - The new houses are similar in scale and size and are complimentary to other houses in the neighbourhood;
  - Although these houses are two storey, the existing drop in grade from south to north as well as the proposed setbacks and design diminish the overall massing
  - Preservation of a number of trees on the frontage, south property line and west property line will assist with preserving privacy for the neighbours;
  - The rear yard setback for the house on proposed Lot A will be 11.1m and the front face of the house is stepped back to the south to reduce the impact of the sideyard setback from the front;
  - The proposed easement/SRW on the west property line provides 3.5m a separation between the proposed Lot C house and the existing duplex to the west.
  - The roof area designs for lots B and C have pulled the decks away from the edges to preserve privacy for the neighbours;
  - For Lot A, the south elevation has minimized the windows on the main floor and the upper floor windows are to the stairwell and bathroom (opaque glass) to enhance privacy to the south. The Lot C west building elevation adjacent to the existing duplex has eliminated windows on the first floor and provides piano windows on the second floor to protect the neighbour's privacy;
  - All the proposed lots have useable private outdoor areas for each dwelling at grade.
- In consideration of policy 9.10.5, it is noted that the adjacent property to the west is an existing duplex and the property to the south is a single family home located on an RD-3 zoned lot. A comparison was made to the RS-1 zone and the table below provides the results;

	<b>RS-1 Zone</b>	<b>Lot A</b>	<b>Lot B</b>	<b>Lot C</b>
Lot area	560m <sup>2</sup>	350.4m <sup>2</sup>	348.2m <sup>2</sup>	359m <sup>2</sup>
Lot Width	16m	11.5m	15.0m	15.5m
Lot Coverage	30%	27.8%	29.9%	28.9%
FAR	0.35	0.38	0.38	0.38
Height	7.3m	7.3m	7.24m	7.18m
Building Width	7.0m	7.8m	9.9m	9.6m
Front Setback	7.5m	6m	5.5m	5.5m
Rear Setback	7.5m	11.1m	6.37m	6.21m
Interior Side	1.5m	1.5m	1.5	2.3
Exterior Side	3.6m		3.6m	
Combined Side	4.5m	3.6m	5.1m	5.87m

*Servicing:* The proposed servicing for the lots will be from existing mains on both Arcadia St and Selkirk Ave. The sewer and drain services for lot A are proposed to be directed to the west property line and from there north in a sewer and storm main located west of the proposed Lot C house. These new mains will combine the existing easement services for 928 Arcadia St as well as the proposed services for Lot A.

*Green Building:* The Green Building Checklist has been completed and is attached to this application.

*Trees:* There are a number of trees on and adjacent to the site and a tree inventory including an arborist tree management plan is attached and has been completed to determine which trees will be impacted by the subdivision servicing and the new houses.



# Schedule "C"



SCALE:  
0 1:250 10

All distances are in metres.  
The intended plot size of this plan is 432mm in width by 280mm in height (B size) when plotted at a scale of 1:250

T529 500 TRC
T531 180 TRC
T534 80 TRC
T543 700 TRC
355 350 TRC NZ TAN-TOP OUT OFF
352 350 TRC NZ TAG
T546 100 TRC
T545 200 TRC
T544 850 TRC
T541 600 TRC
T540 80 TRC
T539 50 TRC
T537 350 TRC
T538 50 TRC
T535 50 TRC
T534 40 TRC
T536 350 TRC
T528 50 TRC
T520 300 TRC
T523 200 TRC
T522 200 TRC
T547 180 TRC
T515 600 TRC
T516 200 TRC LEAN 2
T517 170 TRC
T518 500 TRC
T519 70 TRC
T523 400 TRC
T524 150 TRC
T525 300 TRC
T526 300 TRC
T527 180 TRC
T530 100 TRC
T531 40 TRC
T532 50 TRC
T542 500 TRC

- denotes Iron Pin Found
  - denotes Lead plug Found
  - denotes Monument Found
  - TRD - denotes Deciduous Tree Type
  - TRC - denotes Coniferous Tree Type
  - denotes Sanitary manhole
  - denotes Water Valve
  - denotes Catchbasin
  - denotes sign
  - denotes power pole
  - denotes Fire hydrant
  - Retaining Wall Elevation Labels
- (T=Top, B=Bottom)



PROJECT DATA TABLE - SINGLE FAMILY DWELLING	
Lot Area	330.41 m²
Zoning	R1 (2018 ESTIMATED)
Lot coverage (30%)	99.12 m² (29.99%)
Front Setback	6.00m 6.00m
Rear Setback	11.00m 11.00m
Side Setback (South)	2.10m 1.80m
Side Setback (North)	1.80m 1.20m
Compared site yard setbacks (Minimum)	6.80m 3.30m
Average grade	14.20m (46')
Average building height	7.20m 7.20m
Upper floor area	75.12 m² (247.71 sq ft)
Main floor area	61.80 m² (677.38 sq ft)
Garage area	30.88 m² (333.63 sq ft)
Change area exemption	95 m² (1028.38 sq ft)
Total gross floor area	167.80 m² (1817.39 sq ft)
Floor space ratio	50.78%
Basement area	16.30 m² (175.47 sq ft)
Total non-basement area	-

SITE PLAN  
SCALE: 1 : 300

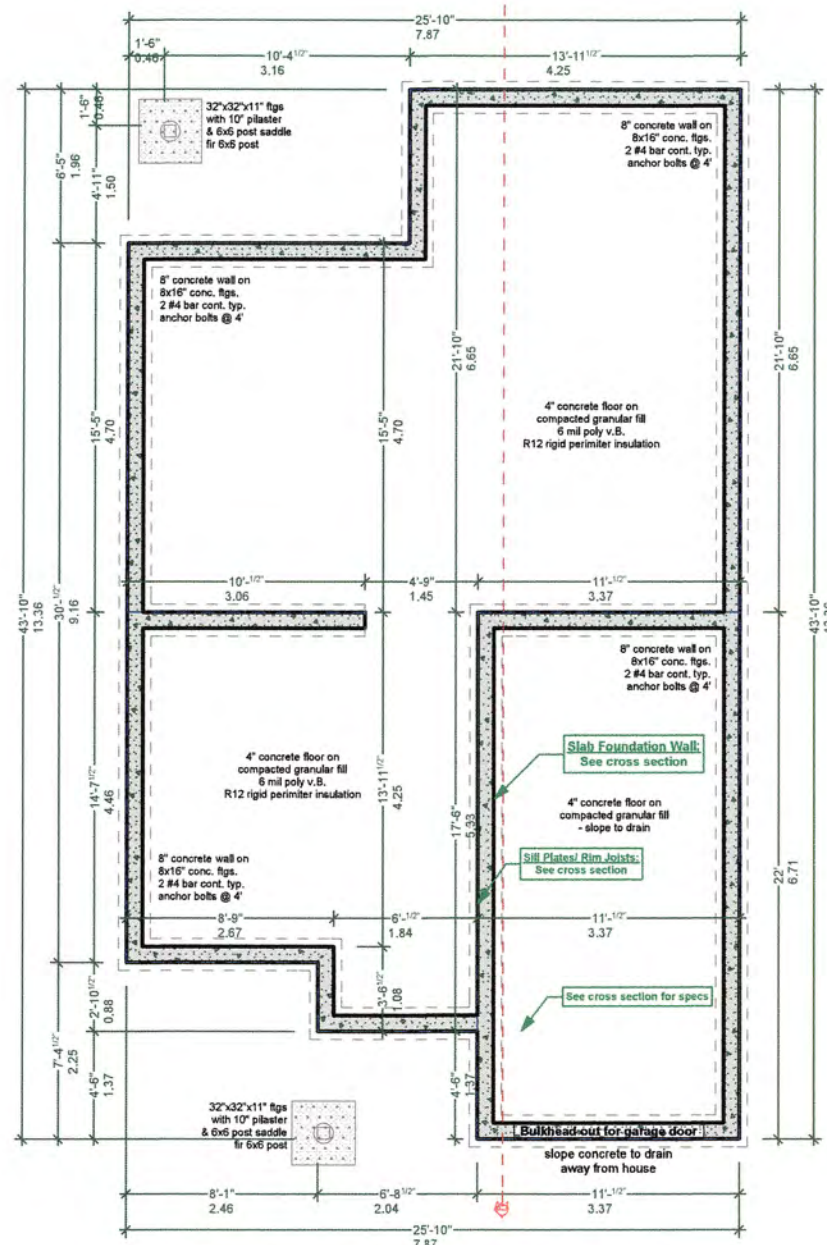
**LEGEND**  
Elevations are geodetic based on Integrated survey

Note: Only trees with Trunk greater than 0.20m are identified. Consult Arborist to verify tree species  
Grade shots are taken at the point marked X  
Contours are descriptive, and only accurate to +/- 0.5m interval

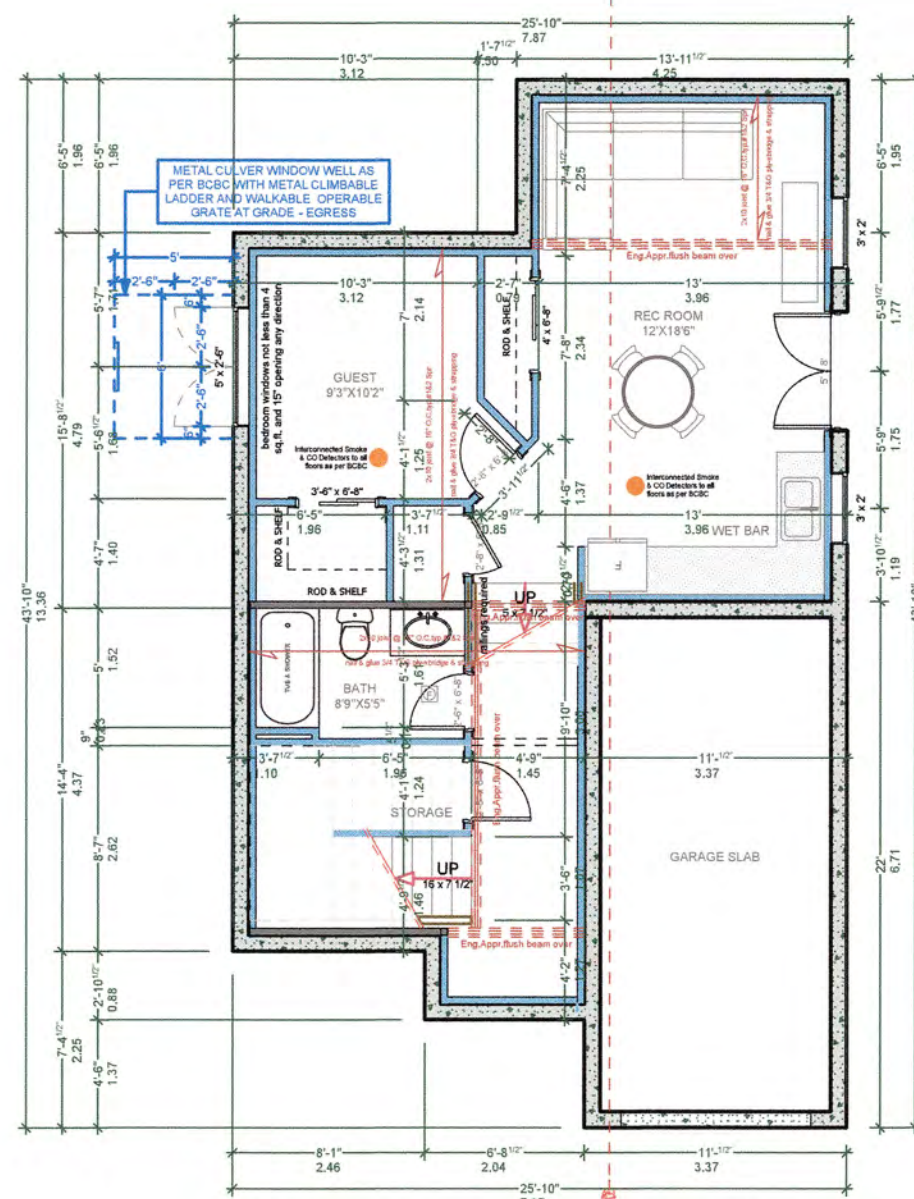
monument 84H0203 in Esquimalt at elevation 15.460m.



PERSPECTIVE  
NOT TO SCALE



○ FOUNDATION PLAN (ON SLAB)  
SCALE: 1/8" = 1'-0"



○ BASEMENT FLOOR PLAN (9'-0 3/4" WALLS)  
SCALE: 1/8" = 1'-0"  
BASEMENT FLOOR AREA: 655.47 Sq Ft (60.90 Sq M)

SHEET NO.:  
A2

ISSUE DATE:  
MAY 15, 2018

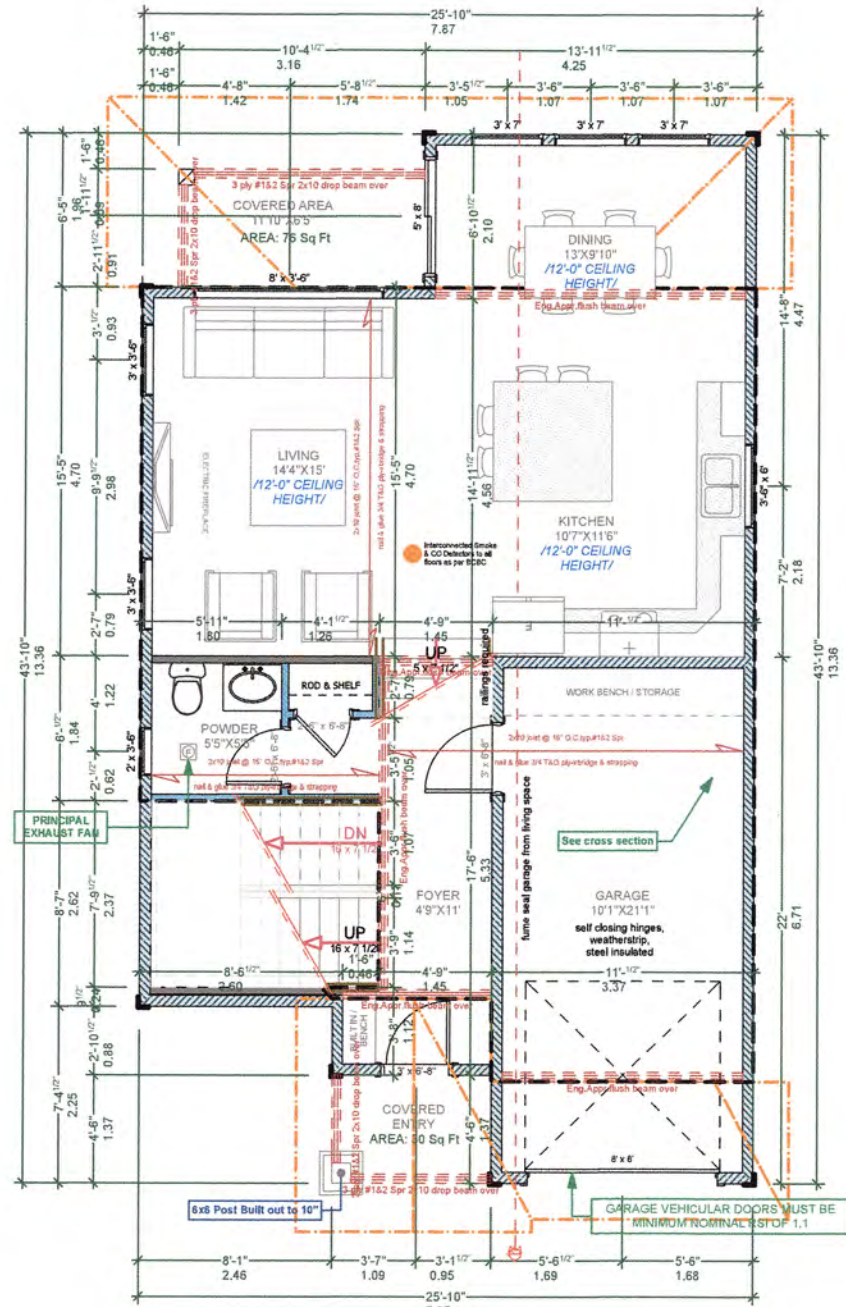
DRAWN BY:  
KYLE LEGGETT

DRAWING NAME:  
PROPOSED LOT A - FOUNDATION PLAN AND BASEMENT FLOOR PLAN

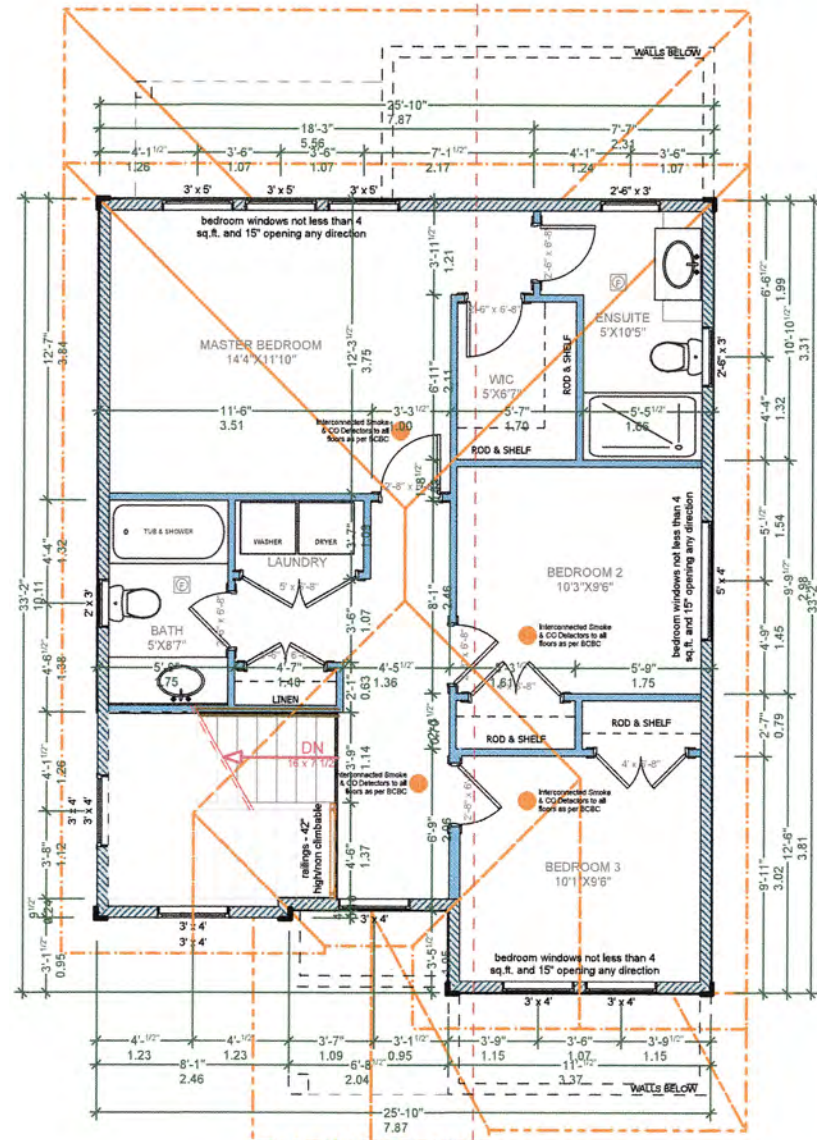
CUSTOMER:  
RADIUS PROPERTY GROUP

ADDRESS:  
901 SELKIRK PLACE,  
ESQUIMALT BC

**JAVA DESIGNS**  
WHERE LINES ON PAPER BECOME WALLS ON SITE  
PH 250.590.2468 FX 250.590.4577 www.javadesigns.ca



○ MAIN FLOOR PLAN (9'-0 3/4" WALLS) U.N.O.  
SCALE: 1/8" = 1'-0"  
MAIN FLOOR AREA: 677.38 Sq Ft (62.93 Sq M)  
GARAGE AREA: 225.92 Sq Ft (20.99 Sq M)



○ UPPER FLOOR PLAN (8'-0 3/4" WALLS)  
SCALE: 1/8" = 1'-0"  
UPPER FLOOR AREA: 754.71 Sq Ft (70.12 Sq M)

SHEET NO.:  
A3

ISSUE DATE:  
MAY 15, 2018

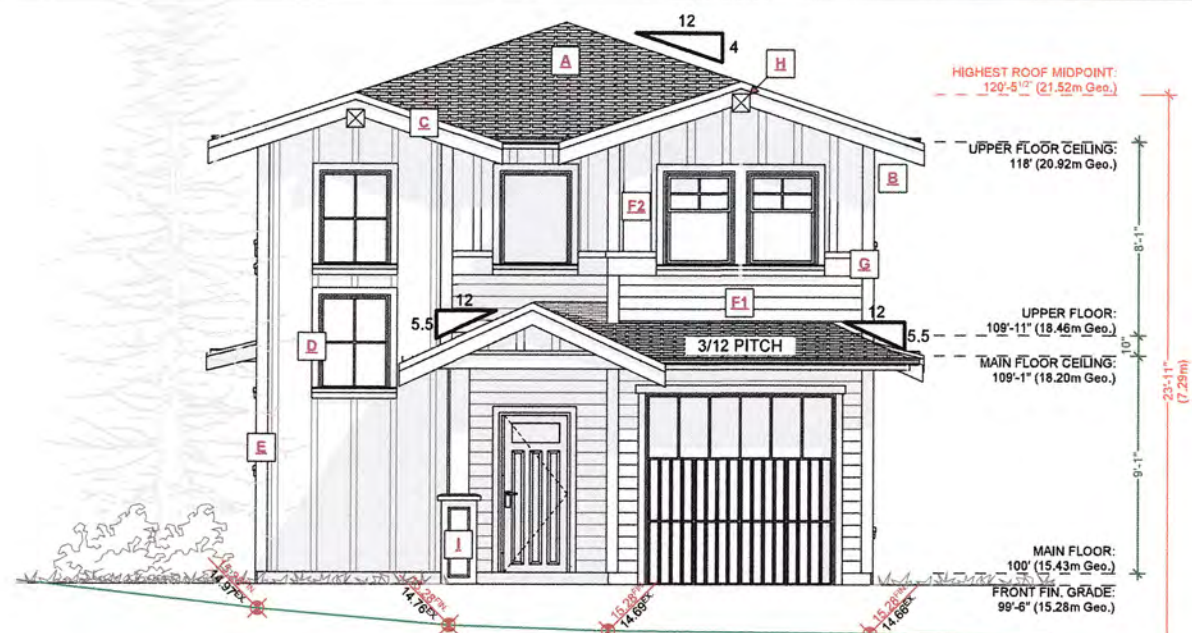
DRAWN BY:  
KYLE LEGGETT

DRAWING NAME:  
PROPOSED LOT A - MAIN FLOOR PLAN AND UPPER FLOOR PLAN

CUSTOMER:  
RADIUS PROPERTY GROUP

ADDRESS:  
901 SELKIRK PLACE,  
ESQUIMALT BC

**JAVA DESIGNS**  
WHERE LINES ON PAPER BECOME WALLS ON SITE  
PH 250.590.2468 FX 250.590.4577 www.javadesigns.ca

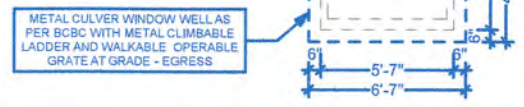


**FRONT ELEVATION**  
SCALE: 1/8" = 1'-0"

HIGHEST ROOF MIDPOINT: 120'-5 1/2" (21.52m Geo.)  
 UPPER FLOOR CEILING: 118' (20.92m Geo.)  
 UPPER FLOOR: 109'-11" (18.46m Geo.)  
 MAIN FLOOR CEILING: 109'-1" (18.20m Geo.)  
 MAIN FLOOR: 100' (15.43m Geo.)  
 FRONT FIN. GRADE: 99'-6" (15.28m Geo.)  
 AVERAGE NAT. GRADE: 97'-0" (14.24m Geo.)



**LEFT ELEVATION**  
SCALE: 1/8" = 1'-0"



EXPOSING BUILDING FACE: 55.01m<sup>2</sup>  
 LIMITING DISTANCE: 2.13m  
 AREA OF GLAZED OPENINGS: 4.77m<sup>2</sup>  
 % GLAZED OPENINGS: 8.67%  
 45 min FIRE-RESISTANCE RATING: not required  
 TYPE OF CLADDING: no limits  
 PERMITTED % OF GLAZED OPENINGS (as per Table 9.10.15.4): 10.545%  
 PERMITTED AGGREGATE AREA OF GLAZED OPENINGS: 5.80m<sup>2</sup>

EXTERIOR FINISHES SCHEDULE	
<b>A</b>	ROOFING: ASPHALT ROOFING WITH RAISED RIDGE & HIP CAPS
<b>B</b>	GUTTER & SOFFIT: ALUMINIUM GUTTER AND NON-VENTED SOFFIT
<b>C</b>	BARGE BOARD: 2x10 WITH 1x4 DOUBLE BARGE BOARD, PAINTED TRIM COLOR
<b>D</b>	WINDOW & DOOR TRIM: 1x4 TRIM BOARDS - PAINTED/STAINED
<b>E</b>	CORNER TRIM: 1x4 CORNER BOARDS - PAINTED/STAINED
<b>F1</b>	WALL FINISH: HARDIE-PLANK SIDING LAPPED TO 6" EXPOSURE - COLOUR AS PER OWNERS SPECS
<b>F2</b>	WALL FINISH: HARDIE-BOARD AND BATTEN 1x4 @ 16" O.C. RAINSCREEN AS PER BCBC
<b>G</b>	BELLY BAND: 2x10 PAINTED BELLY BAND WITH FLASHING, PAINTED TRIM COLOR
<b>H</b>	BEAM ENDS: DECORATIVE 8x12 WOOD BEAM ENDS IN PEAKS - SEE ELEVATIONS
<b>I</b>	ARTS & CRAFTS POSTS: ARTS & CRAFTS COLUMNS BUILT OUT AS PER BUILDERS SPECS - INTERNAL 6x6 POST

\*\*ALL WINDOWS MUST COMPLY WITH BCBC AND NAFS REQUIREMENTS\*\*  
 MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION. -ONE EXTERIOR DOOR IS PERMITTED TO HAVE A HIGHER U-VALUE OF 2.5. ALL OTHERS MUST BE LOWER.  
 -GARAGE VEHICULAR DOORS MUST BE MINIMUM NOMINAL RSI OF 1.1



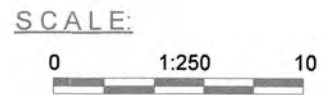
**RIGHT ELEVATION**  
SCALE: 1/8" = 1'-0"

EXPOSING BUILDING FACE: 73.41m<sup>2</sup>  
 LIMITING DISTANCE: 1.50m  
 AREA OF GLAZED OPENINGS: 4.58m<sup>2</sup>  
 % GLAZED OPENINGS: 6.24%  
 45 min FIRE-RESISTANCE RATING: not required  
 TYPE OF CLADDING: no limits  
 PERMITTED % OF GLAZED OPENINGS (as per Table 9.10.15.4): 8.00%  
 PERMITTED AGGREGATE AREA OF GLAZED OPENINGS: 5.87m<sup>2</sup>

HIGHEST ROOF MIDPOINT: 120'-5 1/2" (21.52m Geo.)  
 UPPER FLOOR CEILING: 118' (20.95m Geo.)  
 UPPER FLOOR: 109'-11" (18.49m Geo.)  
 MAIN FLOOR CEILING: 109'-1" (18.23m Geo.)  
 MAIN LIVING ROOM FLOOR: 97' (14.55m Geo.)  
 REAR FIN. GRADE: 99'-6" (14.20m Geo.)  
 AVERAGE NAT. GRADE: 97'-0" (14.24m Geo.)



**REAR ELEVATION**  
SCALE: 1/8" = 1'-0"



All distances are in metres.  
The intended plot size of this plan is 432mm in width by 280mm in height (B size) when plotted at a scale of 1:250

Tag / Dia / Com. / Type

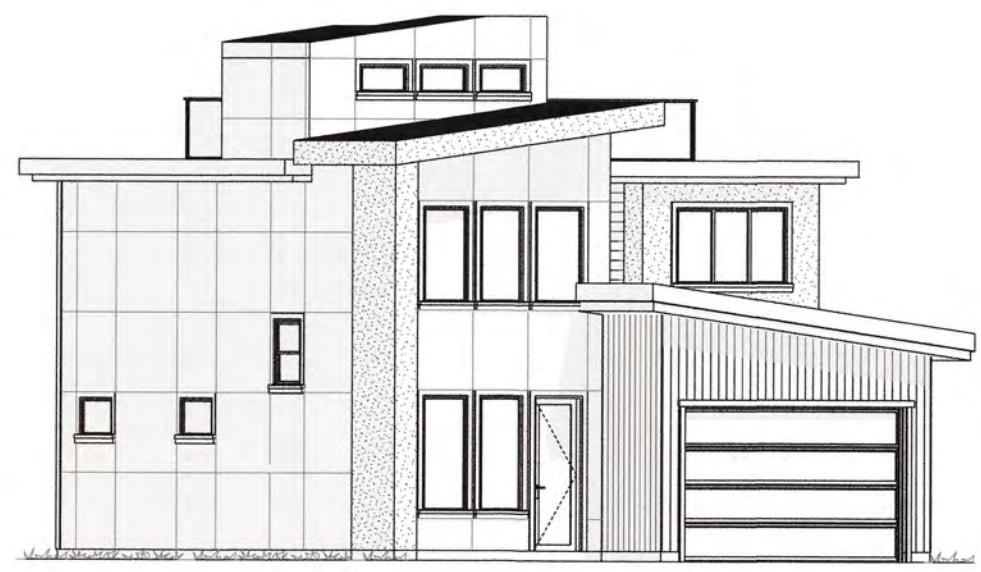
T520	500	TRC
T511	180	TRC
T514	82	TRC
T543	700	TRC
366	350	TRC NU TAG-TOP EIT LIT
392	150	TRC NU TAG
T546	100	TRD
T545	200	TRD
T544	850	TRD
T541	600	TRD
T540	80	TRD
T539	20	TRD
T537	350	TRD
T538	50	TRD
T535	50	TRD
T534	40	TRD
T536	350	TRD
T528	50	TRD
T520	300	TRD
T521	200	TRD
T523	200	TRD
T547	1200	TRD
T515	600	TRD
T516	200	TRD LEAN G
T517	170	TRD
T519	600	TRD
T519	70	TRD
T523	600	TRD
T524	150	TRD
T525	600	TRD
T524	500	TRD
T527	180	TRD
T530	100	TRD
T531	90	TRD
T532	50	TRD
T542	600	TRD

- - denotes Iron Pin Found
  - - denotes Lead plug Found
  - - denotes Monument Found
  - TRD - denotes Deciduous Tree Type
  - TRC - denotes Coniferous Tree Type
  - - denotes Sanitary manhole
  - - denotes Water Valve
  - - denotes Catchbasin
  - - denotes sign
  - - denotes power pole
  - - denotes Fire hydrant
  - Retaining Wall Elevation Labels
- (T=Top, B=Bottom)



PROJECT DATA TABLE - SINGLE FAMILY DWELLINGS	
Lot Size	144,270 sq. ft. (3,344,751 sq. ft.)
Zone	200000 RES
Lot coverage (incl)	20.00% (48,870 sq. ft.)
Front setback	5.23m (17.18ft)
Rear setback	5.23m (17.18ft)
Driveway Side Entrance (width)	3.00m (9.84ft)
Driveway Side Entrance (height)	1.20m (3.94ft)
Combined side yard setbacks (minimum)	5.23m (17.18ft)
Average grade	14.25% (5%)
Average building height	7.20m (23.62ft)
Roof area	6,411 sq. ft. (595,84 sq. ft.)
Upper floor area	18,200 sq. ft. (1,712,00 sq. ft.)
Main floor area	13,825 sq. ft. (1,274,00 sq. ft.)
Garage area	1,275 sq. ft. (118,00 sq. ft.)
Garage area maximum	45 sq. ft. (4,14 sq. ft.)
Total gross floor area	38,711 sq. ft. (3,582,00 sq. ft.)
Floor space ratio	26.8%
Basement area	5,747 sq. ft. (530,41 sq. ft.)

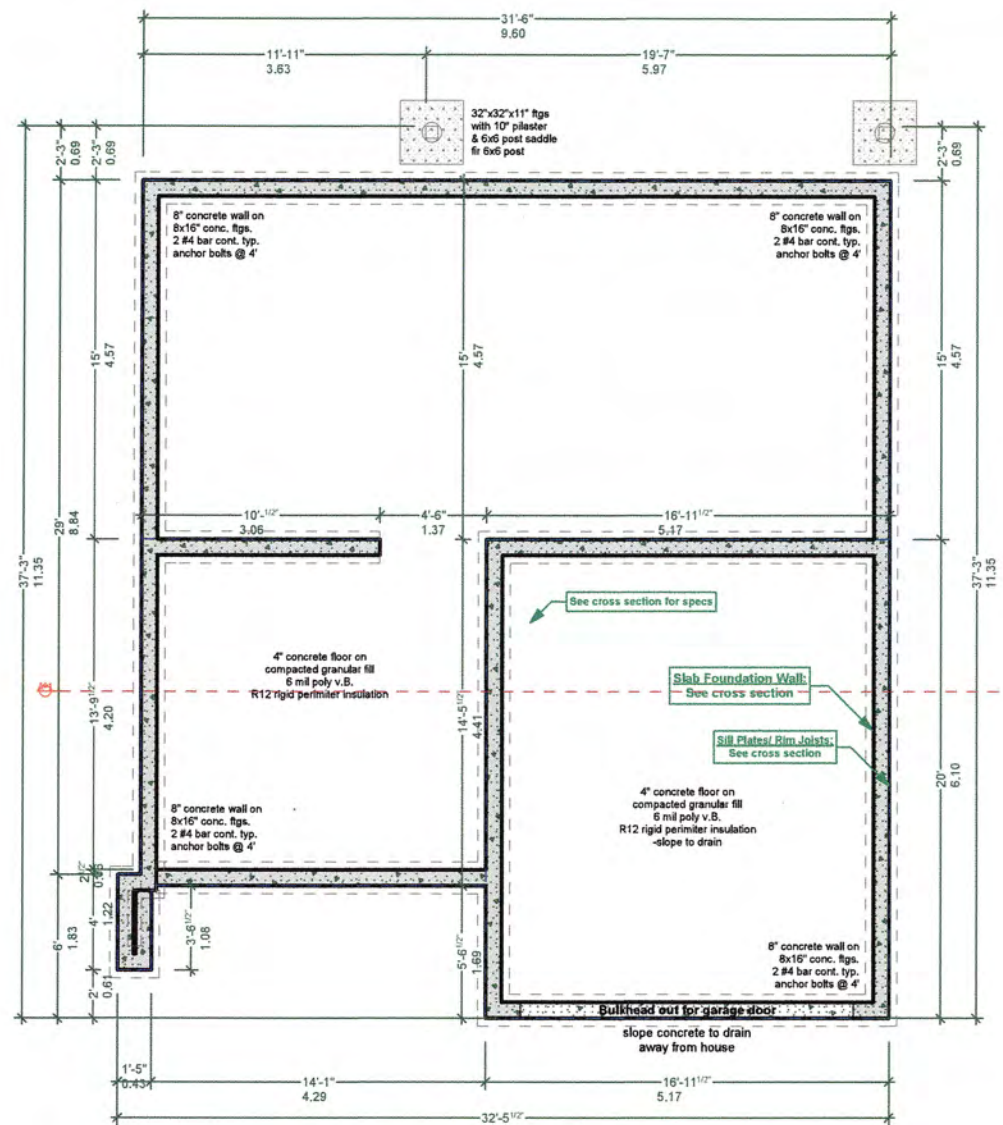
SITE PLAN  
SCALE: 1 : 300



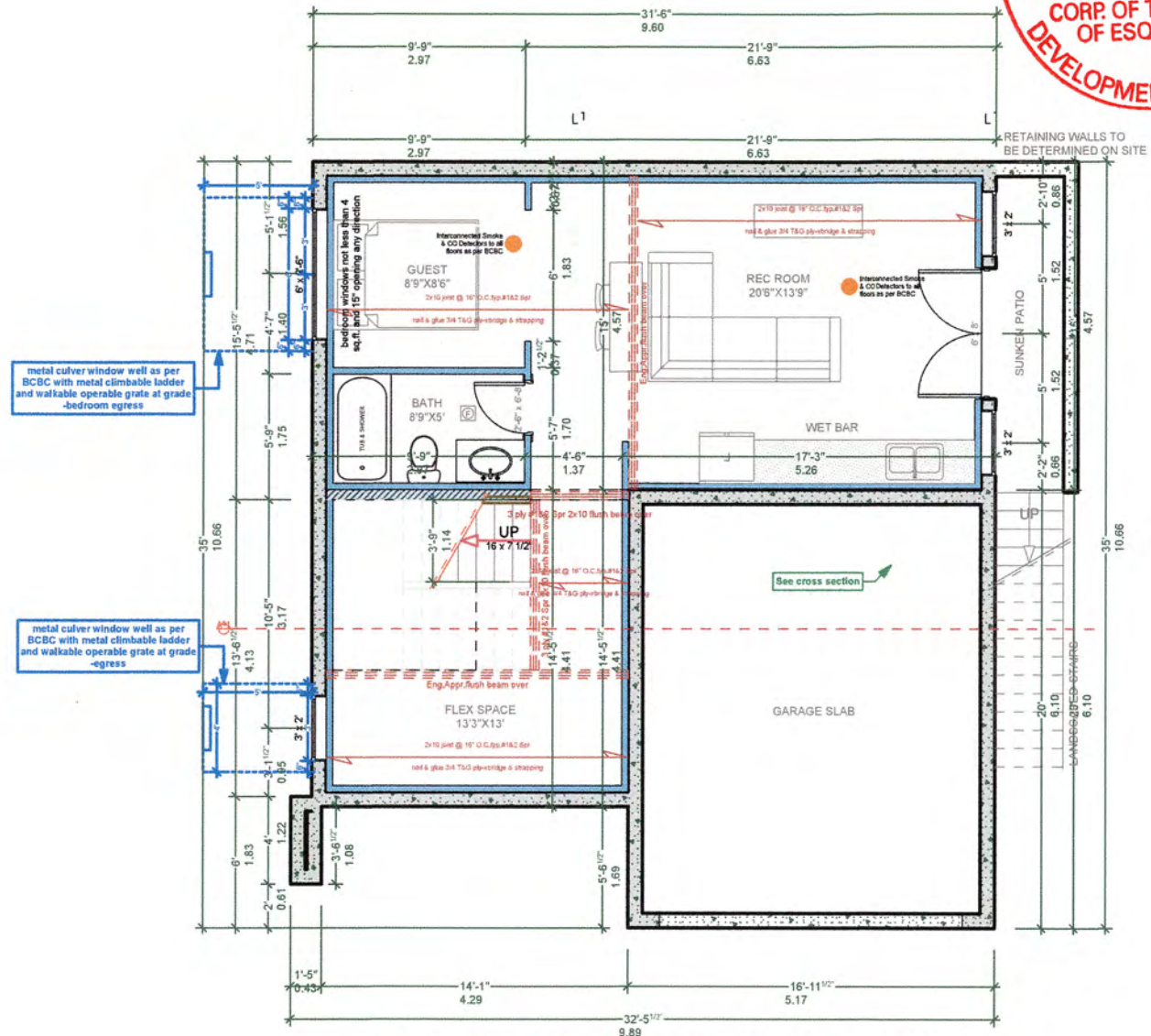
PERSPECTIVE  
NOT TO SCALE



RECEIVED  
MAY 18 2018  
CORP. OF TOWNSHIP  
OF ESQUIMALT  
DEVELOPMENT SERVICES

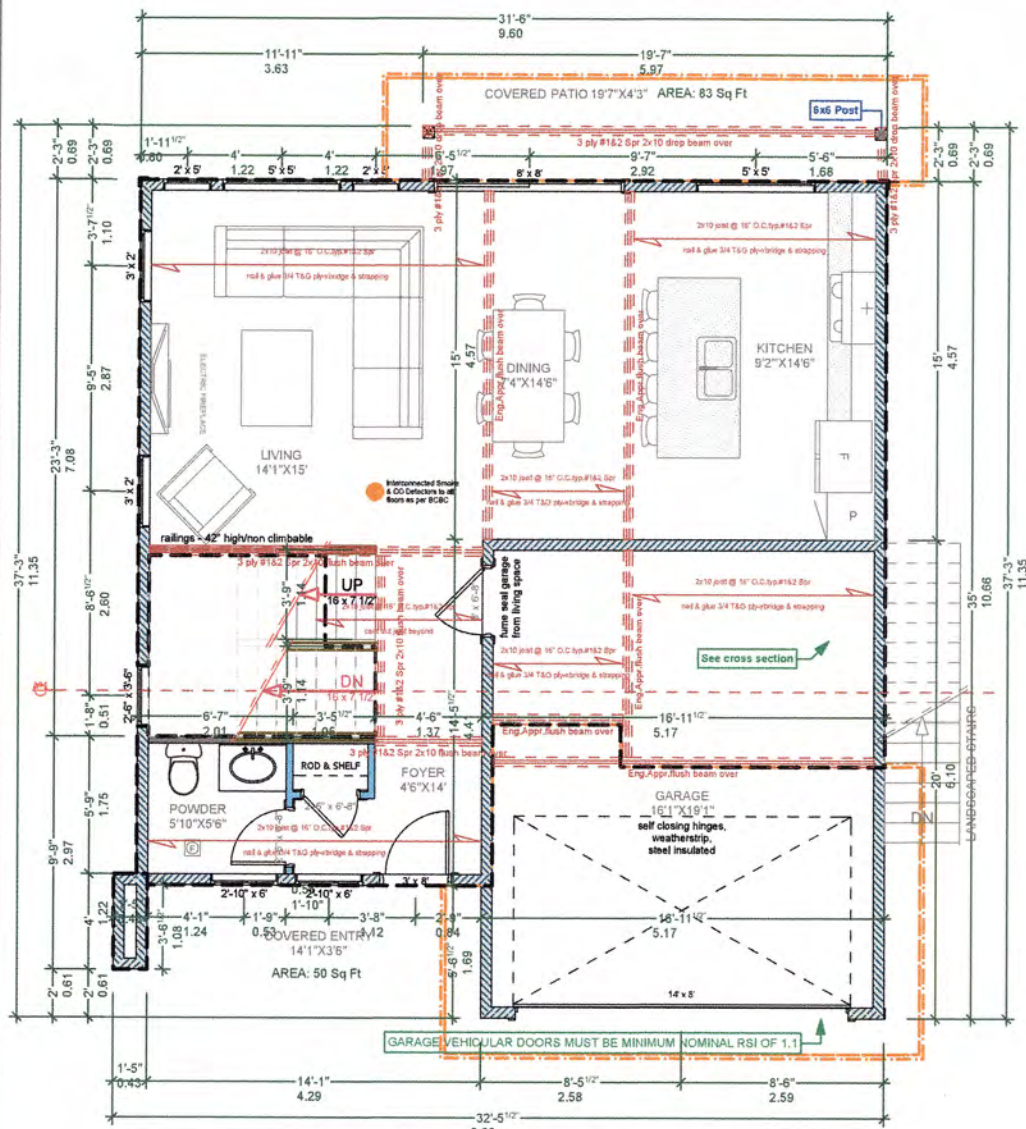


FOUNDATION PLAN (ON SLAB)  
SCALE: 1/8" = 1'-0"

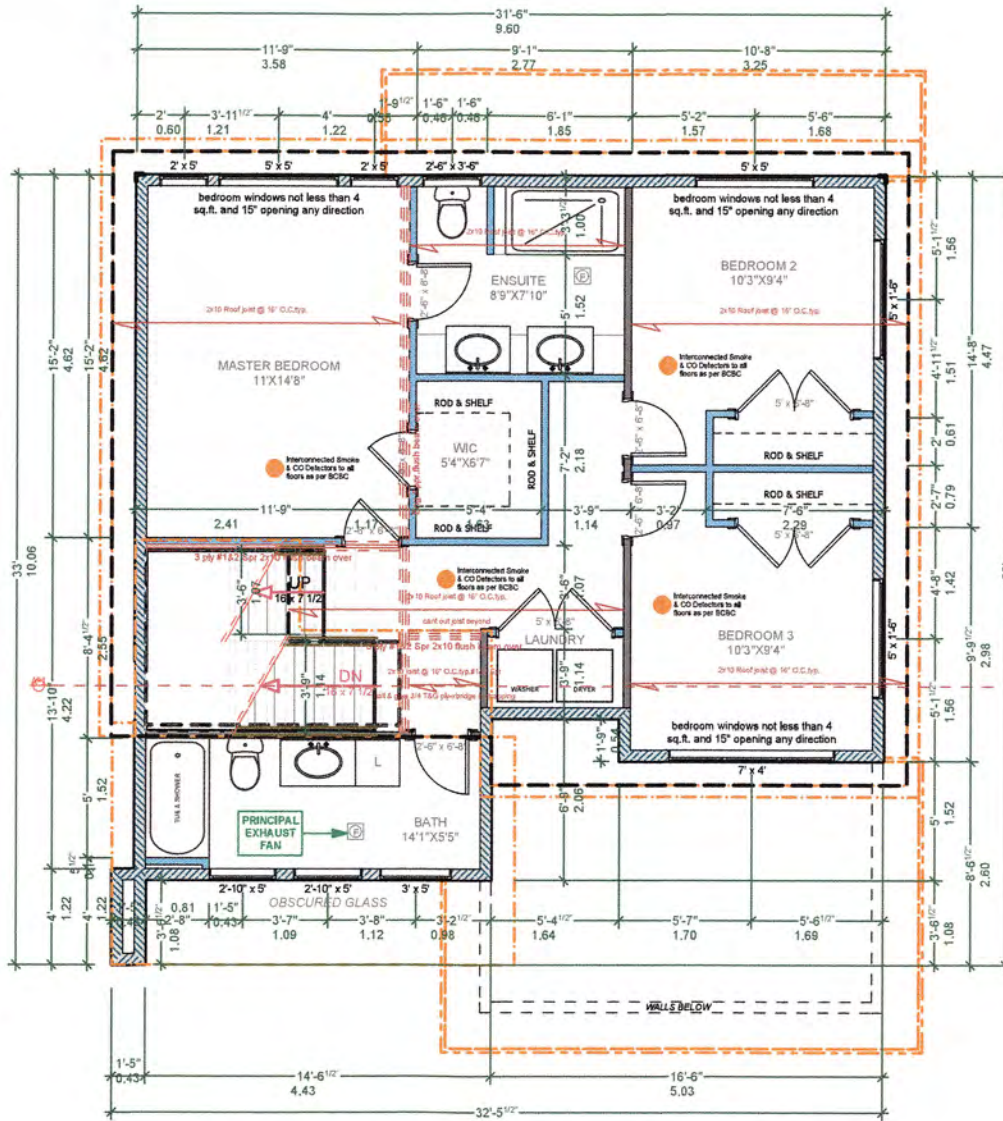


BASEMENT FLOOR PLAN (9'-0 3/4" WALLS)  
SCALE: 1/8" = 1'-0"  
BASEMENT FLOOR AREA: 623.41 Sq Ft (57.91 m2)

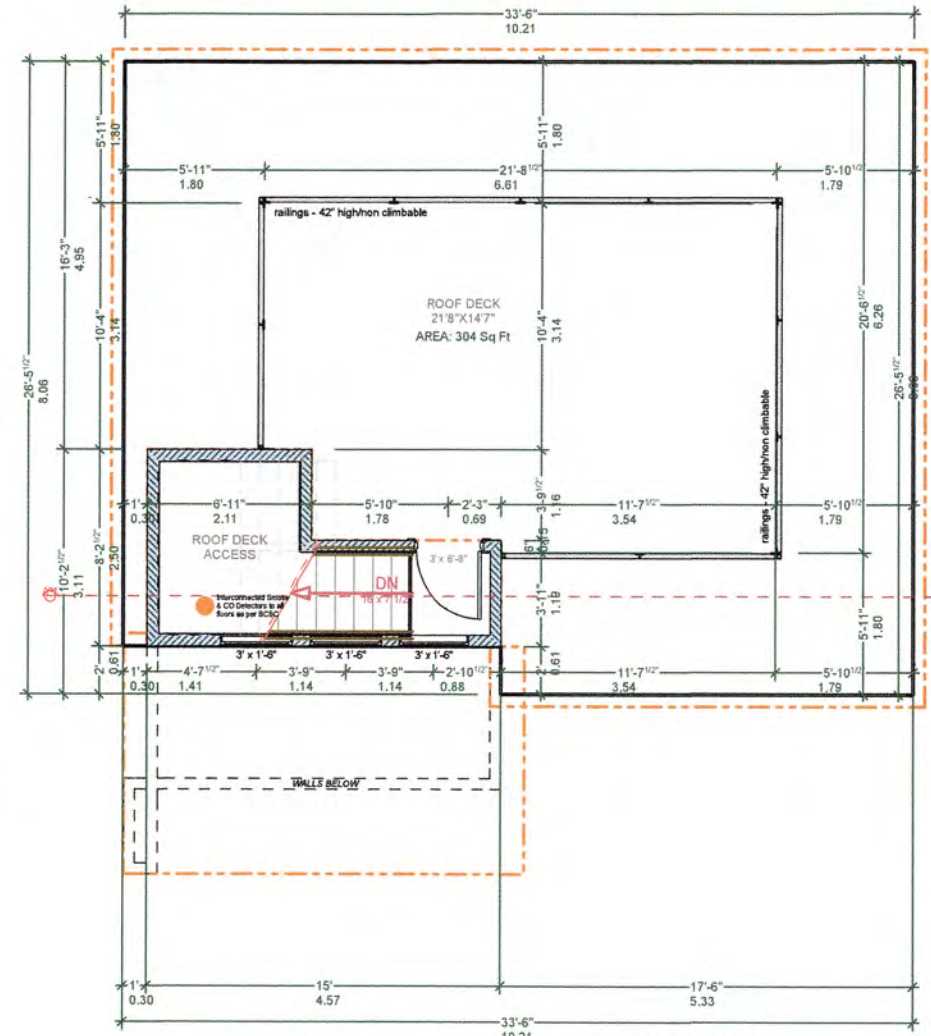
SHEET NO.: A2	ISSUE DATE: MAY 15, 2018	DRAWN BY: KYLE LEGGETT	DRAWING NAME: PROPOSED LOT B - FOUNDATION PLAN AND BASEMENT FLOOR PLAN	CUSTOMER: RADIUS PROPERTY GROUP	ADDRESS: 901 SELKIRK PLACE, ESQUIMALT BC	 <b>JAVA DESIGNS</b> <small>WHERE LINES ON PAPER BECOME WALLS ON SITE</small> <small>PH 250.590.2468 FX 250.590.4577 www.javadesigns.ca</small>
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**MAIN FLOOR PLAN (9'-0 3/4" WALLS)**  
 SCALE: 1/8" = 1'-0"  
 MAIN FLOOR AREA: 641.56 Sq Ft (59.60 m2)  
 GARAGE AREA: 319.89 Sq Ft (29.71 m2)



**UPPER FLOOR PLAN (9'-0 3/4" WALLS)**  
 SCALE: 1/8" = 1'-0"  
 UPPER FLOOR AREA: 713.08 Sq Ft (66.24 m2)



**ROOF DECK PLAN (8'-0 3/4" WALLS)**  
 SCALE: 1/8" = 1'-0"  
 ACCESS FLOOR AREA: 69.04 Sq Ft (6.41 m2)  
 ACCESS AREA 6.76% OF TOTAL ROOF AREA



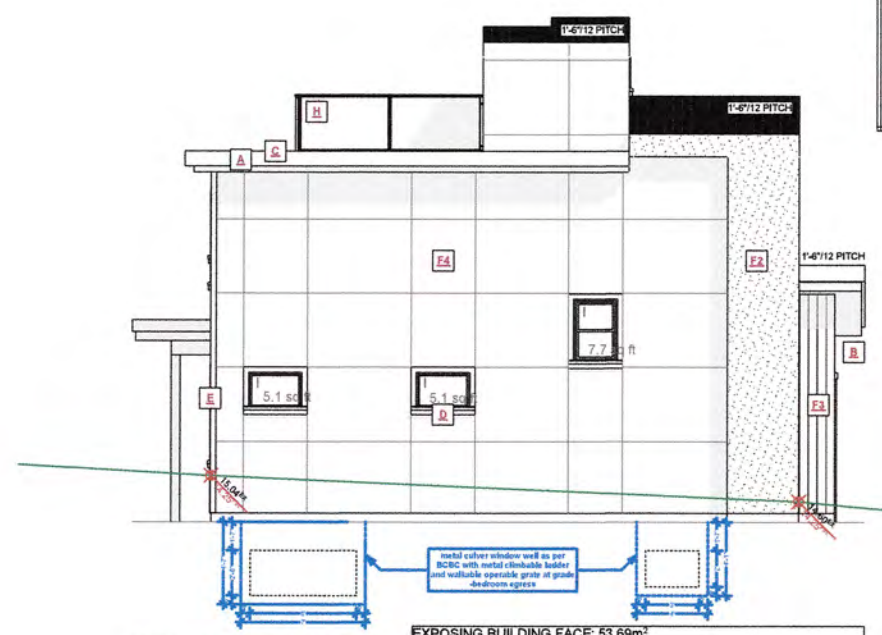
FRONT ELEVATION  
SCALE: 3/32" = 1'-0"



REAR ELEVATION  
SCALE: 3/32" = 1'-0"

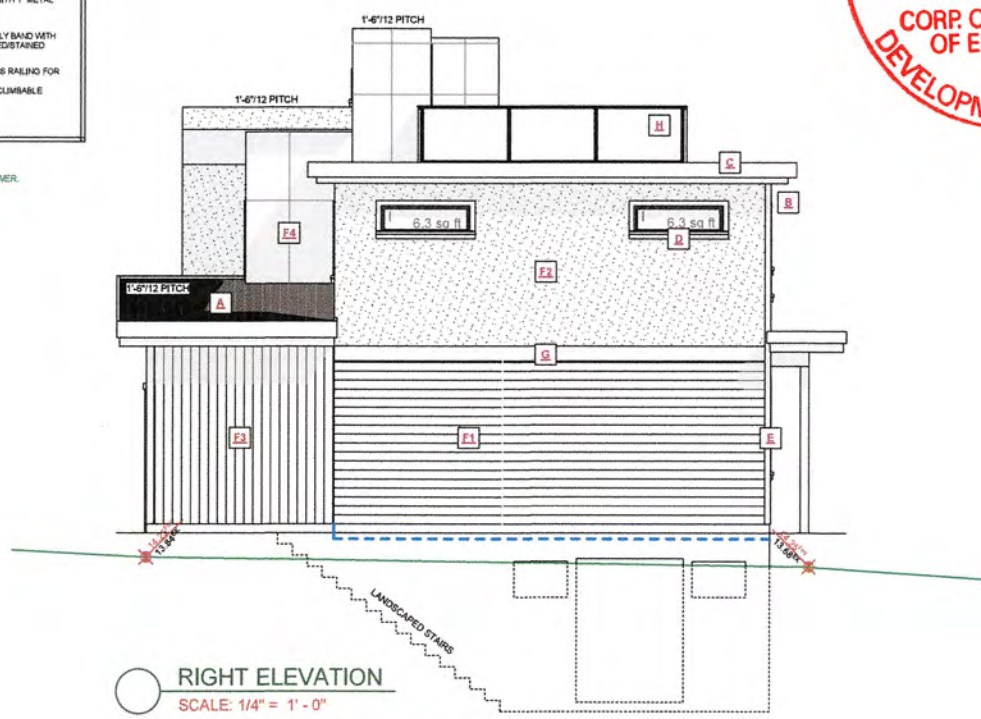
EXTERIOR FINISHES SCHEDULE					
A	ROOFING:	BUILT UP TORCH-ON METAL STANDING SEAM ROOFS AS PER CONTRACTORS SPEC	E2	WALL FINISH:	SMOOTH FINISH ACRYLIC STUCCO - SEE OWNER FOR DETAILS - RAIN SCREEN AS PER BCBC
B	GUTTER & SOFFIT:	ALUMINUM GUTTER AND UNPAINTED SOFFIT	E3	WALL FINISH:	CORRUGATED METAL PANEL BOND RAINSCREEN AS PER BCBC
C	BARGE BOARD:	2x10 WITH 1x4 DOUBLE BARGE BOARD, PAINTED TRIM COLOUR	E4	WALL FINISH:	HARDEE PANELS WITH 1" METAL REVEAL
D	WINDOW & DOOR TRIM:	1x4 TRIM BOARDS - PAINTED/STAINED	G	BELLY BAND:	2x19 PAINTED BELLY BAND WITH FLASHING - PAINTED/STAINED
E	CORNER TRIM:	1x4 CORNER BOARDS - PAINTED/STAINED	H	RAILING:	OBSCURED GLASS RAILING FOR ROOF TOP DECK - 42" HIGH / NON CLIMBABLE
E1	WALL FINISH:	HARDEE-PLANK BOND LAPPED TO 4" EXPOSURE - COLOUR AS PER BUILDERS SPEC			

"ALL WINDOWS MUST COMPLY WITH BCBC AND NAPS REQUIREMENTS"  
MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION.  
-ONE EXTERIOR DOOR IS PERMITTED TO HAVE A HIGHER L-U VALUE OF 2.6. ALL OTHERS MUST BE LOWER.  
-GARAGE VEHICULAR DOORS MUST BE MINIMUM NOMINAL RSI OF 1.1



LEFT ELEVATION  
SCALE: 3/32" = 1'-0"

EXPOSING BUILDING FACE: 53.69m<sup>2</sup>  
LIMITING DISTANCE: 3.60m  
AREA OF GLAZED OPENINGS: 1.66m<sup>2</sup>  
% GLAZED OPENINGS: 3.09%  
45 min FIRE-RESISTANCE RATING: not required  
TYPE OF CLADDING: no limits  
PERMITTED % OF GLAZED OPENINGS (as per Table 9.10.15.4): 19.00%  
PERMITTED AGGREGATE AREA OF GLAZED OPENINGS: 10.20m<sup>2</sup>



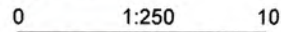
RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"

EXPOSING BUILDING FACE: 54.48m<sup>2</sup>  
LIMITING DISTANCE: 1.50m  
AREA OF GLAZED OPENINGS: 1.16m<sup>2</sup>  
% GLAZED OPENINGS: 2.13%  
45 min FIRE-RESISTANCE RATING: not required  
TYPE OF CLADDING: no limits  
PERMITTED % OF GLAZED OPENINGS (as per Table 9.10.15.4): 8.00%  
PERMITTED AGGREGATE AREA OF GLAZED OPENINGS: 4.36m<sup>2</sup>





SCALE:



All distances are in metres.  
The intended plot size of this plan is 432mm in width by 280mm in height (B size) when plotted at a scale of 1:250

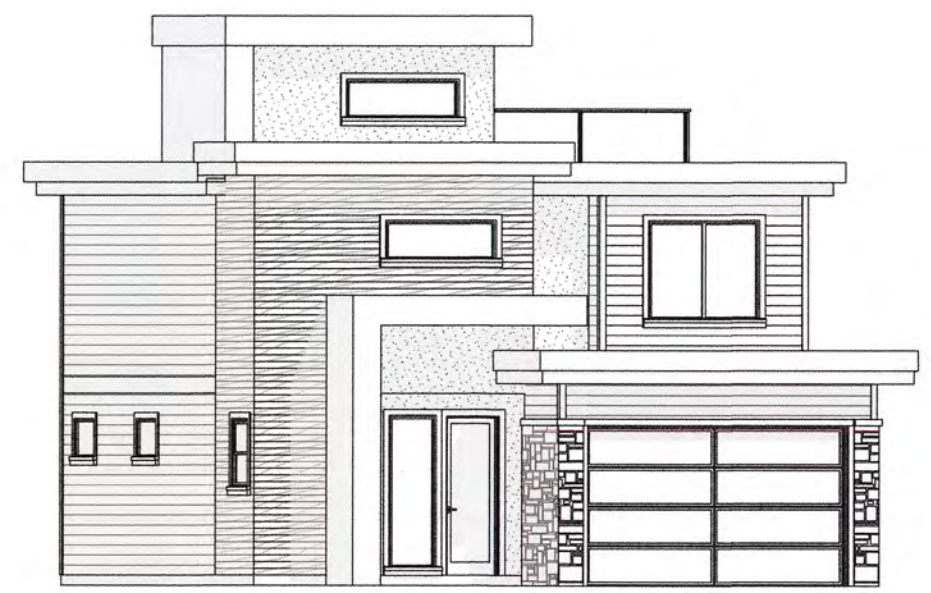
Tag	Dimension	Type
T529	500	TRD
T511	180	TRC
T514	90	TRC
T543	700	TRC
365	350	TRC NO TAG-TURN CUT OFF
392	150	TRC NO TAG
T546	100	TRD
T545	200	TRD
T544	850	TRD
T541	600	TRD
T540	80	TRD
T534	20	TRD
T537	350	TRD
T538	50	TRD
T535	50	TRD
T534	40	TRD
T536	350	TRD
T528	50	TRD
T520	300	TRD
T521	200	TRD
T522	200	TRD
T547	1200	TRD
T515	600	TRD
T516	200	TRD LEAN S
T517	170	TRD
T518	600	TRD
T519	70	TRD
T523	500	TRD
T524	150	TRD
T525	900	TRD
T526	500	TRD
T527	180	TRD
T530	100	TRD
T531	90	TRD
T532	30	TRD
T542	600	TRD

- - denotes Iron Pin Found
  - - denotes Lead plug Found
  - ⊙ - denotes Monument Found
  - TRD - denotes Deciduous Tree Type
  - TRC - denotes Coniferous Tree Type
  - - denotes Sanitary manhole
  - - denotes Water Valve
  - - denotes Catchbasin
  - - denotes sign
  - - denotes power pole
  - - denotes Fire hydrant
  - Retaining Wall Elevation Labels
- (T=Top, B=Bottom)

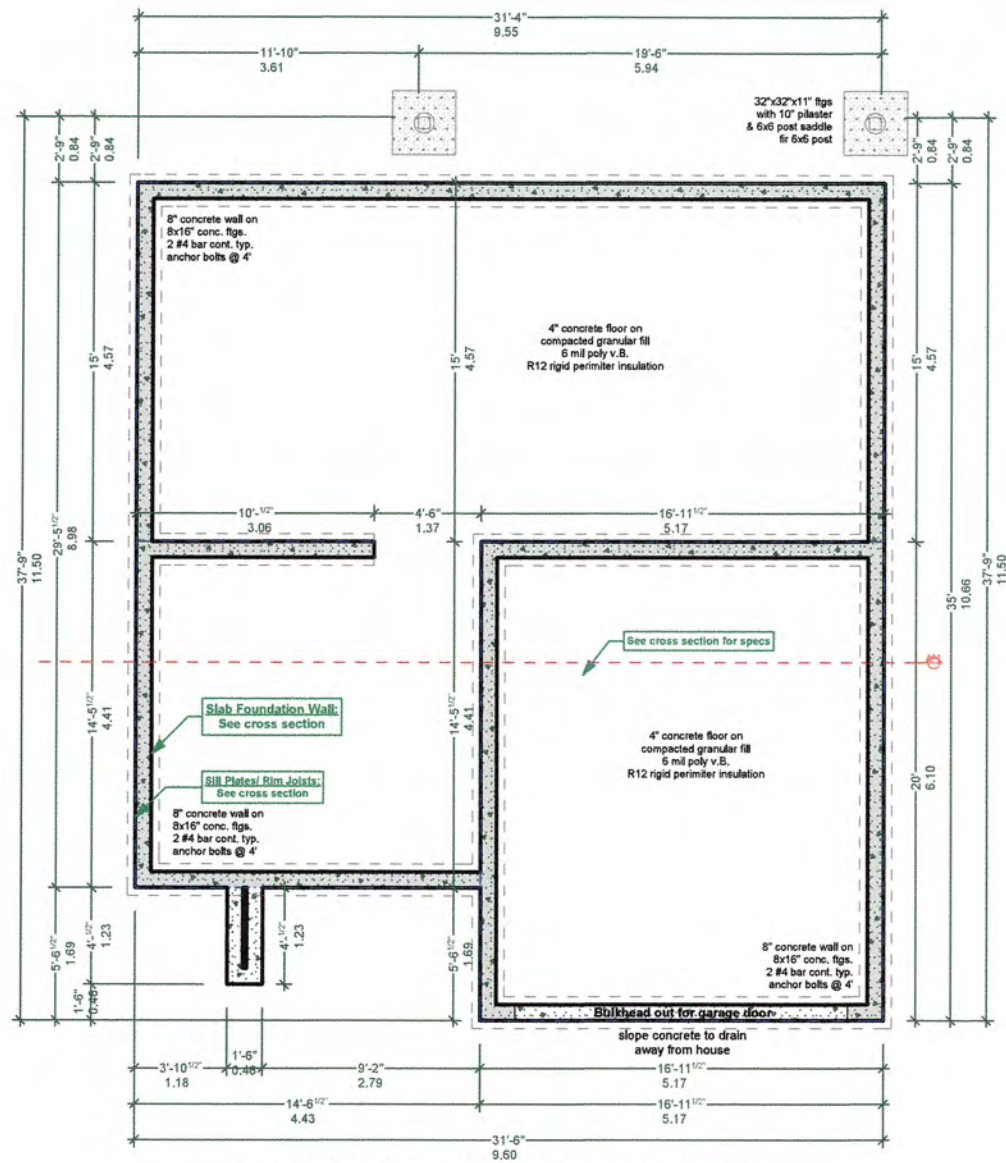


PROJECT DATA TABLE - SINGLE FAMILY DWELLING	
Lot Size	88,400m <sup>2</sup> (2,165,217 ft <sup>2</sup> )
Zoning	RS-1 (RESIDENTIAL SINGLE-FAMILY)
Lot coverage limit	25.00% (25.00%)
Front setback	5.50m (18.04 ft)
Rear setback	6.20m (20.34 ft)
Side setback (Rear)	3.20m (10.50 ft)
Side setback (Front)	2.50m (8.20 ft)
Combined side and rear setbacks (minimum)	5.60m (18.37 ft)
Average grade	15.00m (49.21 ft)
Average building height	7.00m (22.97 ft)
Rear lot area	8,617 m <sup>2</sup> (262,847 ft <sup>2</sup> )
Upper rear area	98,244 m <sup>2</sup> (2,998,491 ft <sup>2</sup> )
Main lot area	79,587 m <sup>2</sup> (2,421,541 ft <sup>2</sup> )
Garage area	28,771 m <sup>2</sup> (886,446 ft <sup>2</sup> )
Garage area exemption	45 m <sup>2</sup> (1,043.09 ft <sup>2</sup> )
Total gross lot area	188,136 m <sup>2</sup> (5,747,298 ft <sup>2</sup> )
Thru-space ratio	10.27%
Maximum area	19,217 m <sup>2</sup> (582,811 ft <sup>2</sup> )
Base area	57,811 m <sup>2</sup> (1,762,611 ft <sup>2</sup> )

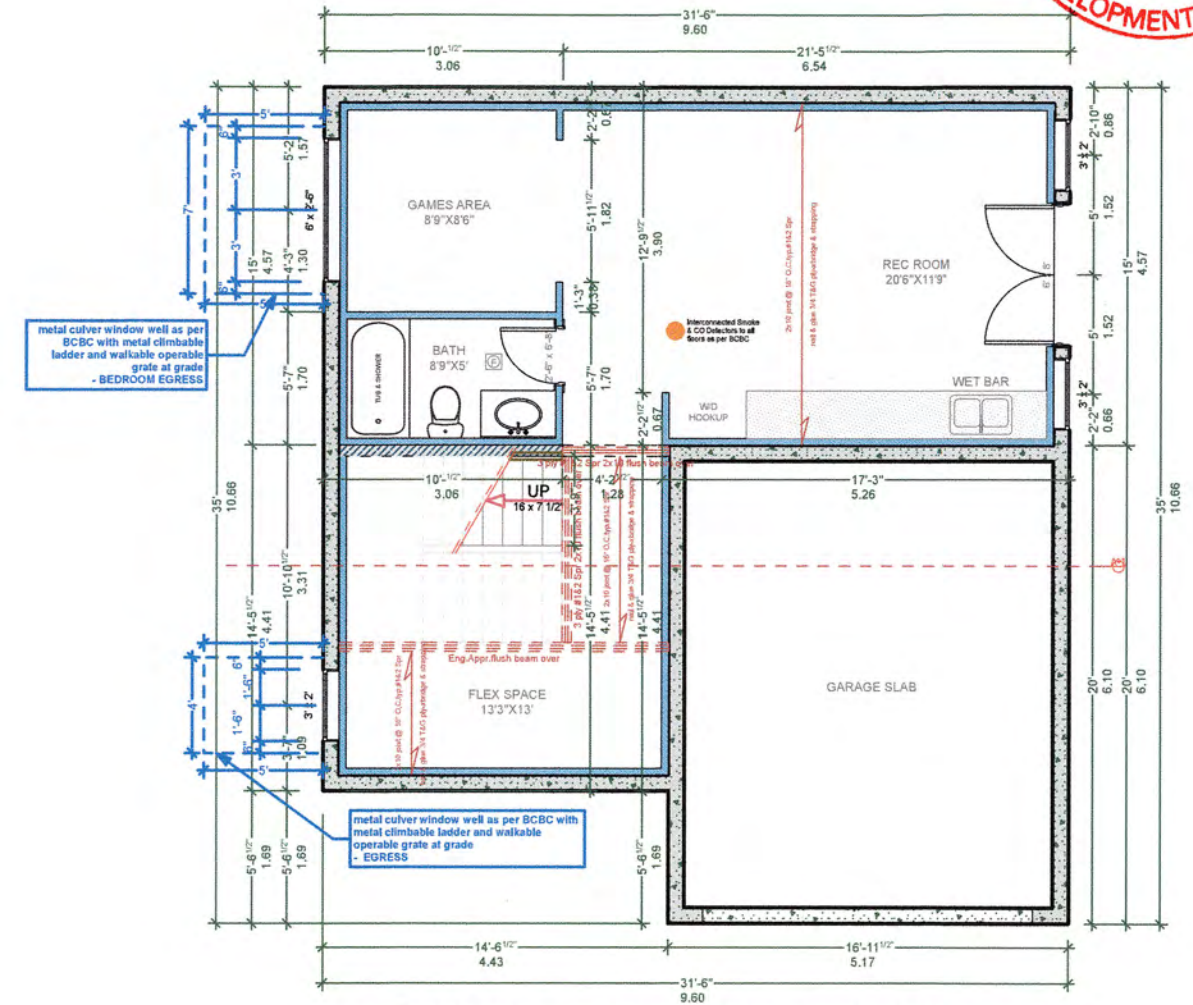
SITE PLAN  
SCALE: 1 : 300




PERSPECTIVE  
NOT TO SCALE



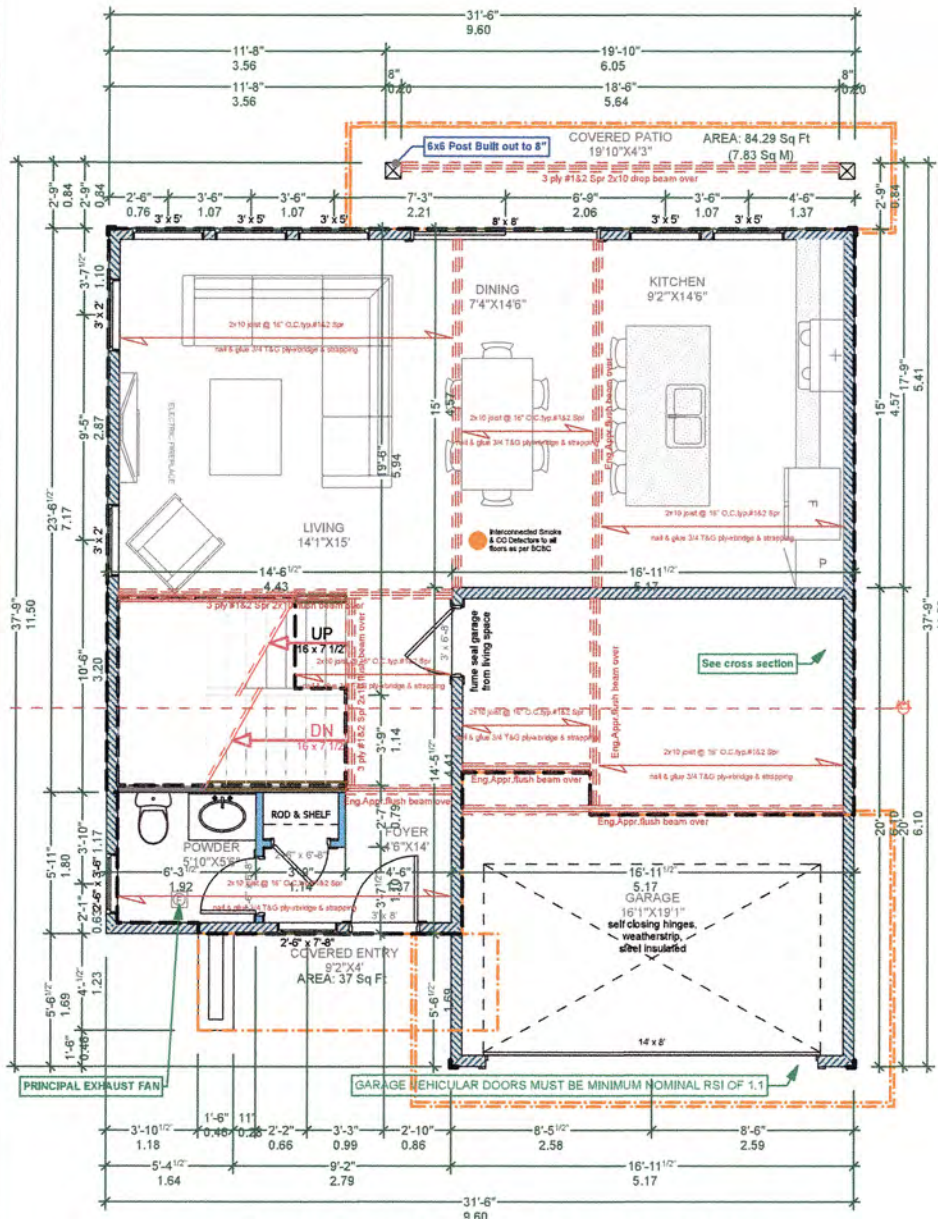
FOUNDATION PLAN (ON SLAB)  
SCALE: 1/8" = 1'-0"



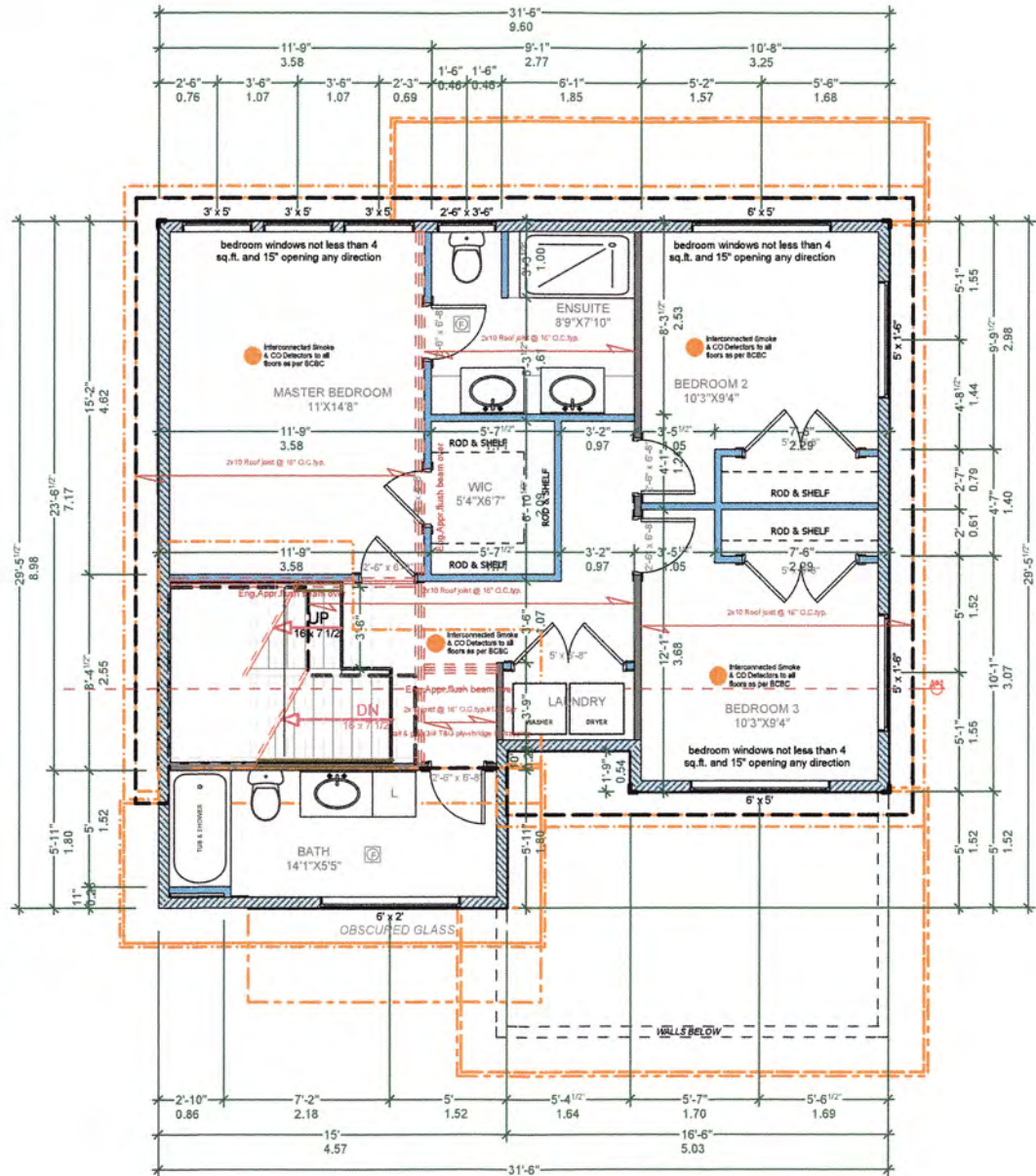
BASEMENT FLOOR PLAN (9'-0 3/4" WALLS)  
SCALE: 1/8" = 1'-0"  
BASEMENT FLOOR AREA: 623.41 Sq Ft (57.91 Sq M)

SHEET NO.: A2	ISSUE DATE: MAY 15, 2018	DRAWN BY: KYLE LEGGETT	DRAWING NAME: PROPOSED LOT C - FOUNDATION PLAN AND BASEMENT FLOOR PLAN	CUSTOMER: RADIUS PROPERTY GROUP	ADDRESS: 901 SELKIRK PLACE, ESQUIMALT BC	 <b>JAVA DESIGNS</b> WHERE LINES ON PAPER BECOME WALLS ON SITE PH 250.590.2468 FX 250.590.4577 www.javadesigns.ca
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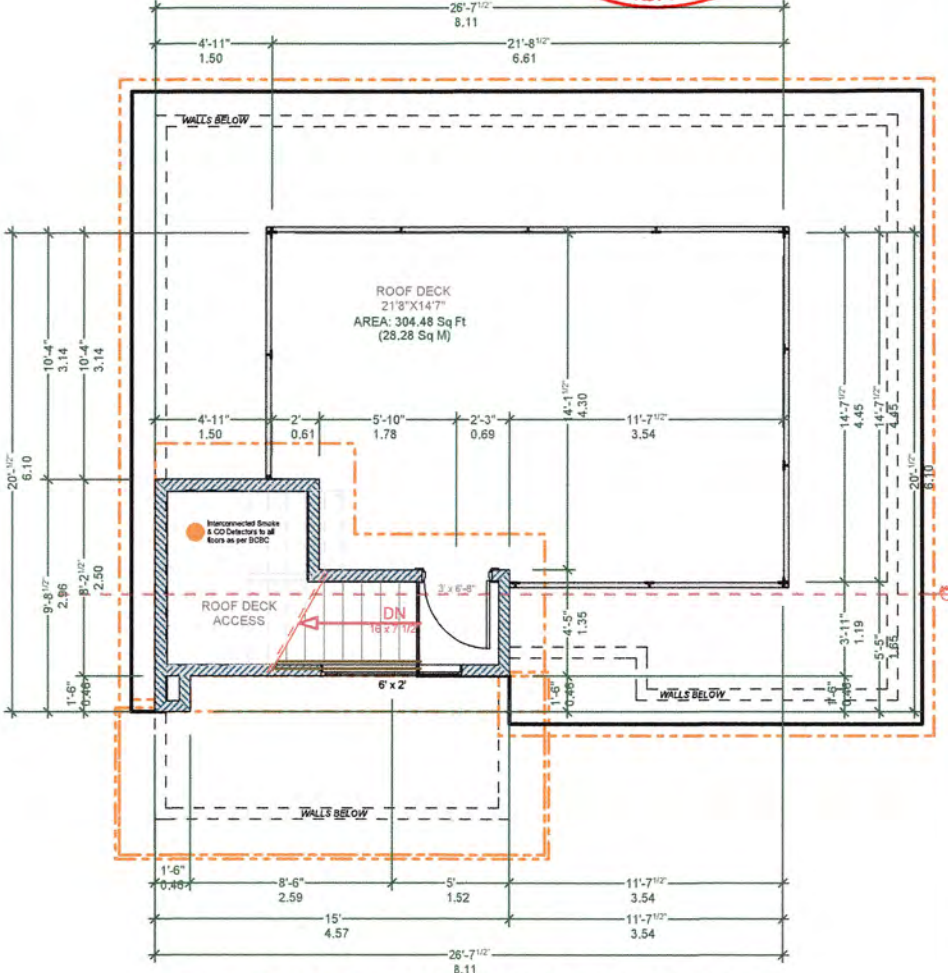
**RECEIVED**  
**MAY 18 2018**  
 CORP. OF TOWNSHIP OF ESQUIMALT  
 DEVELOPMENT SERVICES



**MAIN FLOOR PLAN (9'-0 3/4" WALLS)**  
 SCALE: 1/4" = 1'-0"  
 MAIN FLOOR AREA: 641.56 Sq Ft (59.60 Sq M)  
 GARAGE AREA: 319.89 Sq Ft (29.71 Sq M)

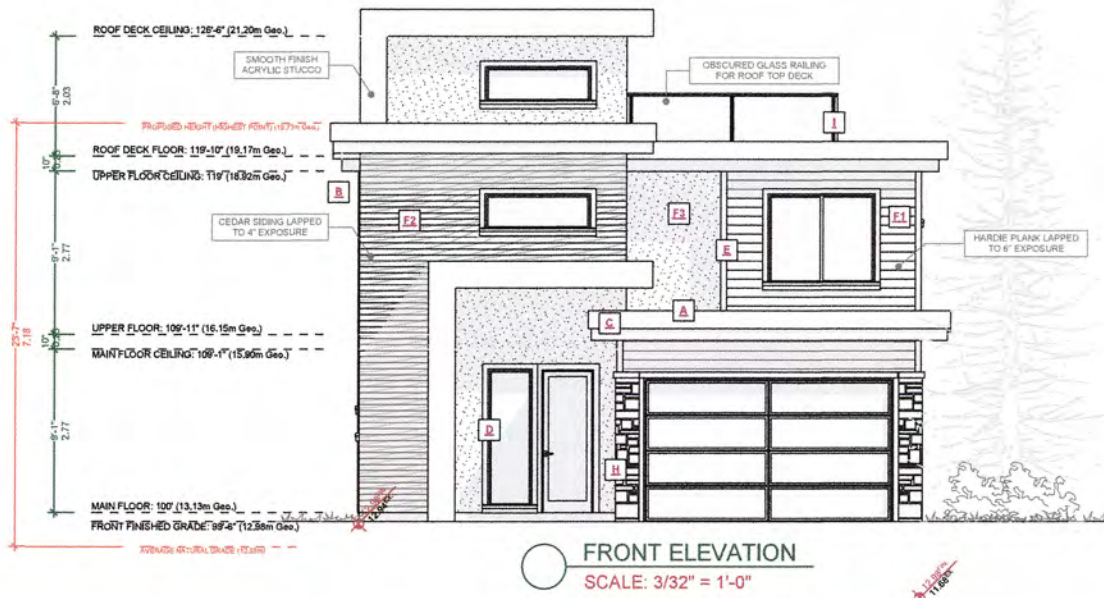


**UPPER FLOOR PLAN (9'-0 3/4" WALLS)**  
 SCALE: 1/4" = 1'-0"  
 UPPER FLOOR AREA: 713.08 Sq Ft (66.24 Sq M)



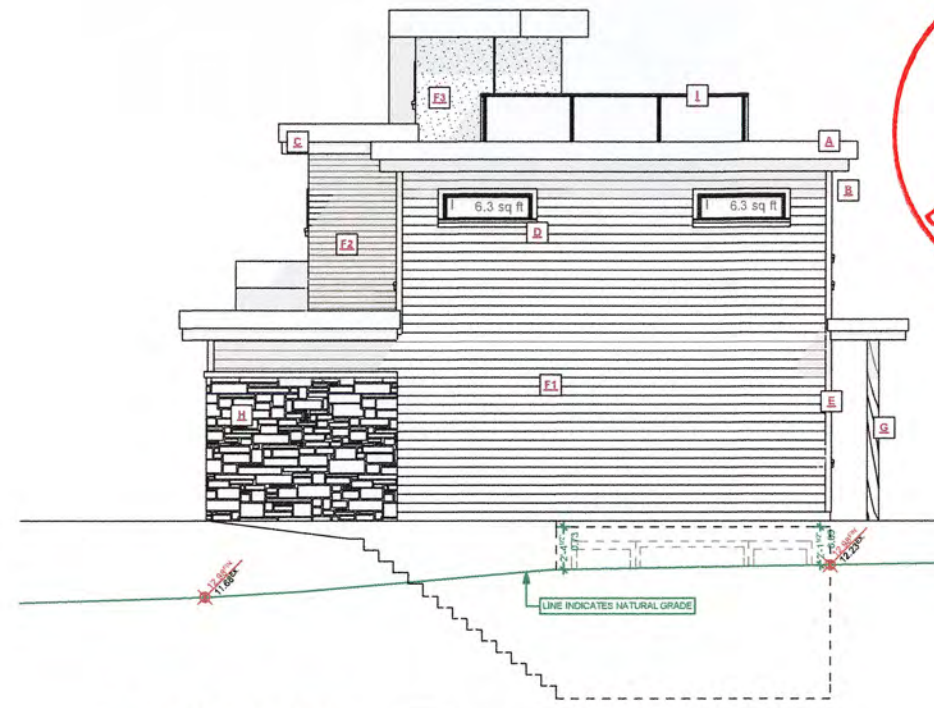
**ROOF DECK PLAN (8'-0 3/4" WALLS)**  
 SCALE: 1/4" = 1'-0"  
 ACCESS FLOOR AREA: 69.04 Sq Ft (6.41 Sq M)  
 ACCESS AREA 6.894% OF TOTAL ROOF AREA



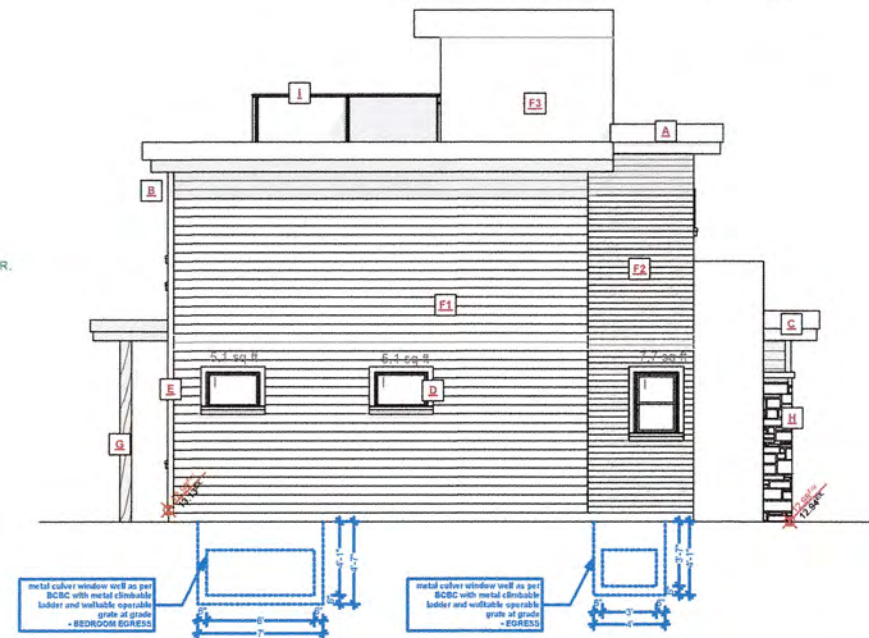
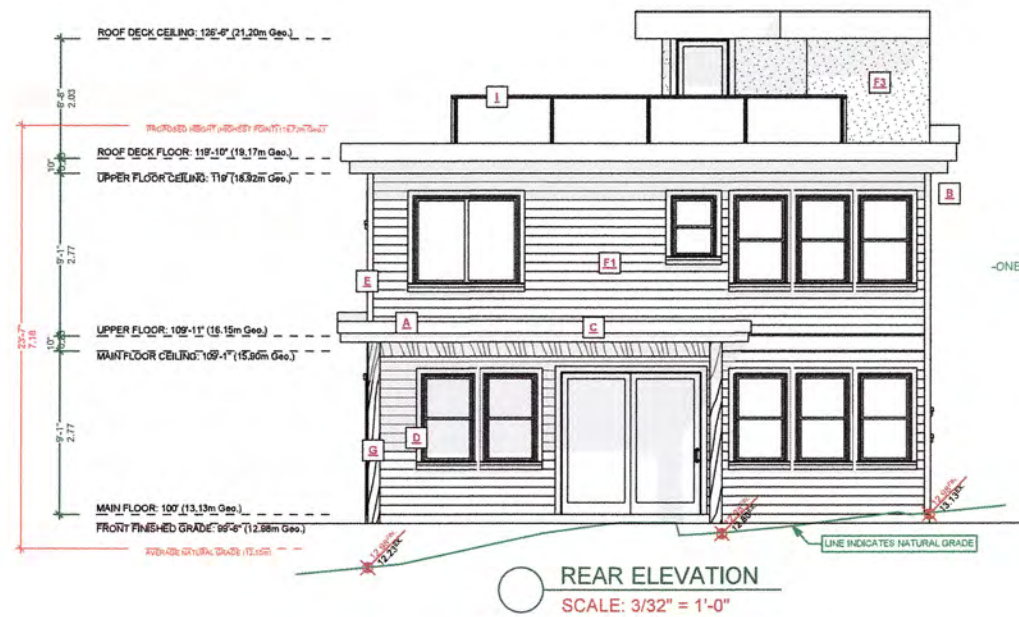


EXTERIOR FINISHES SCHEDULE	
<b>A</b> ROOFING:	BUILT UP TORCH-ON METAL STANDING SEAM ROOFS AS PER CONTRACTORS SPECS
<b>B</b> GUTTER & SOFFIT:	ALUMINIUM GUTTER AND NON-VENTED SOFFIT
<b>C</b> BARGE BOARD:	2x10 WITH 1x4 DOUBLE BARGE BOARD, PAINTED TRIM COLOUR
<b>D</b> WINDOW & DOOR TRIM:	1x4 TRIM BOARDS - PAINTED/ STAINED
<b>E</b> CORNER TRIM:	1x4 CORNER BOARDS - PAINTED/ STAINED
<b>F1</b> WALL FINISH:	HARDIE-PLANK SIDING LAPPED TO 6" EXPOSURE - COLOUR AS PER BUILDERS SPECS
<b>F2</b> WALL FINISH:	HORIZONTAL CEDAR SIDING LAPPED TO 4" EXPOSURE - COLOUR AS PER BUILDERS SPECS
<b>F3</b> WALL FINISH:	STUCCO - SEE OWNER FOR TEXTURE FINISH - RAIN SCREEN AS PER BCBC
<b>G</b> POSTS:	8x8 POSTS - PAINTED/STAINED AS PER OWNERS SPECS
<b>H</b> STONE:	K2 STONE - RAIN SCREEN AS PER BCBC
<b>I</b> RAILINGS:	GLASS RAILINGS - 42" HIGH/ NON CLIMBABLE

\*\*ALL WINDOWS MUST COMPLY WITH BCBC AND NAFS REQUIREMENTS\*\*  
MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION.  
-ONE EXTERIOR DOOR IS PERMITTED TO HAVE A HIGHER U-VALUE OF 2.8. ALL OTHERS MUST BE LOWER.  
-GARAGE VEHICULAR DOORS MUST BE MINIMUM NOMINAL RSI OF 1.1



EXPOSING BUILDING FACE: 54.22m<sup>2</sup>  
LIMITING DISTANCE: 3.51m  
AREA OF GLAZED OPENINGS: 1.16m<sup>2</sup>  
% GLAZED OPENINGS: 2.13%  
45 min FIRE-RESISTANCE RATING: not required  
TYPE OF CLADDING: no limits  
PERMITTED % OF GLAZED OPENINGS (as per Table 9.10.15.4): 23.49%  
PERMITTED AGGREGATE AREA OF GLAZED OPENINGS: 12.73m<sup>2</sup>



EXPOSING BUILDING FACE: 53.76m<sup>2</sup>  
LIMITING DISTANCE: 2.36m  
AREA OF GLAZED OPENINGS: 1.66m<sup>2</sup>  
% GLAZED OPENINGS: 3.08%  
45 min FIRE-RESISTANCE RATING: not required  
TYPE OF CLADDING: no limits  
PERMITTED % OF GLAZED OPENINGS (as per Table 9.10.15.4): 14.20%  
PERMITTED AGGREGATE AREA OF GLAZED OPENINGS: 7.63m<sup>2</sup>

# Schedule "D"



## GREEN BUILDING CHECKLIST

The purpose of this Checklist is to make property owners and developers aware of specific green features that can be included in new developments to reduce their carbon footprints to help create a more sustainable community.

Creating walkable neighbourhoods, fostering green building technologies, making better use of our limited land base and ensuring that new development is located close to services, shops and transit are some of the means of achieving sustainability.

The Checklist which follows focuses on the use of **Green Technologies** in new buildings and major renovations. The Checklist is not a report card, it is a tool to help identify how your project can become 'greener' and to demonstrate to Council how your project will help the Township of Esquimalt meet its sustainability goals. It is not expected that each development will include all of the ideas set out in this list but Council is looking for a strong commitment to green development.

There are numerous green design standards, for example, Built Green BC; LEED ND; Living Building Challenge; Green Shores; Sustainable Sites Initiative. Esquimalt is not directing you to follow any particular standard, however, you are strongly encouraged to incorporate as many green features as possible into the design of your project .

As you review this checklist, if you have any questions please contact **Development Services** at **250.414.7108** for clarification.

**New development is essential to Esquimalt.  
We look forward to working with you  
to ensure that development is  
as green and sustainable as possible.**

Other documents containing references to building and site design and sustainability, which you are advised to review, include:

- Esquimalt's Official Community Plan
- Development Protocol Policy
- Esquimalt's Pedestrian Charter
- Tree Protection Bylaw No. 2664
- A Sustainable Development Strategic Plan for the Township of Esquimalt

*Adopted on January 10th, 2011*



“One-third of Canada’s energy use goes to running our homes, offices and other buildings. The federal government’s Office of Energy Efficiency (Natural Resources Canada) reports that a corresponding one-third of our current greenhouse gas (GHG) emissions come from the built environment.”  
 [Green Building and Development as a Public Good, Michael Buzzelli, CPRN Research Report June 2009]

Please answer the following questions and describe the green and innovative features of your proposed development. Depending on the size and scope of your project, some of the following points may not be applicable.

### Green Building Standards

*Both energy use and emissions can be reduced by changing or modifying the way we build and equip our buildings.*

1	Are you building to a recognized green building standard? If yes, to what program and level?	Yes	<input checked="" type="radio"/> No
2	If not, have you consulted a Green Building or LEED consultant to discuss the inclusion of green features?	<input checked="" type="radio"/> Yes	No
3	Will you be using high-performance building envelope materials, rainscreen siding, durable interior finish materials or safe to re-use materials in this project? If so, please describe them.	<input checked="" type="radio"/> Yes	No
4	What percentage of the existing building[s], if any, will be incorporated into the new building? <u>Vacant lot</u>	<u>N/A</u>	%
5	Are you using any locally manufactured wood or stone products to reduce energy used in the transportation of construction materials? Please list any that are being used in this project. <u>Some wood used in construction</u>		
6	Have you considered advanced framing techniques to help reduce construction costs and increase energy savings?	Yes	<input checked="" type="radio"/> No
7	Will any wood used in this project be eco-certified or produced from sustainably managed forests? If so, by which organization? <u>TBD.</u>  For which parts of the building (e.g. framing, roof, sheathing etc.)? _____		
8	Can alternatives to Chlorofluorocarbon’s and Hydro-chlorofluorocarbons which are often used in air conditioning, packaging, insulation, or solvents] be used in this project? If so, please describe these. _____	<input checked="" type="radio"/> Yes	No
9	List any products you are proposing that are produced using lower energy levels in manufacturing.		
10	Are you using materials which have a recycled content [e.g. roofing materials, interior doors, ceramic tiles or carpets]?	Yes	<input checked="" type="radio"/> No
11	Will any interior products [e.g. cabinets, insulation or floor sheathing] contain formaldehyde?	Yes	<input checked="" type="radio"/> No

## Water Management

The intent of the following features is to promote water conservation, re-use water on site, and reduce storm water run-off.

### Indoor Water Fixtures

12	Does your project exceed the BC Building Code requirements for public lavatory faucets and have automatic shut offs? <i>N/A</i>	Yes	No
13	For commercial buildings, do flushes for urinals exceed BC Building Code requirements? <i>N/A</i>	Yes	No
14	Does your project use dual flush toilets and do these exceed the BC Building Code requirements?	<input checked="" type="radio"/> Yes	<input type="radio"/> No
15	Does your project exceed the BC Building Code requirements for maximum flow rates for private showers?	Yes	<input checked="" type="radio"/> No
16	Does your project exceed the BC Building Code requirements for flow rates for kitchen and bathroom faucets?	Yes	<input checked="" type="radio"/> No

### Storm Water

17	If your property has water frontage, are you planning to protect trees and vegetation within 60 metres of the high water mark? [Note: For properties located on the Gorge Waterway, please consult Sections 7.1.2.1 and 9.6 of the Esquimalt Official Community Plan.]	Yes	No	<input checked="" type="radio"/> N/A
18	Will this project eliminate or reduce inflow and infiltration between storm water and sewer pipes from this property?	Yes	No	<input checked="" type="radio"/> N/A
19	Will storm water run-off be collected and managed on site (rain gardens, wetlands, or ponds) or used for irrigation or re-circulating outdoor water features? If so, please describe. _____	Yes	<input checked="" type="radio"/> No	N/A
20	Have you considered storing rain water on site (rain barrels or cisterns) for future irrigation uses?	Yes	<input checked="" type="radio"/> No	N/A
21	Will surface pollution into storm drains will be mitigated (oil interceptors, bio-swales)? If so, please describe. _____	Yes	No	<input checked="" type="radio"/> N/A
22	Will this project have an engineered green roof system or has the structure been designed for a future green roof installation?	Yes	No	<input checked="" type="radio"/> N/A
23	What percentage of the site will be maintained as naturally permeable surfaces?	<i>60-70</i> %		

### Waste water

24	For larger projects, has Integrated Resource Management (IRM) been considered (e.g. heat recovery from waste water or onsite waste water treatment)? If so, please describe these. _____	Yes	No	<input checked="" type="radio"/> N/A
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## Natural Features/Landscaping

The way we manage the landscape can reduce water use, protect our urban forest, restore natural vegetation and help to protect the watershed and receiving bodies of water.

25	Are any healthy trees being removed? If so, how many and what species? <i>See arborist report</i>	<input checked="" type="radio"/> Yes	<input type="radio"/> No	<input type="radio"/> N/A
	Could your site design be altered to save these trees?			
	Have you consulted with our Parks Department regarding their removal?			

26	Will this project add new trees to the site and increase our urban forest? If so, how many and what species? _____	Yes	<input checked="" type="radio"/> No	N/A
27	Are trees [existing or new] being used to provide shade in summer or to buffer winds?	Yes	No	<input checked="" type="radio"/> N/A
28	Will any existing native vegetation on this site be protected? If so, please describe where and how. _____	Yes	No	<input checked="" type="radio"/> N/A
29	Will new landscaped areas incorporate any plant species native to southern Vancouver Island?	Yes	No	<input checked="" type="radio"/> N/A
30	Will xeriscaping (i.e. the use of drought tolerant plants) be utilized in dry areas?	Yes	No	<input checked="" type="radio"/> N/A
31	Will high efficiency irrigation systems be installed (e.g. drip irrigation; 'smart' controls)?	<input checked="" type="radio"/> Yes	No	N/A
32	Have you planned to control invasive species such as Scotch broom, English ivy, Himalayan and evergreen blackberry growing on the property?	<input checked="" type="radio"/> Yes	No	N/A
33	Will topsoil will be protected and reused on the site?	<input checked="" type="radio"/> Yes	No	N/A
<b>Energy Efficiency</b>				
<i>Improvements in building technology will reduce energy consumption and in turn lower greenhouse gas [GHG] emissions. These improvements will also reduce future operating costs for building occupants.</i>				
34	Will the building design be certified by an independent energy auditor/analyst? If so, what will the rating be? _____	Yes	<input checked="" type="radio"/> No	N/A
35	Have you considered passive solar design principles for space heating and cooling or planned for natural day lighting?	Yes	<input checked="" type="radio"/> No	N/A
36	Does the design and siting of buildings maximize exposure to natural light? What percentage of interior spaces will be illuminated by sunlight? <u>100</u> %	<input checked="" type="radio"/> Yes	No	N/A
37	Will heating and cooling systems be of enhanced energy efficiency (ie. geothermal, air source heat pump, solar hot water, solar air exchange, etc.). If so, please describe. _____ If you are considering a heat pump, what measures will you take to mitigate any noise associated with the pump? _____	<input checked="" type="radio"/> Yes	No	N/A
38	Has the building been designed to be solar ready?	<input checked="" type="radio"/> Yes	No	N/A
39	Have you considered using roof mounted photovoltaic panels to convert solar energy to electricity?	Yes	<input checked="" type="radio"/> No	N/A
40	Do windows exceed the BC Building Code heat transfer coefficient standards?	Yes	<input checked="" type="radio"/> No	N/A
41	Are energy efficient appliances being installed in this project? If so, please describe.	<input checked="" type="radio"/> Yes		
42	Will high efficiency light fixtures be used in this project? If so, please describe.	<input checked="" type="radio"/> Yes	No	N/A
43	Will building occupants have control over thermal, ventilation and light levels?	<input checked="" type="radio"/> Yes	No	N/A
44	Will outdoor areas have automatic lighting [i.e. motion sensors or time set]?	<input checked="" type="radio"/> Yes	No	N/A
45	Will underground parking areas have automatic lighting?	Yes	No	<input checked="" type="radio"/> N/A



## Air Quality

The following items are intended to ensure optimal air quality for building occupants by reducing the use of products which give off gases and odours and allowing occupants control over ventilation.

46	Will ventilation systems be protected from contamination during construction and certified clean post construction?	Yes	No	N/A
47	Are you using any natural, non-toxic, water soluble or low-VOC [volatile organic compound] paints, finishes or other products? If so, please describe. _____	Yes	No	N/A
48	Will the building have windows that occupants can open?	Yes	No	N/A
49	Will hard floor surface materials cover more than 75% of the liveable floor area?	Yes	No	N/A
50	Will fresh air intakes be located away from air pollution sources?	Yes	No	N/A

## Solid Waste

Reuse and recycling of material reduces the impact on our landfills, lowers transportation costs, extends the life-cycle of products, and reduces the amount of natural resources used to manufacture new products.

51	Will materials be recycled during demolition of existing buildings and structures? If so, please describe. _____	Yes	No	N/A
52	Will materials be recycled during the construction phase? If so, please describe. _____	Yes	No	N/A
53	Does your project provide enhanced waste diversion facilities i.e. on-site recycling for cardboard, bottles, cans and or recyclables or on-site composting?	Yes	No	N/A
54	For new commercial development, are you providing waste and recycling receptacles for customers?	Yes	No	N/A

## Green Mobility

The intent is to encourage the use of sustainable transportation modes and walking to reduce our reliance on personal vehicles that burn fossil fuels which contributes to poor air quality.

55	Is pedestrian lighting provided in the pathways through parking and landscaped areas and at the entrances to your building[s]?	Yes	No	N/A
56	For commercial developments, are pedestrians provided with a safe path[s] through the parking areas and across vehicles accesses?	Yes	No	N/A
57	Is access provided for those with assisted mobility devices?	Yes	No	N/A
58	Are accessible bike racks provided for visitors?	Yes	No	N/A
59	Are secure covered bicycle parking and dedicated lockers provided for residents or employees?	Yes	No	N/A
60	Does your development provide residents or employees with any of the following features to reduce personal automobile use [check all that apply]: <input type="checkbox"/> transit passes <input type="checkbox"/> car share memberships <input type="checkbox"/> shared bicycles for short term use <input type="checkbox"/> weather protected bus shelters <input checked="" type="checkbox"/> plug-ins for electric vehicles			

Is there something unique or innovative about your project that has not been addressed by this Checklist? If so, please add extra pages to describe it.



## **SouthShore Forest Consultants**

### **Arborist Report**

Radius Property Group Inc.

Site

901 Selkirk Avenue  
Esquimalt, BC

May 22, 2018

Prepared for:  
Radius Property Group Inc.

250.885.8548

Prepared by:  
*SouthShore Forest Consultants*



### *SouthShore Forest Consultants*

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Work Safe BC # 968408

Insurance/ Seafirst Brentwood (CFC Underwriting – 5 Million Dollar Liability- Policy PSG03515712)

Incorporation # BC1069996 Ltd.

## **RE: Tree Assessment & Tree Protection Plan (TPP) 901 Selkirk Avenue – Township of Esquimalt**

### **Executive Summary**

ShoreShore Forest Consultants was retained by our client to provide an Arborist assessment and Tree Protection Plan (TPP) for a residential property located at 901 Selkirk Avenue in the Township of Esquimalt. Our primary duty involves the identification of trees proposed for retention and removal within the site. The client has indicated that three (3) Lots, A, B & C will be constructed on the site. Our assessment of the site has indicated that approximately eight (8) trees can be retained under the current proposal. Municipal and private trees are positioned within the scope of work at the site. Our observations indicate that most trees will be removed to accommodate the proposed development.

### **Background/Scope of Work**

SouthShore Forest Consultants was contacted by Denise Kors, a Development Manager with Kors Development Services Inc. Denise had provided us with information concerning a residential lot which has been proposed for sub-division in the Township of Esquimalt. Denise has requested that SouthShore Forest Consultants provide a Tree Protection Plan (TPP) which would adhere to the current Township of Esquimalt Development Policy.

A pre-emptive tree inventory was performed in February 2018. Trees were tagged, assessed and mapped. On May 23, 2018 that site was re-assessed by Michael Butcher, a Consulting Arborist with SouthShore Forest Consultants.

## Methodology

On May 23, 2018 Michael Butcher a consulting arborist with SouthShore Forest Consultants performed the site assessment. The assessment was performed from grade. We considered this type of site inspection to be classified as a “Basic Visual Tree Assessment”. No form of invasive or diagnostic forms of arboricultural measurement tools were used during the assessment.

The weather that day was mild and sunny with temperatures around 18C. No precipitation was detected, landscape was dry. Wind speed was minor, 2-4km per/hour.

A secondary tree inventory and assessment of the site was performed. During the assessment we focused on the proposed Lot design; building footprints, driveway approach and utility corridors. Our goal will be to provide a sustainable tree retention plan aimed at a reasonable approach to the sites development.

A responsible Tree Protection Plan (TPP) will focus on reducing impacts to trees roots zones and soil compaction. Furthermore a TPP must take into account protectable trees and available planting areas on site. Our goal will focus on a reasonable TPP which is accountable for the proposed impacts which would occur during the construction phase of the project.

## Observations/Discussion

The first observation of note regarding the site is how vast majority of the trees are positioned along the edge of the property line. The site is vacant and appeared to have not been developed in recent decades. A lot of the trees were observed to be in fair to poor condition. Dead tree tops, branching and poor structure were observed throughout the site. Our observations have indicated that no form of tree maintenance had been performed on the site for decades. Thickets of small trees, ivy and weeds were observed throughout the site. We observed litter and debris. It appeared that the site was used for transient passage.

We observed thirty six (36) trees within the project area; twenty six (26) trees on the client’s property, nine (9) municipal trees positioned on the public Right-of-Way and one (1) located on the neighbouring property to the south.

Our observations under the current proposal have indicated that;

- Six (6) Municipal trees will have to be removed. Each of the six trees are positioned within the Municipal Boulevard. Driveway cuts, tree condition and general liability make each of these trees reasonable tree removal candidates. (Tree # 520, 538, 539, 540, 545 & 546)

- Twenty three (23) trees positioned on the client’s property will be required for removal under the current proposal. Building foot prints, driveway cuts and tree condition make each of these trees reasonable tree removal candidates. (Please refer to Tree Inventory for tree identification numbers)
- Three (3) Municipal trees can be retained and protected during the project. (Tree #521, 522 & 544) All three trees are positioned in the Municipal Boulevard.
- One (1) private tree, an English Laurel (*Prunus laurocerasus*) #517 positioned inside the site fence, but identified as a private tree belonging to the neighbouring south property.
- Three (3) trees positioned on the client’s property which can be retained on site. A big-leaf maple (*Acer macrophyllum*) #547 which could have questionable implications. Two of the trees are positioned in the proposed ROW along the western property line.

### **Tree Protection Plan (TTP)**

- Provide approved fencing detail provided by the Township of Esquimalt.
- Install Tree Protection Fencing (TPF) at a minimum of the Protected Root Zone (PRZ) specifications recommended within the Tree Inventory. Consult with Project Arborist and verify fencing locations prior to demolition.
- Provide sufficient protection fencing to protect the Municipal Boulevard. This is very important to this site, due to replacement plantings.
- Provide tree protection fencing, shielding (planking) to protect maple #547. This tree is questionable due to its position. A protected tree, feel the client can develop and save the tree. The stem and upper root-crown must be protected if this tree is retained.
- Fencing can be constructed to form a square, right angle or radius along the parameter of tree drip-lines. In the event that this cannot be achieved due to structural or landscape barriers, provide the most practical distance whenever possible.
- Utilize existing sidewalk and stone barriers as compaction reduction barriers during the demolition and construction phases.
- Provide hog-fuel (wood mulch) to reduce the impacts of equipment egress into and out of the site. Apply at a depth of 25cm above natural grade.
- CREATE ONE (1) ENTRANCE INTO THE SITE. UTILIZE THIS PATH OF EGRESS. (Arcadia Street aligned with the proposed driveway of “Lot A”)
- Provide staging and materials storage area on the site.
- Utilize small rubberized track type excavators while on site.
- Read and follow comments listed within the Tree Inventory. Consult with Project Arborist when further investigation or recommendations are required.

## Conclusions

- Tree protection and mitigation methods should be used to preserve the municipal and private trees.
- Tree Protection Mitigation should be utilized to minimize soil and root compaction within the Municipal Boulevard.
- Design improvements or modifications can be made to the existing sidewalk to reduce further impacts or hardscape damage post construction.
- Utilize hog-fuel, wood mulch within the path of egress to the site. This will reduce the impacts from heavy machinery in and out of the site.
- A Project Arborist will be required to supervise and assess the excavation process. The Project Arborist will determine root pruning and removal specifications for the project.

## Recommendations

- ✚ Provide Tree Protection Plan (TPP) for Township Approval.
- ✚ Provide pre and post construction inspection of protection fencing construction.
- ✚ Ensure that Municipal Boulevard is protected during the project.

Michael Butcher  
SouthShore Forest Consultants  
BSc Forestry  
ISA-ON-0583A  
TRAQ# 1401  
250.893.9056



**ATTACHMENTS**

- Appendix A – Tree Inventory
- Appendix B – Photos

**Arborist Disclosure Statement:**

Arborist are tree specialists who use their education, training and experience to examine trees, recommend measures to enhance the beauty and health of trees, and attempt to reduce the risks.

Arborist cannot detect every condition that could possibly lead to structural failure of a tree.

Trees are living organisms that fail in ways we do not fully understand. Conditions are often hidden within trees and below the ground.

Arborist cannot guarantee that the tree will be healthy and safe under all circumstances, or for a specific period of time. Trees are dynamic specimens, not static. Changes in conditions including the environment are unknown.

Remedial treatments cannot be guaranteed.

Trees can be managed, but they cannot be controlled. The only way to eliminate all risk is to eliminate all trees

### Tree Assessment Condition Rating

- Good - A tree specimen which is exempt defects, branch dieback, moderate insect and fungal identification. This tree has evenly distributed branching, trunk development and flare. The root zone is undisturbed, leaf, bud and flower production and elongation are normal for its distribution.
- Fair - A tree specimen which has minor defects, branch dieback, previous limb failure, identification of cavities and insect, or fungal identification. This tree has multiple (2-3) primary stem attachments; previous utility pruning, callus growth and poor wound wood development. Minor root girdling, soil heave and identifiable mechanical damage to the root flare or root zone.
- Poor- A tree specimen where 30-40% of the canopy is identifiably dead, large dead primary branching, limited leaf production, bud development and stem elongation. Limb loss or failure, and heavy storm damage leading to uneven weight distribution. Large pockets of decay, multiple cavities, heavy insect and fungal infection. Root crown damage or mechanical severing of roots. Root plate shifting, heavy lean and movement of soil.
- Dead- Tree has been observed to be dead with no leaf, foliar and bud development. No stump sprouts and root suckers are present.

## Tree Protection Plan

- i. **Provide a detailed sign specifying that tree protection measures are in place and will be followed during the project. Fines will be posted for malicious acts and can be placed on individuals who disregard the tree protection plan and its guidelines. Signs will be placed at each entrance of the project detailing what is expected when working in potentially high impact tree protection zones.**
- ii. **Provide tree protection fencing for all trees identified with protection requirement in this report. This fencing shall be four (4ft) feet in height and made of orange plastic. If required, header and footer boards will be used to secure the protective fencing. Use the Township of Esquimalt tree protection specifications.**
- iii. **Tree protection and root protection signs will be placed on the fencing. No entry will be allowed, unless specified by the project arborist and in their presents while on site.**
- iv. **Restrict vehicle traffic to designated access routes and travel lanes to avoid soil compaction and vegetation disturbances.**
- v. **Make all necessary precautions to prevent the storage of material, equipment, stockpiling of aggregate or excavated soils within tree protection areas. No dumping of fuels, oils or washing of concrete fluids will be allowed in tree protection zones.**
- vi. **Provide an onsite arborist when a risk of root damage, root cutting or limb removal is required within the tree protection zone.**
- vii. **Avoid alterations to existing hydrological patterns to minimize vegetation impacts to the site.**
- viii. **The use of a project arborist is required to provide layout of tree protection zones. The project arborist(s) will provide pre-construction information to all parties involved with the project. The arborist must be notified 24hrs prior to construction activities in sensitive areas. The project arborist should be used to provide root and branch pruning when diameters are greater than 6cm.**
- ix. **At no time will tree protection zones be removed from the project unless approved by the project arborist.**



Attachment “B”

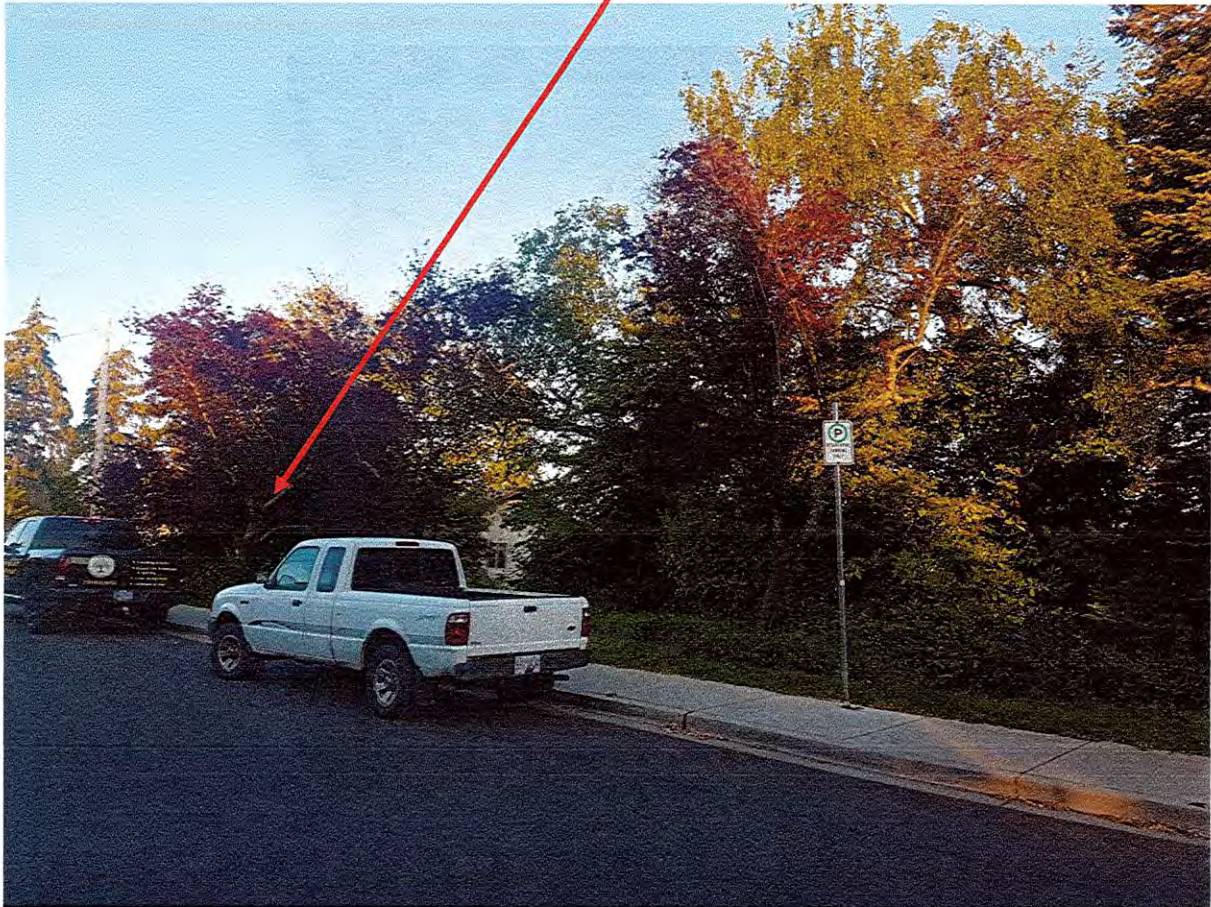
Photo #1 – Fencing Construction



In this photo you can observed a typical Tree Protection Fence. This type of construction is considered to be square with right angles.

Photo #2 – Acadia Street Side  
Municipal Boulevard

Tree #520 is aligned with the proposed driveway on Lot "A". The removal of this tree will allow for egress into and out of the site.



Tree # 521 behind the residential parking sign can be retained. The Municipal Boulevard should be protected throughout the project. It is wide and could sustain future tree plantings.

Photo # 3 – Municipal Sidewalk & Blvd.

Purple leaf plum trees, # 521 & #522 have been identified for retention.



In this photo you can see the width of the Municipal Boulevard. This area needs to be protected during the entire project. Wide Boulevards in urban environments tend to produce successful tree plantings.

Photo # 4 – Municipal Sidewalk & Blvd.

Tree # 544, purple leaf plum and sidewalk designed aimed at preserving the tree.



In this photo you can see the Selkirk Avenue side of the project area.



## Southshore Forest Consultants

### APPENDIX A - TREE INVENTORY- Tree Retention & Removal Identification

**Location:** 901 Selkirk Ave., Township of Esquimalt

**Date:** May 22, 2018

**Page #:** 1

**Comments/Site Conditions:** Clear, sunny, warm, 17\* C with minimal winds at time of assessment. Blue colour, indication of proposed Right-of-Way. Yellow colour indicates trees to be retained under the current proposal. Red colour font indicates Municipal Trees within the project area.

TAG #	Spec.	DBH (cm)	Ht (m)	PRZ (m)	Cond. G,F,P	Retain	Remove	Comments/Recommendations
511	Cedar	18	6	3	F	X		Western red-cedar ( <i>Thuja plicata</i> ). Protected tree. Within proposed Right-of-Way.
512	Spruce	46	7	5	P	X	X	Exotic Spruce ( <i>Picea sp.</i> ). Protected. Dying, only 2 live branches, Retain or Remove.
513	Cedar	12	5	5	F	X		Protected. At SW corner. Within ROW
514	Cedar	9	4	2	F/P		X	Remove. Braced and supported. Loose root plate. May have fallen over in past.
515	B L Maple	49	12	5	F		X	Remove, to close to proposed footprint on Lot A
516	Hawthorn	20	6	2	F		X	( <i>Crataegus sp.</i> ) Not protected. Pistol butt sweep. Lean and branches touching house to S.
517	Laurel	17	7	4	F	X		Protect and Preserve. Private tree as per Site Map / Survey. TPF required.
518	B L Maple	38	5	3	F/G		X	Remove, poor structure. Close to building footprint.
519	B L Maple	6	6	2	G		X	Remove, within proposed building footprint in Lot A
520	P L Plum	28	8	4	F		X	<b>Municipal Tree, Remove and replace with same species. Shift south by 1.5m in planter strip.</b>
521	P L Plum	21	7	3	F	X		<b>Municipal Tree, Protect &amp; Preserve. Tree Protection Fencing (TPF) required.</b>
522	P L Plum	19	6	3	F	X		<b>Municipal Tree, Protect &amp; Preserve. Tree Protection Fencing (TPF) required.</b>
523	Birch	59	13	5	P		X	Remove. Dying with large rotten top and branches. High hazard.
524	Hawthorn	16	6	3	F		X	Not protected. 2-stemmed tree.
525	Holly	29	7	3	F		X	( <i>Ilex sp.</i> ) Not protected. 4-stemmed.
526	Birch	53	13	5	P		X	Remove. Dying with large rotten top and branches. High hazard.
527	Arbutus	21	12	5	G		X	Remove, footprint tree which will be significantly impacted in Lot B
528	Hawthorn	10	6	2	F		X	Not protected. Fork at 1.3 m.

529	Gr Fir	44	19	6	F	X	(Abies grandis) . Remove, within the proposed footprint for Lot B.
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**Southshore Forest Consultants**

**APPENDIX A - TREE INVENTORY/HAZARD RATINGS SUMMARY**

**Location:** 901 Selkirk Ave., Township of Esquimalt      **Date:** May 22, 2018      **Page #:** 2

TAG #	Spec.	DBH (cm)	Ht (m)	PRZ (m)	Cond. G,F,P	Retain	Remove	Comments/Recommendations
530	Holly	12	6	2	F		X	Not protected.
531	Hawthorn	10	6	2	F		X	Not protected.
532	Holly	5	5	2	F		X	Not protected.
533	Holly	8	5	2	F		X	Not protected.
534	Holly	6	4	2	F		X	Not protected.
535	Holly	7	5	2	F		X	Not protected.
536	Hawthorn	25	7	2	F		X	Not protected. 3-stemmed.
537	Holly	29	8	3	F		X	Not protected.
538	Holly	8	4	3	F		X	Municipal Tree, remove due to position.
539	Holly	18	5	2	F		X	Municipal Tree, remove due to position.
540	Holly	12	5	3	F		X	Municipal Tree, remove due to position.
541	Hawthorn	44	10	4	F		X	Proposed building would significantly impact root zone. Remove. Lot B
542	Poplar	47	10	5	P/D		X	Would be protected but appears dead. Rotten trunk and branches. No buds. High hazard.
543	Gr Fir	62	18	6	F		X	Footprint tree, must be removed under current proposal
544	P L Plum	40	10	5	F	X		Municipal Tree. Protect & Preserve. Tree Protection Fencing (TPF) required.
545	P L Plum	28	7	3	F		X	Municipal Tree, remove due to construction impacts. Mitigate planting on site / Boulevard
546	P L Plum	17	4	2	F		X	Municipal Tree, remove due to construction impacts. Mitigate planting on site / Boulevard
547	B L Maple	71	10	5	P	X		Preserve and Protect. This tree is very close to the N/W corner of Lot C, in the 3.5M ROW. We believe that the tree can be retained under the current proposal.



# CORPORATION OF THE TOWNSHIP OF ESQUIMALT

Municipal Hall, 1229 Esquimalt Road, Esquimalt, B.C. V9A 3P1  
Telephone (250) 414-7100 Fax (250) 414-7111

APC Meeting: June 19, 2018

## STAFF REPORT

**DATE:** June 15, 2018

**TO:** Chair and Members of the Advisory Planning Commission

**FROM:** Karen Hay, Planner  
Bill Brown, Director of Development Services

**SUBJECT:** Interim Amendments to Zoning Bylaw 1992, No. 2050

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### RECOMMENDATION:

That the Advisory Planning Commission [APC] consider the included zoning amendments [Appendix 'A'] to Zoning Bylaw 1992, No. 2050, provides comments on the proposed changes to the regulations; and **make a recommendation to either approve, or deny the changes; with reasons for the recommendation.**

### BACKGROUND:

#### Purpose:

This latest interim amendment bylaw is intended to provide clarification for Council, staff, residents and developers for Esquimalt's Zoning Bylaw 1992, No. 2050; and addresses issues that have arisen since the last amendments to the Zoning Bylaw.

For the following please also refer to Appendix 'A' - attached, and the Zoning Bylaw (<https://www.esquimalt.ca/municipal-hall/bylaws/zoning-bylaw-consolidated>)

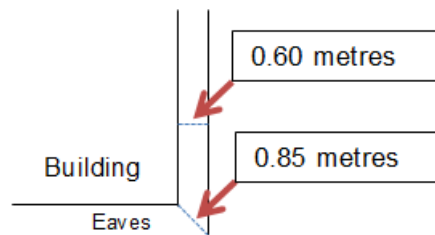
#### Summary of Definition changes:

1. Access Route: Clarification has been added that the access route itself is not a highway or a lot.
2. Accessory Building: Adds clarification that some of the objects included as landscaping (smaller play structures, pergolas) are not accessory buildings and therefore will not be treated as such in the siting regulations.
3. Balcony: Language within the existing definition has been changed for consistence through out the Zoning Bylaw. There has been an attempt in this proposed interim amendment bylaw

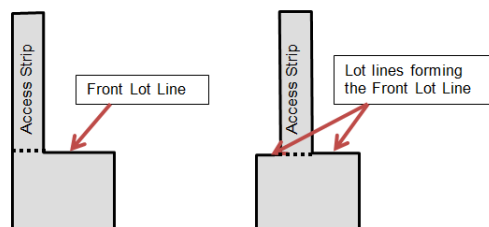


to streamline some of the language in the zoning bylaw, to reduce the number of different terms used to describe the same thing.

4. **Fence:** Clarification added that within Esquimalt a hedge is not considered a fence.
5. **Floor Area and Floor Area Ratio:** Clarify both definitions by removing reference to 'storey', which has caused some misunderstanding.
6. **Grade:** Revised definition provides greater clarity on how grade around a building is determined and also standardizes the use of language throughout the zoning bylaw.
7. **Landscaping:**
  - a. Clarification that parking areas will be treated the same as driveways and not considered landscaping.
  - b. Clarification that children's playground equipment, including playhouses/ tree forts can be considered landscaping as long as they are not too large.
8. **Lot Coverage:**
  - a. Change to clarify that the lowest portion of a stairway (less than 0.4 metres above natural ground) at the entrance to a building will be treated the same as a patio and not counted toward the lot coverage calculation.
  - b. Change to clarify that eaves and canopies are not counted in the lot coverage calculation unless they are excessively large.



9. **Lot Line, Front:** clarify that a panhandle lot can have two lot lines adjoining the access strip which together form the 'front lot line' on some properties.



10. **Dwelling - Townhouse:** For clarification of the language that is used in the zoning bylaw the term 'Townhouse Residential' is added to the definition. Also, adds clarity that accessory buildings and accessory uses (home occupations) may occur on townhouse zoned property, unless specifically exclude from a zone.
11. **Dwelling – Two Family:** For clarification of the language that is used in the zoning bylaw the term 'Two Family Residential' is added to the definition.
12. **Parcel:** The amended definition clarifies that an Access Route is not a Parcel.

13. Retaining Wall: The amendment clarifies that a retaining wall does not form part of a building; therefore window wells will not be considered retaining walls in the zoning bylaw.
14. Vessel: New definition added.

### **Summary of changes to the General Regulations:**

1. Calculation of Floor Area and Floor Area Ratio: This section has been rewritten with new interpretation of which portions of buildings are counted when calculating the permitted density allowed on a parcel. 'Open to below' areas that have no floor, stairs, and in multiple family buildings dedicated bicycle storage facilities will now not be counted toward floor area. There is also clarity for Commercial, Institutional and Mixed Use Residential buildings that those areas used by all occupants will not be counted towards the floor area calculation.
2. Height Calculations: For clarification, added, "or equal to" before 3:12, as it was unclear how the height of a building with a roof pitch of exactly 3:12 would be calculated.
3. Siting Exemptions: This section deals with the features of a building that may protrude into required setbacks. The rewrite provides greater rationality for below grade stairwells that are an integral part of a building. The 0.9 metre exemption is based on *BC Building Code* requirements for satisfactory egress from a building but does not allow for the width of a wall. The proposed rewrite allows the outer wall for the stairwells to protrude into a setback.
4. Fences and Retaining Walls: The language is standardized to align with other definitions and the measurement distances are clarified for the separation of retaining walls in relation to their height.
5. Secondary Suites: The regulation that restricts the rental of only one dwelling unit; either the principal unit or the secondary suite would be deleted. A new regulation is proposed that support past direction from Council and standard practice that secondary suites do not need to be accompanied by additional parking spaces.

### **Summary of changes to the Zones:**

1. The 'Group Children's Day Care Centre' use would be added to the Single Family Residential zone for one specific property [846 Phoenix Street] where a daycare has been operating for many years. Additional regulations are also added to the zone to limit the size of the daycare to its current size and also to legitimize the current parking situation; which is no onsite parking.
2. In Sections 38, 39 and 40 (the two family residential zones) the following changes are proposed for the Building Massing and Garage Setback requirements:
  - a. Building Massing: The amendment proposes to replace the current regulation with new requirements to provide some articulation of a proposed building; without the confusion of trying to calculate massing based on the proposed interior floor area.
  - b. Garage Setback: The rewrite provides greater rationality; that the garage must be setback from the front face of the 'building' instead of the 'dwelling unit'. In recent history, most

garages have been setback from a covered entrance; which is technically not part of the 'dwelling unit' as it is not a 'habitable room' (see the definition of 'dwelling unit' in the zoning bylaw).

3. Permitted Uses: Several existing permitted uses are added to existing commercial and industrial zones, to allow these uses to exist more widely across the municipality. This is because, if a use is permitted in a zone, then it is precluded from other zones where it is not included among the permitted uses.
4. Marine Navigation Zone: The prohibited uses have been rewritten to provide greater judiciousness in the enforcement of the anchoring of boats in local waters.

### **PUBLIC NOTIFICATION**

As this is a proposed amendment to the Zoning Bylaw a Public Hearing would be required, and notification would be provided in two editions of the Victoria News.

As a single property is also included in this amendment, a notice would be mailed to tenants and owners of properties located within 100m (328 ft) of the 846 Phoenix Street property. A sign indicating that the property is under consideration for a change in zoning will be placed on the Phoenix Street frontage of the property and would be updated to reflect the date, time and location of the Public Hearing.

## Proposed 2018 Zoning Bylaw Revisions

### 1. Definitions – Part 1

- a. **Access Route:** Amend existing definition so that it reads:

"**Access Route**" means lands forming a corridor that provides vehicular access to the bare land strata lots in a bare land strata subdivision, but does not include a Highway.

- b. **Accessory Building:** Amend existing definition so that it reads:

"**Accessory Building**" means a Building or Structure:

- (1) having an area greater than 1.0 square metre;
- (2) located on the same Parcel as the Principal Building yet subordinate in area and extent, and whose purpose is customarily incidental to the Principal Building; and
- (3) having no shower/ bathtub or cooking facilities;

and includes but is not limited to a detached Garage, garden/storage shed, gazebo, workshop, studio and greenhouse, but does not include Landscaping.

- c. **Balcony:** Amend existing definition, so that it reads:

"**Balcony**" means a platform which projects from the wall of a Building above natural ground level and that is partially enclosed by a low parapet or Guard in such a manner as to remain permanently exposed to outside weather.

- d. **Fence:** Add "or a hedge", and replace the "or" before "a Guard" with a comma such that the definition of "Fence" reads:

"**Fence**" means a vertical barrier which accomplishes any one or more of the following:

- (1) prevents access;
- (2) provides physical separation;
- (3) provides visual separation;
- (4) provides enclosure of a Parcel or portion of a Parcel;

but does not include a Retaining Wall, a Guard or a hedge.

- e. **Floor Area:** Amend existing definition so that it reads:

"**Floor Area**" means the entire area which in plan is enclosed by the interior face of the exterior walls of a Building, calculated in accordance with Section 14.

- f. **Floor Area Ratio:** Remove “and Storeys” from existing definition so that it reads:

**"Floor Area Ratio"** means the figure obtained when the Floor Area of all floor levels in all Buildings on a Parcel is divided by the Area of the Parcel, calculated in accordance with Section 14.

- g. **Grade:** Amend existing definition, so that it reads:

**"Grade"** means the average of the existing ground (as determined by a BC Land Surveyor) of those points of a polygon having the shortest perimeter that will encompass the outermost walls of a building or structure, provided that localized depressions such as vehicle or pedestrian entrances need not be considered in the determination of the average of existing ground.

- h. **Landscaping:** Amend existing definition, including to add subsection (7) and to amend the exclusion, so that it reads:

**"Landscaping"** means:

- (1) the planting and maintenance of trees, shrubs, gardens, and lawns,
- (2) walking paths and patios,
- (3) a wooden surface (deck) less than 0.4 metres vertical distance above the existing ground at any point,
- (4) Fences permitted within a Zone,
- (5) Retaining Walls less than 1.2 metres in Height,
- (6) Pergolas, Arbours and Trellis less than 10 square metres in area and with a height less than 2.5 metres; and
- (7) children's play structures, including playhouses and tree forts, less than 4.0 square metres in area where the height to the mid-point of the roof is less than 1.8 metres above existing ground.

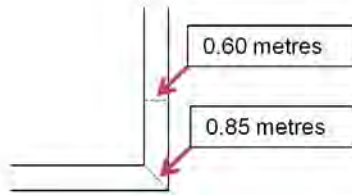
and specifically excluding driveways and parking areas of concrete, asphalt or a similar paving material.

- i. **Lot Coverage:** Amend existing definition, including to add subsections (3) and (4) and a diagram, so that it reads:

**"Lot Coverage"** means the percentage of the Area of a Parcel that is covered by all Buildings and Structures and specifically excludes:

- (1) Landscaping and parking areas,

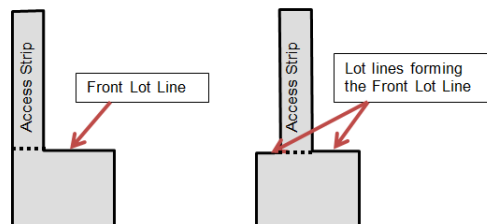
- (2) the portion of swimming pools, hot tubs, exterior stairs and window wells that are at or below existing ground,
- (3) that portion of exterior stairs less than 0.4 metres vertical distance above the existing ground at any point, and
- (4) building gutters, sills, sunlight control projections, eaves and canopies that extend no more than 0.60 metres from the building's exterior wall and no more than 0.85 metres at the building corners (generally as shown on the following diagram).



- j. **Lot Line, Front:** Amend existing definition, in particular section (2), and add a diagram, so that it reads:

**"Lot Line, Front"** means the Lot Line(s) common to the Parcel and an abutting Highway or Access Route, but:

- (1) Where a Parcel has Lot Lines abutting two or more Highways, or Access Routes, the Lot Line (or combined Lot Lines abutting one Highway) having the shorter length abutting a Highway or Access Route is the Front Lot Line;
- (2) Where a Parcel is a Panhandle Lot, the Front Lot Line means the Lot Line(s) adjoining and approximately perpendicular to the Access Strip, excluding any lot line in the Access Strip (generally as shown on the following diagrams).



- k. **Dwelling - Townhouse:** Replace existing definition with the following:

**"Dwelling – Townhouse"** (also **"Townhouse Residential"**) means a Building which contains three or more Dwelling Units, with each Dwelling Unit having its principal access from a separate exterior entrance, and

- (1) may be accompanied by Accessory Buildings where specifically permitted by this bylaw; and
  - (2) may be accompanied by other Accessory Uses where specifically permitted by this bylaw.
- l. **Dwelling - Two Family:** Amend existing definition to add parenthetical “(also “Two Family Residential”)” so that it reads:
- "Dwelling - Two Family" (also “Two Family Residential”)** means a detached Building consisting of two principal Dwelling Units, each of which is occupied or intended to be occupied as the Permanent Residence by one Family, with each Dwelling Unit having its principal access from a separate exterior entrance , and
- (1) may include Boarding as an accessory use only;
  - (2) may be accompanied by Accessory Buildings; and
  - (3) may be accompanied by other Accessory Uses where specifically permitted by this bylaw.
- m. **Parcel:** Amend existing definition so that it reads:
- "Parcel"** means any lot, block or other area in which land is held or into which it is subdivided, but does not include a Highway or Access Route.
- n. **Retaining Wall:** Amend existing definition so that it reads:
- "Retaining Wall"** means a structure constructed to hold back or stabilize material (usually soil), not forming part of a building.
- o. Add the following definition for **Vessel** in alphabetical order:
- “Vessel”** means the same meaning as the Navigation Protection Act R.S.C., 1985, c. N-22.

## **2. General Regulations – Part 4**

a. Section 14. **CALCULATION OF FLOOR AREA AND FLOOR AREA RATIO:**

Replace the entirety of Section 14(1)-(3) with the following Section 14(1)-(2):

**14. CALCULATION OF FLOOR AREA AND FLOOR AREA RATIO:**

- (1) The following shall not be included as Floor Area for the purposes of computing Floor Area Ratio:
  - (a) balconies,
  - (b) open decks and sun decks,

- (c) unenclosed porches and verandas,
  - (d) chimneys forming part of an exterior wall,
  - (e) projecting bay windows where the bottom of the window is located a minimum 0.3 metres above the floor, and no area of the bay window in plan exceeds 1.0 square metre,
  - (f) Accessory Buildings,
  - (g) all portions of a Building used or intended to be used for the parking or temporary storage of vehicles,
  - (h) Notwithstanding subsection (f) and (g) the area used and maintained as a Garage, in a Principal Building, equal to or less than:
    - (i) 45 square metres in a Single Family Dwelling;
    - (ii) 40 square metres in a Two Family Dwelling;
    - (iii) 40 square metres per Dwelling Unit in a Townhouse Dwelling;(For certainty, the area of Garages exceeding the above amounts must be included),
  - (i) stairs and stairwells,
  - (j) areas that have no surface on which to stand and are open to below,
  - (k) any portion of a penthouse containing elevator or ventilating machinery,
  - (l) any portion of a Building where the ceiling height is less than 1.2 metres above the floor; and
  - (m) any Basement, ground floor, or portion thereof, within a Single Family, Two Family, or Townhouse Dwelling where the ceiling is less than 1.2 metres above the natural ground level at any point.
- (2) In addition, the following shall not be included as Floor Area in Multiple Family Dwellings, Mixed Commercial/ Residential Buildings, Mixed Institutional/ Residential Buildings and Mixed Commercial/ Institutional Buildings:
- (a) the floor of any and all portions of the Building intended to be used by all occupants of the building, including but not limited to the following:
    - (i) mezzanines,
    - (ii) corridors and hallways,
    - (iii) foyers;
    - (iv) elevator shafts; and
    - (v) secure bicycle storage facilities (bike lockers) not located within a Dwelling Unit.



b. Section **15. HEIGHT CALCULATIONS**

Amend Section 15(2) to add “or equal to” as shown below, so that it reads:

- (2) For Buildings and Structures with a gable, hip, gambrel, or a sloping roof with a pitch greater than or equal to 3:12 and less than 12:12, height is measured from Grade to the midpoint between the eaves and highest ridge.

Amend Section 15(4) to replace “stairway” with “stairwell” as shown below, so that it reads:

- (4) The following Structures may exceed the maximum heights provided elsewhere in this bylaw, provided they conform to all the provisions of Section 15: parapets, guards for roof top patios, church spires, chimneys, masts, satellite dishes, aerials, fluid storage tanks, monuments, transmission towers, elevator shafts, roof stairwell entrances, solar panels, ventilation machinery, and flagpoles for federal, provincial and municipal flags. However,
- (a) If projecting from a Building or Structure, all such Structures (except solar panels) must occupy less than 7% of the area of the roof;
  - (b) Elevator shafts and roof stairwell entrances for direct access to rooftop common areas shall not project more than 4.0 metres above the highest point of a roof;
  - (c) Chimneys, satellite dishes, transmission towers, fluid storage tanks, ventilation machinery, and ventilation machinery screening shall not project more than 1.5 metres above the highest point of the roof;
  - (d) Parapets shall not project more than 1.0 metre above the roof surface;
  - (e) Guards for rooftop patios;
    - (i) shall not project more than 1.2 metres above the roof surface or as required by the BC Building Code; and
    - (ii) shall step back a minimum of 1.5 metres from the building edge.

c. Section **16. SITING EXCEPTIONS**

Amend Section 16(1) to add subsection (f) so that it reads:

- (1) The required Setback may be reduced by not more than 0.6 metres only for the following features if projecting beyond the face of a Building:
- (a) chimneys,
  - (b) gutters, sills, and eaves,
  - (c) sunlight control projections and canopies,

- (d) bay windows having no Floor Area, where the bottom of the window is located a minimum 0.3 metres above the floor, and no area of the bay window in plan exceeds 1.0 square metre, and
- (e) ornamental features, and
- (f) that portion of exterior stairs less than 0.4 metres vertical distance above the existing ground at any point.

d. Section **16. SITING EXCEPTIONS**

Amend Section 16(2) so that it reads:

- (2) The required Setback may be reduced by not more than 0.9 metres (plus the width of their supporting walls that are below ground level) only for the following features if projecting beyond the face of a Building:
  - (a) below existing ground stairs, and
  - (b) below existing ground window wells.

e. Section **22. FENCES and RETAINING WALLS**

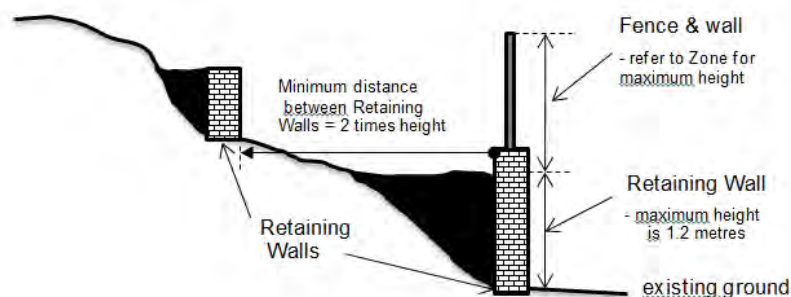
Amend Section 22 (1) so that it reads:

**FENCES and RETAINING WALLS**

- (1) Retaining Walls shall not exceed a height of 1.2 metres above the existing ground measured from the low side of the Retaining Wall, to the highest point of the Retaining Wall.
- (2) Retaining Walls must be spaced at a minimum of 1:2 height to horizontal separation ratio of the Retaining Wall having the greater height.

Amend the Section 22 diagram, replace with the following diagram:

**Retaining walls**



f. Section **30.6 SECONDARY SUITES**

Amend Section 30.6 to replace subsection (5) with the following:

- (5) Notwithstanding Section 13 (1)(a)(i) of Parking Bylaw 1992, No. 2011, for parcels with a Secondary Suite, no additional parking space need be provided for the suite.

**3. Zones – Part 5**

a. Add to the **Permitted Uses** under Section **34. Single Family Residential [RS-1]**:

- (1) (f) 'Group Children's Day Care Centre, located at Lot 16, Section 10, Esquimalt District, Plan 3060 [PID 001-543-547] [846 Phoenix Street].

b. Add the following new Section to Section **34. Single Family Residential [RS-1]** and renumber the remaining of Section 34:

(3) **Size and Location of Group Children's Day Care Centre**

The Floor Area dedicated to Group Children's Day Care Centre shall not exceed 105 square metres.

c. Amend Section (11) **Off Street Parking** of Section **34. Single Family Residential [RS-1]** with the following, so it reads:

**(11) Off-Street Parking**

- (a) Off-street parking shall be provided in accordance with the requirements of Parking Bylaw, 1992, No. 2011(as amended).
- (b) Notwithstanding Section 11(a) No parking space need be provided for Group Children's Day Care Centre.

d. Amend the **Building Massing** regulations under each of Sections 38(8.1), 39(7.1), 40(8.1) with the following, so that it reads:

**Building Massing**

- (1) Second and Third Storey Setback: The front face of the second and third storey(s) shall be set back a minimum of 1.5 metres from the front face of the First Storey of the Principal Building.
- (2) Design Guideline: Articulation of building elements is encouraged, to add visual interest and reduce apparent building height and volume.



- e. Amend the **Siting Requirements – Garage Setback** regulations under each of Section 38(9)(c), 39(8)(c), 40(9)(c) with the following:

Detached Garages, and that portion of a Principal Building used as a Garage, shall be set back a minimum of 1.5 metres from the front face of the Principal Building.

- f. Section 48.1 (6) (b) is deleted in its entirety and replaced with:

Notwithstanding section 9(1) and 9(6) of Parking Bylaw 1992 Bylaw No. 2011 as amended, up to 100% of the required parking stalls may be located on adjacent parcels.

- g. Add the following **Permitted Uses** to Sections 47. (1), 48. (1), 48.2 (1) to the existing Permitted Uses in each section:

- Art Gallery
- Arts and Craft Studios excluding Wood and Metal working
- Catering Service
- Charitable Organization Office
- Counselling Services
- Commercial Instruction and Education
- Educational Institution
- Fitness Centre
- Laboratory and Clinic
- Printing Establishment, Printing and Publishing
- Research Establishment
- Veterinary Clinic, Veterinary Services

- h. Add the following **Permitted Uses** to Section 53 (1) to the existing Permitted Uses in that section:

- Catering Service
- Charitable Organization Office

- i. Section 63 (2) Prohibited Uses (a), (b), and (c) are deleted in its entirety and replaced with the following:

**(2) Prohibited Uses**

- (a) The anchoring or mooring of vessels for a continuous period exceeding 48 hours.
  - (b) The anchoring or mooring of vessels for more than 72 hours within a 30-day period.
  - (c) Anchoring buoys.
- j. Add the following Permitted Uses to Section 67.86 to the existing Permitted Uses in that section:
    - Charitable Organization Office