



1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR CLADDING LEGEND

1	CLEAR CEDAR SIDING STAINED
2	STUCCO ACRYLIC FINISH
3	CONCRETE FOUNDATION
4	ASPHALT ROOFING SHINGLES
5	FROSTED GLASS

ADDITIONAL EXTERIOR FINISHINGS

GUTTERS	3" CONTINUOUS ALUMINUM (PREFINISHED)
SOFFIT	CW 4"x2" ALUMINUM DOWNSPOUT (PREFINISHED)
FASCIA	VENTED ALUMINUM (PREFINISHED)
BELLY BAND	2"x8 COMB FACED SPP (PAINTED)
WINDOW TRIM	SHEET METAL REVEALS (PREFINISHED)
DOOR TRIM	SHEET METAL REVEALS (PREFINISHED)

NOTE:
WINDOW OPERATION SHALL BE AS PER OWNERS DIRECTION AND CONFORM TO BCBC EGRESS REQUIREMENTS. CONTRACTOR TO VERIFY ALL I.O. PRIOR TO ORDERING WINDOWS.
FLASH OVER ALL MATERIAL TRANSITIONS, DOOR AND WINDOW HEADERS
ALL COLORS AS PER OWNER

ADAPT DESIGN

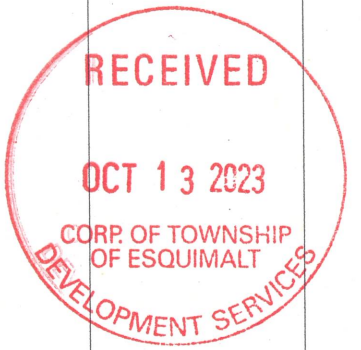
1500 Shorncliffe Road Victoria BC Canada
250.883.8127
www.adaptdesign.ca

COLVILLE ROAD 1072

Drawings and Specifications as instruments of service are and shall remain the property of Adapt Design. They are not to be used on extensions of this project, or other projects, except by agreement in writing and appropriate compensation to the Designer.

The General Contractor is responsible for confirming and correlating dimensions at the job site. The Designer will not be responsible for construction means, methods, techniques, sequences, or procedures, or for safety precautions and programs in connection with the project.

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ISSUED FOR DP

ISSUED:

ELEVATIONS

A-201



3 REAR ELEVATION
SCALE: 1/4" = 1'-0"



4 LEFT ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR CLADDING LEGEND

1	CLEAR CEDAR SIDING STAINED
2	STUCCO ACRYLIC FINISH
3	CONCRETE FOUNDATION
4	ASPHALT ROOFING SHINGLES
5	FROSTED GLASS

ADDITIONAL EXTERIOR FINISHINGS

GUTTERS	6" CONTINUOUS ALUMINUM (PREFINISHED)
DOWNSPOUT	4"x4" ALUMINUM DOWNSPOUT (PREFINISHED)
SOFFIT	VENTED ALUMINUM (PREFINISHED)
FASCIA	2"x10 COMB FACED SPF (PAINTED)
BELLY BAND	2"x8 COMB FACED SPF (PAINTED)
WINDOW TRIM	SHEET METAL REVEALS (PREFINISHED)
DOOR TRIM	SHEET METAL REVEALS (PREFINISHED)

NOTE:
WINDOW OPERATION SHALL BE AS PER OWNERS DIRECTION AND CONFORM TO BCBC EGRESS REQUIREMENTS. CONTRACTOR TO VERIFY ALL F.L.O. PRIOR TO ORDERING WDW'S
FLASH OVER ALL MATERIAL TRANSITIONS, DOOR AND WINDOW HEADERS
ALL COLORS AS PER OWNER

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ISSUED FOR DP

ISSUED:

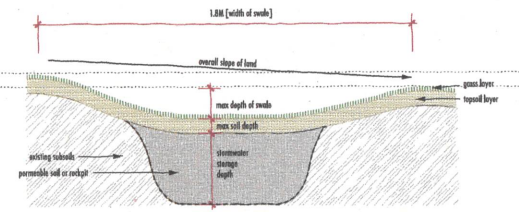
LEGEND

- HARDSCAPE FINISHES:**
- SF Rima or equal - permeable unit pavers; Old Country Stone; La Jolla colour
 - CIP concrete paving; Smooth or Orangepeel finish. Natural colour.
 - CIP concrete paving; Smooth finish. Natural colour.
 - Existing road and sidewalk paving (to remain)

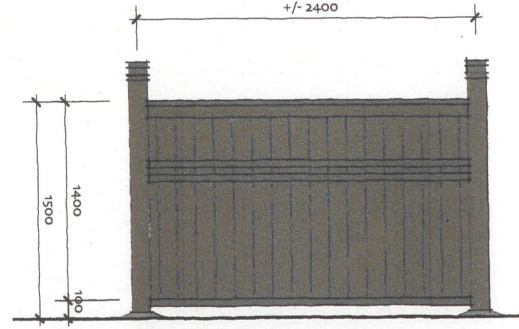
- SOFTSCAPE:**
- Lawn
 - Planting area

- MISCELLANEOUS:**
- Wooden privacy fencing or screening approx. 1500-1800mm height
 - Large rock boulders approx. 4' x3' dia.
 - Concrete or mortared rock retaining/upstand walls; Heights may vary.

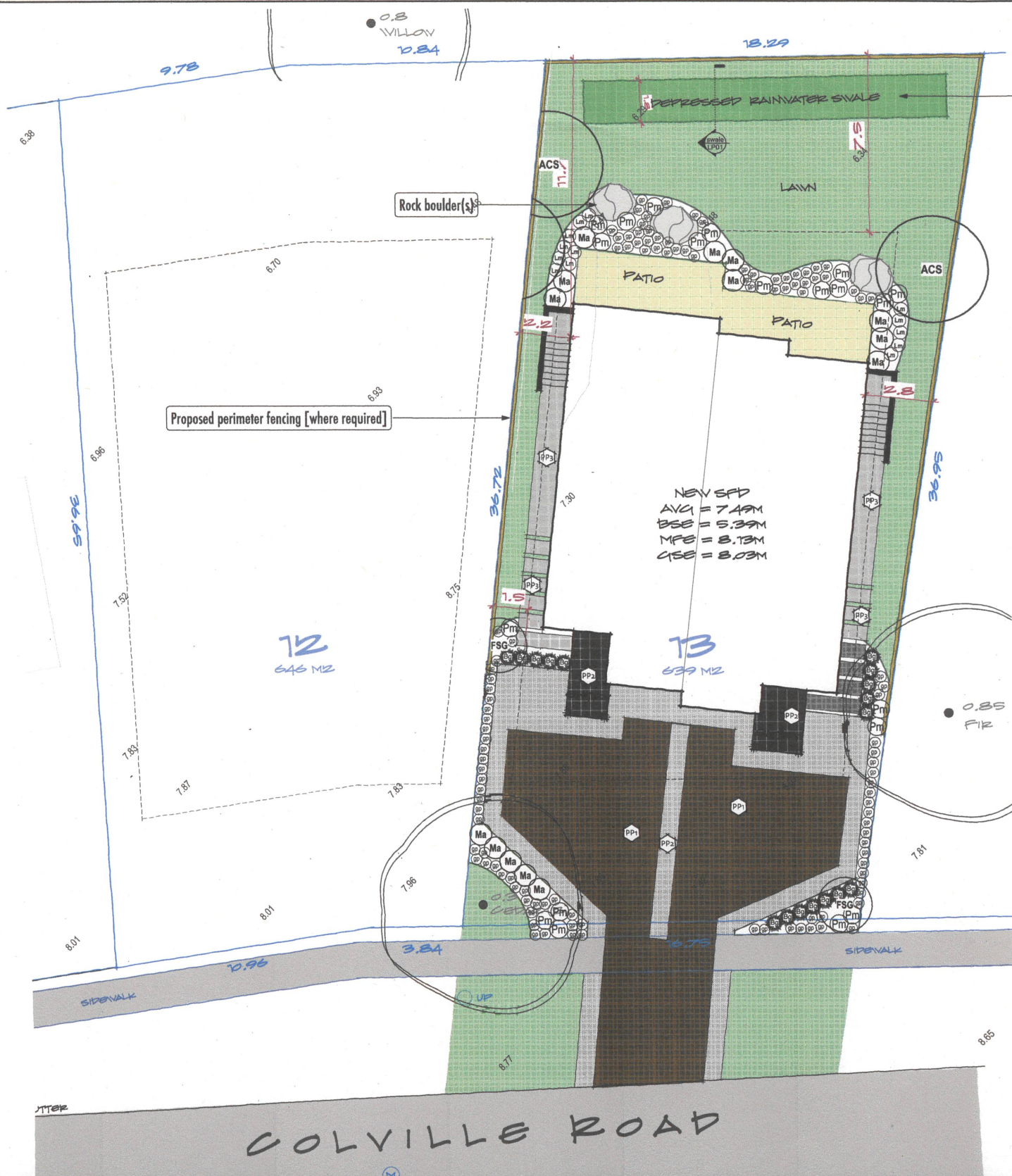
- NOTES:**
- 1) All building layout information and setback dimensions supplied by Adapt Design.
 - 2) All survey information supplied by Adapt Design.
 - 3) This drawing must not be scaled. The General Contractor shall verify all dimensions, datums and levels prior to commencement of work.
 - 4) All errors and omissions must be reported immediately to the Designer.
 - 5) This drawing is the exclusive property of the Designer and can be reproduced only with the permission of the Designer, in which case the reproduction must bear the Designer's name.



PROPOSED TYPICAL STORMWATER SECTION*
SCALE: NTS
* SEE ENGINEERING SPECIFICATIONS BY OTHERS IF REQUIRED



PROPOSED PERIMETER FENCING
SCALE: NTS



SITE PLANT LIST:

SYMB	QTY	BOTANICAL NAME	COMMON NAME	SIZE
TREES:				
ACS	2	Acer Crimson Sentry	Crimson Sentry Maple	4cm cal. b&b
FSG	2	Fagus sylvatica Dawyck Gold	Gold Columnar Beech	4cm cal. b&b
SHRUBS:				
Bg	17	Buxus Green Velvet	Boxwood	#3
e	2	Echinacea purpurea	Purple Coneflower	#1
r	3	Rudbeckia fulgida	Orange Coneflower	#1
Lm	13	Liriope Big Blue	Liriope Big Blue	#1
Ma	14	Mahonia aquifolium	Oregon Grape	#5
Pm	20	Polystichum munitum	Western Sword Fern	#3
GROUNDCOVERS, BULBS AND VINES				
gp	111	Gaultheria procumbens	Wintergreen	Sp3, 45cm o.c.

- NOTES:**
- Plant material, installation and maintenance to conform to BCLSA/ BCLNA standard (current edition).
 - All growing medium to comply to BCLSA/ BCLNA standard designation "IP - Level-1 Well Croamed Areas".
 - Underground irrigation system to be installed. Irrigation materials and installation to conform, as a minimum, to BCLSA/ BCLNA Standard (current edition) and IABC Standards. All irrigation piping under hardsurfaces to be sloped.
 - Fencing to be built as shown on plan; portions of fencing along sideyards to be built with trellis top where shown, if requested. All fencing to be built to municipal standards and specifications.
 - All existing trees located on plan are approximate. Size and dripline of trees are not shown, and should be verified by a surveyor and /or arborist where necessary. Arborist to install tree protection fencing for boulevard tree where necessary, and be retained for project supervision when tree impact is affected. Boulevard landscape to remain unchanged from existing.
 - Driveway and hardsurface grading, rear yard retaining walls (if any), and BioSwale design & sizing to be determined by others. Driveway to be a permeable surface as shown, complete with concrete borders.
 - Contractor to locate, identify and have crews be aware of all new and existing services on and into the property. All hard and soft landscape elements to meet municipal standards and specifications.



LP.01
02.JUNE.2023
1:100
LATEST REVISION: 10.SEPT.2023

**1072 COLVILLE ROAD
LANDSCAPE LAYOUT**

:: DUPLEX DEVELOPMENT :: 1072-1076 COLVILLE ROAD :: SKL.01 :: landscape layout ::