

Revision Notes:
 R1 - Main Floor extended 2'-0" to line up with Upper Floor on Old Esquimalt Road Elevation
 - Lower Entry extended 7'-0" to line up with Main Floor above

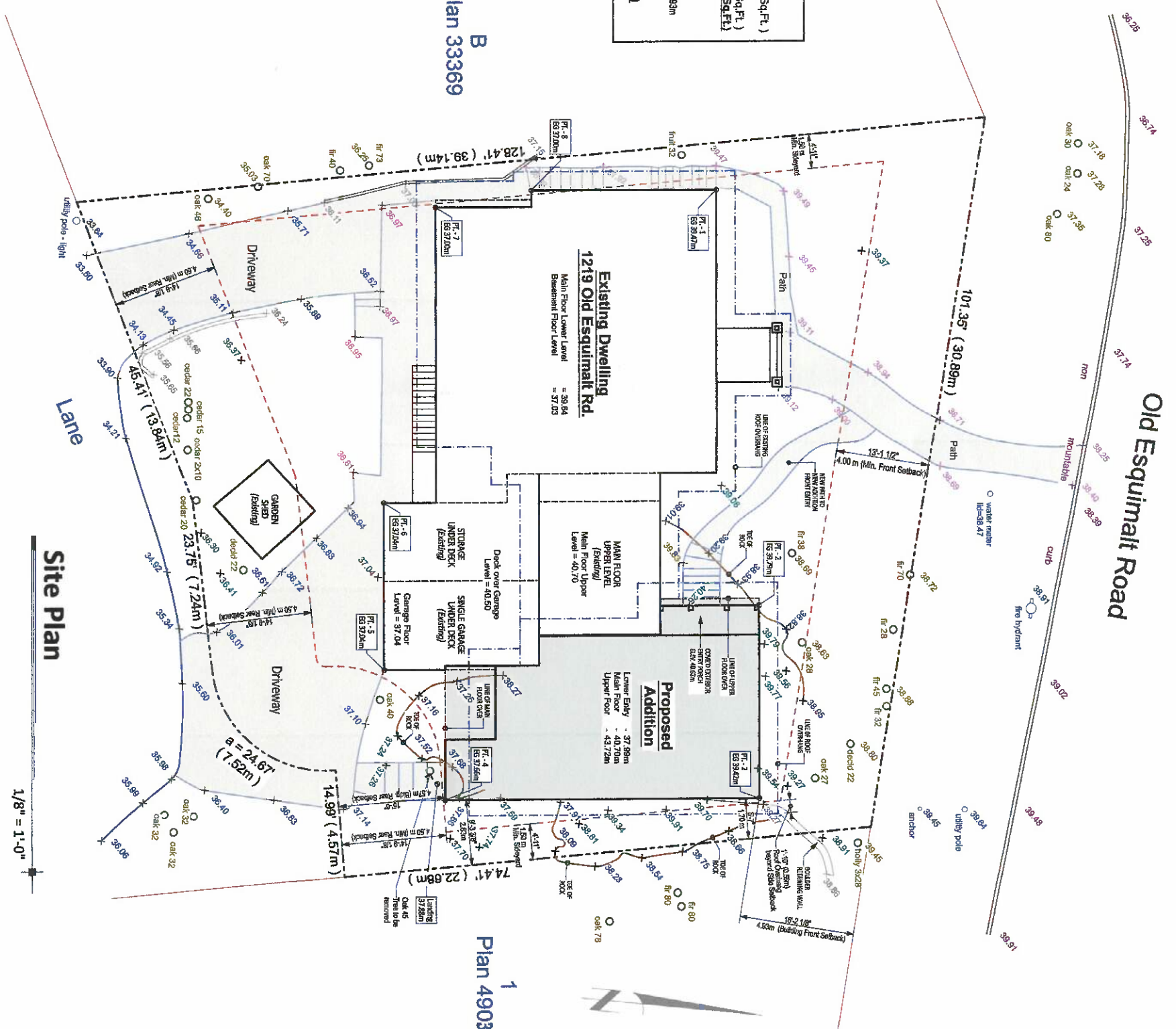
Lot Coverage	-	938.0 m ² (10,096.5 Sq.Ft.)
Lot Area	-	469.0 m ² (5048.27 Sq.Ft.)
Lot Coverage Allowed:	(50%)	234.5 m ² (2524.14 Sq.Ft.)
Lot Coverage Proposed:	(36.46%)	170.3 m ² (1828.88 Sq.Ft.)
Building Height	-	37.93m (124.43')
Principal Building	-	48.93m (160.52') (11m)
Average Grade	-	37.93m (124.43')
Maximum Height (allowable)	-	48.93m (160.52') (11m)
Height Proposed	-	47.12m (154.59')

NOTE:
 ELEVATIONS ARE TO GEODETIC DATUM
 THE DECIMAL POINT OF THE ELEVATION DENOTES THE LOCATION OF THE SHOT TAKEN UNLESS OTHERWISE NOTED TO THE EXTERIOR OF SIDING UNLESS OTHERWISE SPECIFIED
 LOT DIMENSIONS ARE FROM CURRENT SURVEY AND EXISTING SURVEY RECORDS AND MUST BE CONSIDERED APPROXIMATE ONLY. THE WEST BOUNDARY MONUMENTS WERE FOUND IN THE CORRECT POSITION.
 GND DENOTES EXISTING GROUND
 ■ DENOTES SUPPORT POST
 P.L. STK DENOTES 1/2" NUMBERED WOOD STAKE SET ON PROPERTY LINE

TOPOGRAPHIC SITE PLAN	
AT 1219 OLD ESQUIMALT ROAD	
LEGAL : LOT 4, SECTION 11, ESQUIMALT DISTRICT, PLAN 4994	
DRAWN BY : DBL	PROJECT SURVEYOR : D.R. CARRIER
SCALE : 1" = 160'	DATE : JULY 6, 2024
CLIENT : MURPHY CONSTRUCTION LTD. MR. TIM MURPHY	
DATE FILE : 1/29/24	REVISIONS :

V.I. POWELL & ASSOCIATES
LAND SURVEYING
 VICTORIA

Plan B
33369



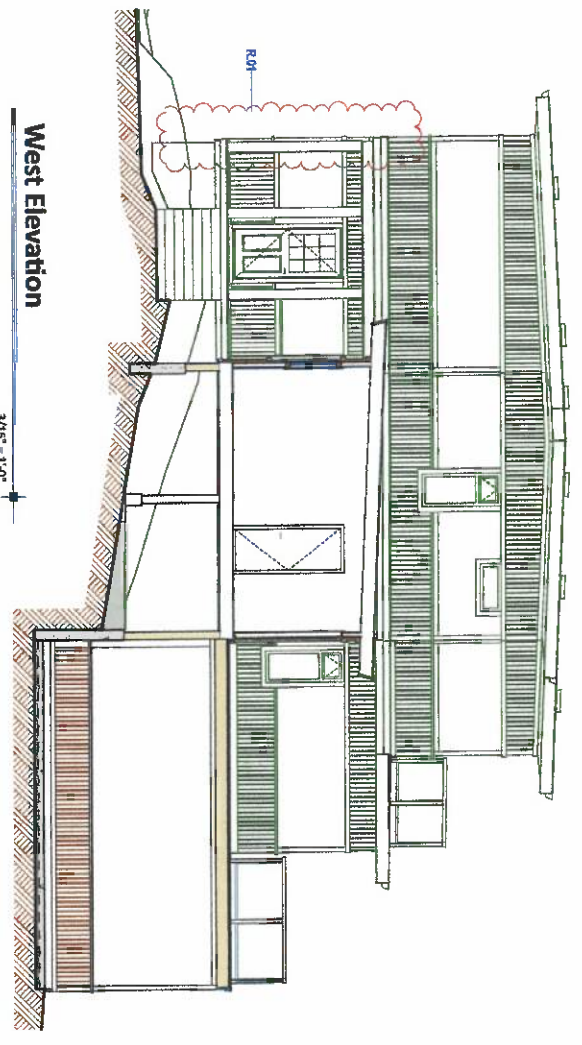
Plan 1
4903

Site Plan

1/8" = 1'-0"

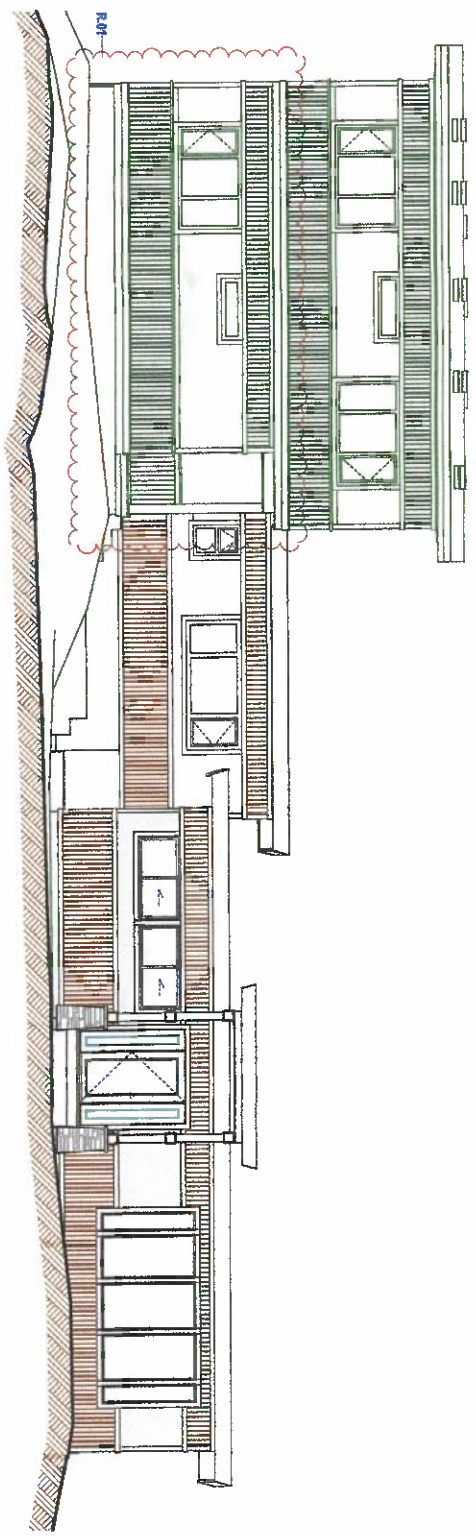
THESE PLANS CONFORM TO THE B.C. BUILDING CODE, 2024 EDITION

<p>Issued for Building Permit Application</p>	<p>Proposed Addition for 1219 Old Esquimalt Rd. MURPHY CONSTRUCTION 1219 Old Esquimalt Rd. Esquimalt, BC PHONE: Office: (250) 818-7679 CONTACT: Tim Murphy</p>	<p>All drawings Copyright protected and are not to be reproduced without the expressed permission of Hoffman Design</p> <p>Hoffman Design Phone: 250.483.7249 email: hoffmandesign@protonmail.com</p>										
	<p>BY REVISIONS DATE</p> <table border="1"> <tr> <td>Rev 1</td> <td>Notes on Sheet</td> <td>9/18/24</td> </tr> <tr> <td>Scale</td> <td>AS NOTED</td> <td></td> </tr> <tr> <td>Drawn</td> <td>gdb</td> <td></td> </tr> <tr> <td>Print Date</td> <td>10/18/24</td> <td></td> </tr> </table>		Rev 1	Notes on Sheet	9/18/24	Scale	AS NOTED		Drawn	gdb		Print Date
Rev 1	Notes on Sheet	9/18/24										
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West Elevation

3/16" = 1'-0"

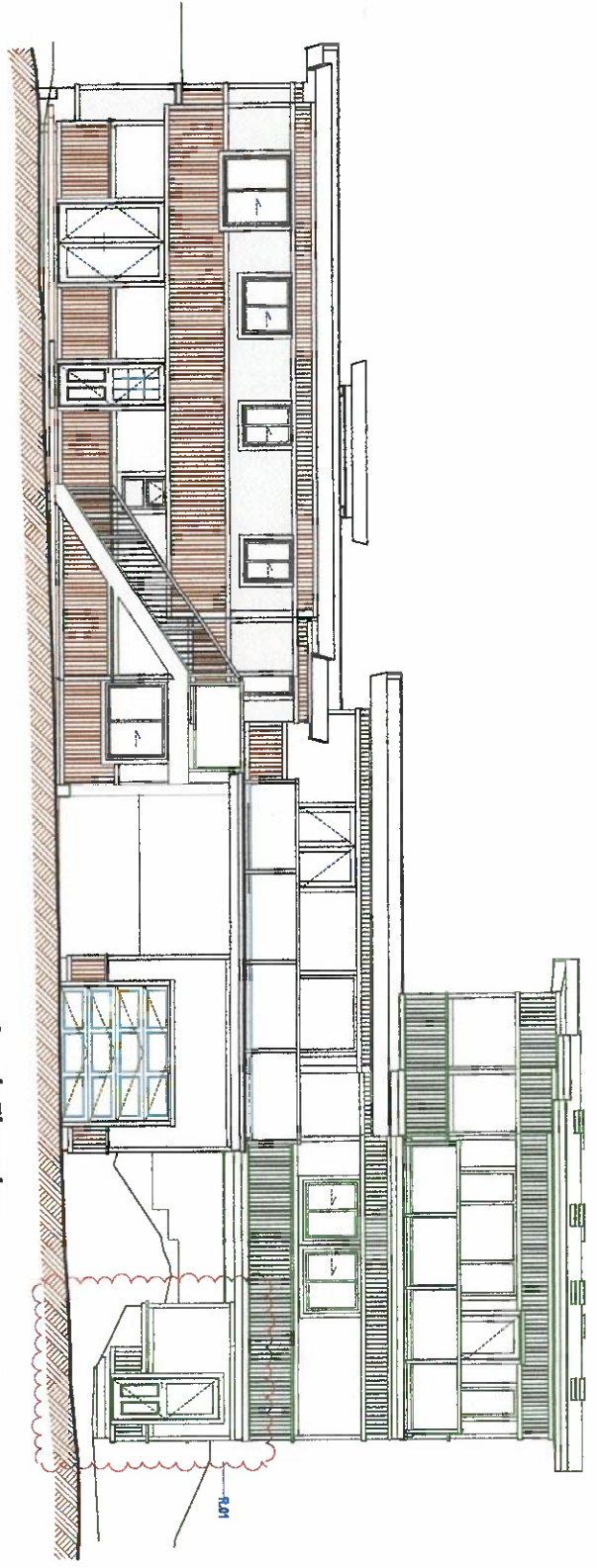


North Elevation

3/16" = 1'-0"

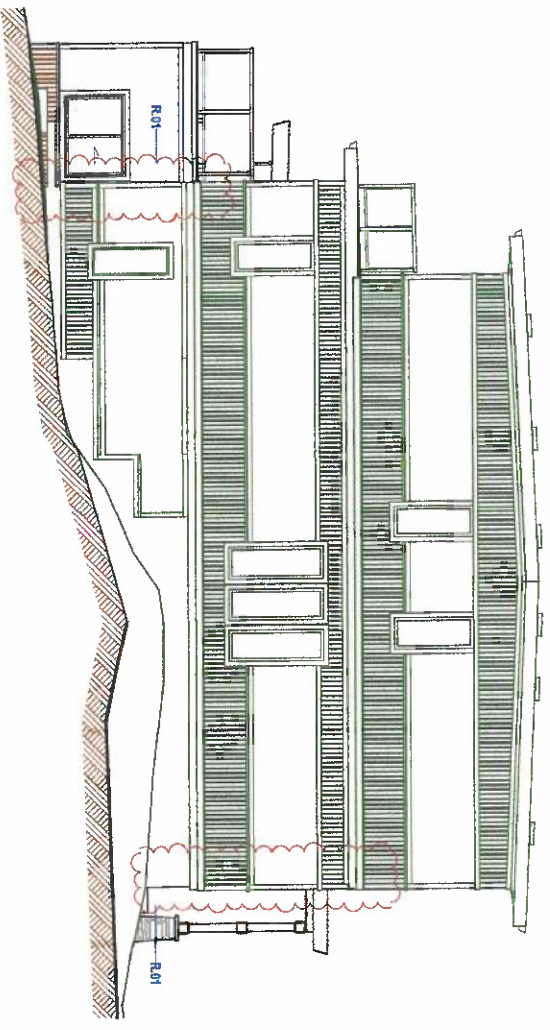
Revision Notes:
 - Main Floor extended 2'-0" to line up with Upper Floor on Old Esquamalt Road Elevation
 - Lower Entry extended 1'-0" to line up with Main Floor above

Note:
 Building Elements shown in Green are New Addition to Existing Dwelling



South Elevation

3/16" = 1'-0"



East Elevation

3/16" = 1'-0"

THESE PLANS CONFORM TO THE B.C. BUILDING CODE 2024 EDITION

THESE DRAWINGS SHOULD BE PRINTED ON A 24" X 36" SHEET TO BE AT SCALE UNLESS OTHERWISE SPECIFIED

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 MURPHY CONSTRUCTION
 1219 Old Esquamalt Rd.
 Esquamalt, BC
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BY REVISIONS DATE

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A.05 of 13
 Printed On: 11/15/24