

HEATING
AS SPEC BY OWNER

ENG NOTE:

- ALL STRUCTURAL COMPONENTS BY PRO-ENGINEER ARTICAL 9.23.13.1 THRU 7
- SCHEDULE "B" BY OTHERS

SURVEYOR'S NOTE:

- ENG SITE PLAN SUPPLIED BY OWNER
- GEODETICS: FOR PURPOSES OF SETTING GRADE MAIN FLOOR SET @ 100.00' 30.48M
- FIN GRADE
- NATURAL GRADE

SITE PLAN

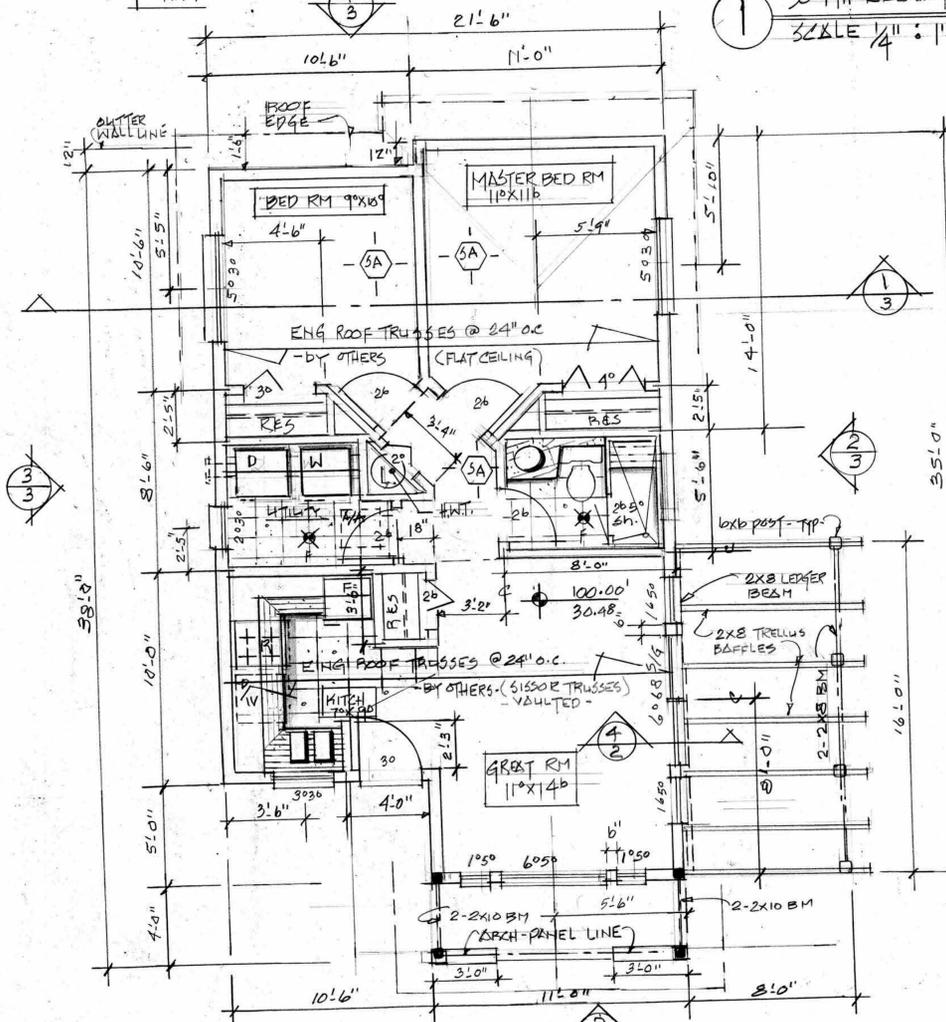
SCALE 1:10
LEGAL DESCRIPTION

LOT #
PLAN #
SECT #
DISTRICT #

NOTE (DEMO)
REMOVE OLD GARAGE/WORK SHOP



1 SOUTH ELEVATION
SCALE 1/4" = 1'-0"



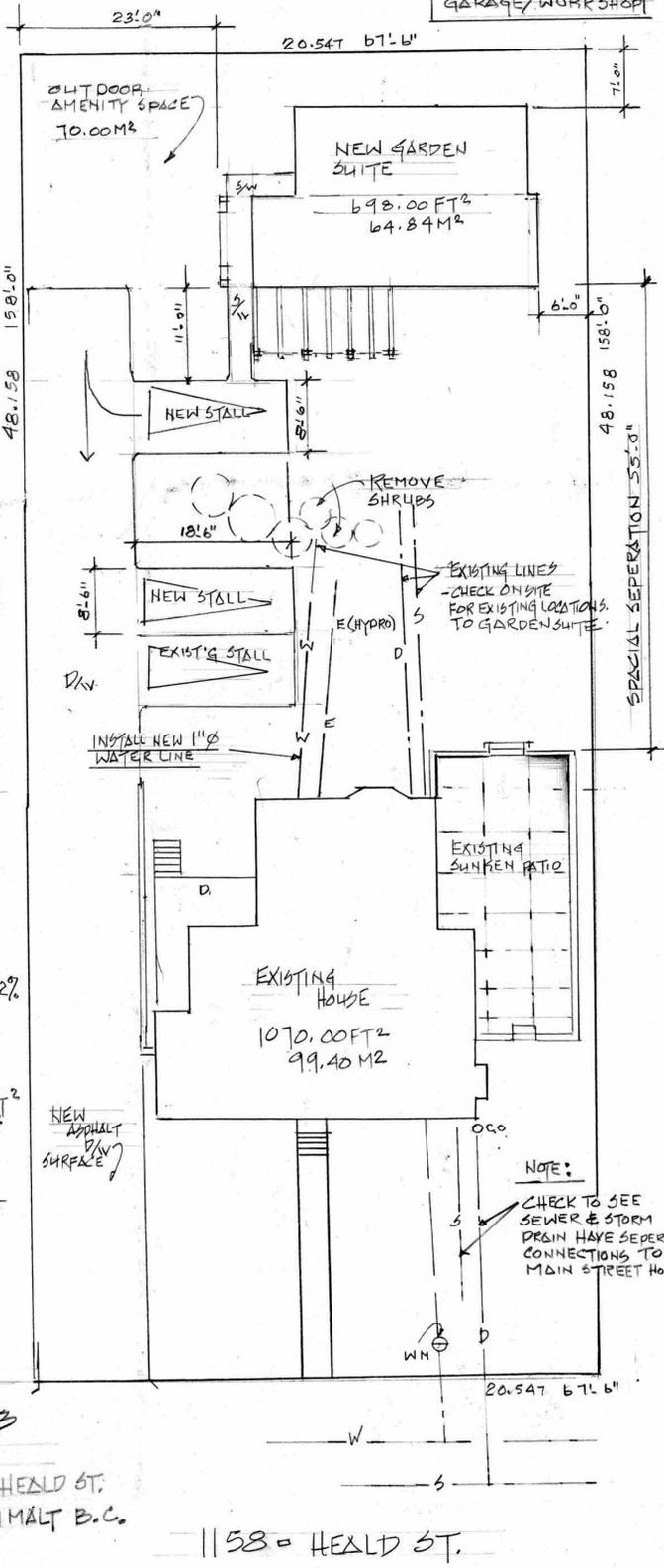
2 MAIN FLOOR PLAN
SCALE 1/4" = 1'-0" 698.00 FT² (64.84 M²)

LOT DATA & CALCULATIONS:

LOT AREA = 10,586 FT²
983.49 M²
PROPOSED LOT COVERAGE:
EXIST'G HOUSE = 1070.00
DECK = 128.00
NEW GARDEN SUITE = 698.00
TOTAL = 1896.00 FT² @ 17.72%
176.14 M²

NEW GARDEN SUITE
REAR YARD AREA = 5940.00 FT²
551.93 M²
GARDEN SUITE = 698.00 FT²
CANOPY OVER SW = 33.00 FT²
TOTAL = 731.00 FT² @ 12.30%
ALLOW = 69.91 M²
ALLOWABLE = 25%
FLOOR AREA 698.00 FT²
64.84 M²
ALLOWABLE = 65.00 M²

OFF STREET PARKING = 3
ZONED = RD-4
CNIC ADDRESS: 1158-HEALD ST.
ESQUIMALT B.C.



1158 HEALD ST.

CONSTRUCTION NOTES:

1. CONTRACTOR/OWNER TO CHECK ALL DIM & ASPECTS THIS DWG AND MAKE WORK AGREE PRIOR TO CONST.
2. ALL POSTS, BEAMS & JSTS TO BE #2 STRUCTURAL D/FIR OR BETTER.
3. ANY CHANGES TO THIS PLAN ARE THE RESPONSIBILITY OF THE OWNER
4. ALL WORK TO COMPLY TO THE B.C.B.C. AND ALL MUN. BY-LAWS.
5. DO NOT SCALE FROM PLAN

GENERAL NOTES:

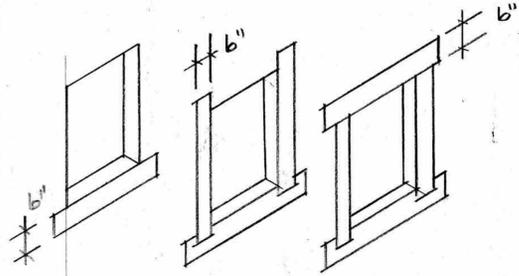
1. ENG ROOF TRUSSES TO HAVE A GROUND/SNOW LOAD AS MUN. SPECS.
2. VENTILATION AS PER ARTICAL 9.32.3.4.(5)
3. H.W.T. TO HAVE SEISMIC RESTRAINTS TOP & BOTTOM.
4. ALL SMOKE ALARMS TO BE INTERCONNECTED TO A 120 VOLT SYSTEM WINDOW RATINGS (N.I.A.F.S. RESULTS)

PERFORMANCE GRADE = 30
WATER TEST PRESSURE = 330 pa
ALL WINDOWS = 451 1.80

FLASHING NOTES:

ALL EXTERIOR DOORS & WINDOWS TO HAVE FLASHING WITH END DAMS (1" FLANGE)

POINTS OF DIRECT BEARING FROM ABOVE.



- + STAPLE MOISTURE BARRIER TO SILL, JAMB & HEAD FOLD OVER 6" AS SHOWN ABOVE
- + LEAVE AREAS FOLDED OVER UNSTAPLED TO LAP OVER SHEATHING
- + 2-LAYERS MOISTURE BARRIER.

WINDOW/DOOR ROUGH OPENING WRAP

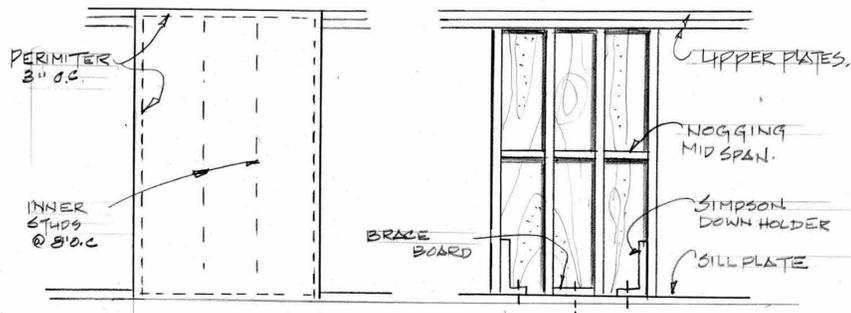
PROPOSED NEW GARDEN SUITE FOR SANDRA MARSHALL @ 1158 HEALD STREET • ESQUIMALT • BRITISH COLUMBIA

DATE: OCT 2024

DWG. BY E. ANDRUSKO

SHEET

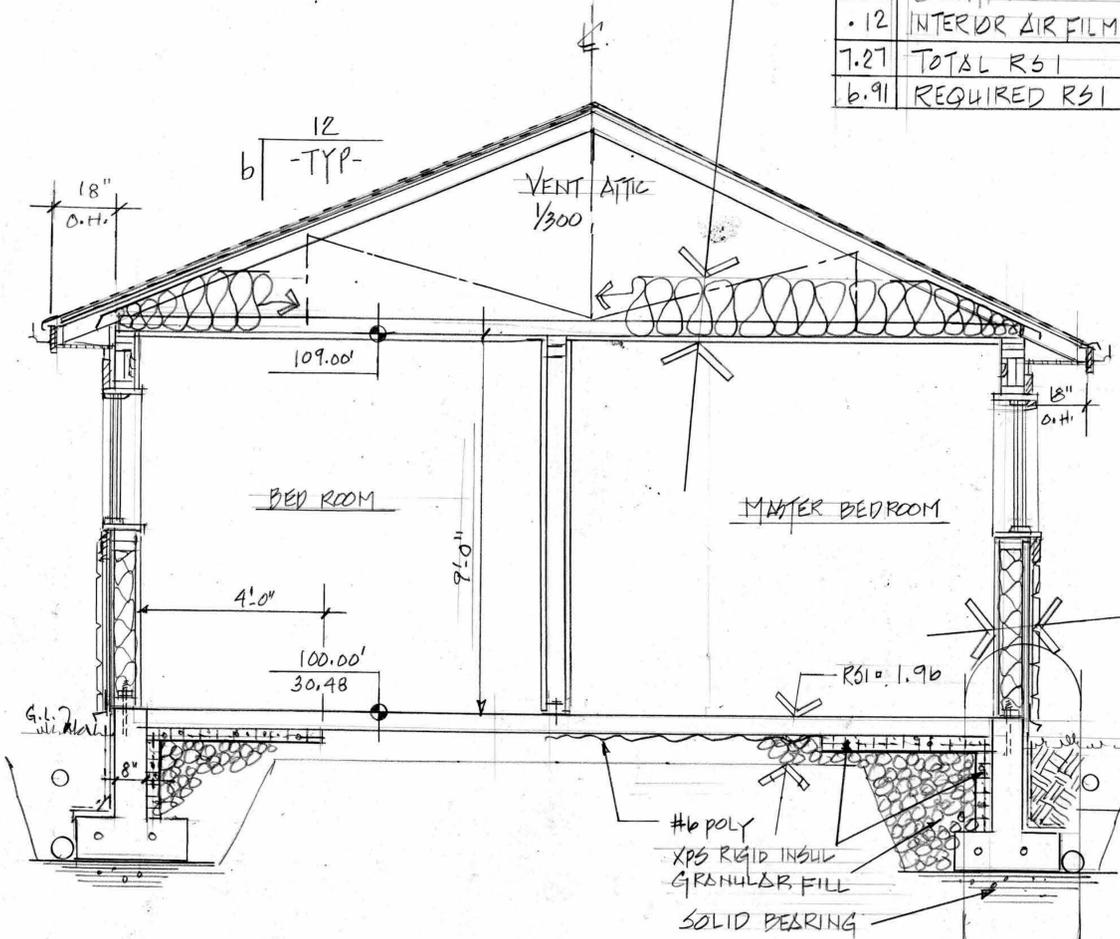
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NAILING PATTERN FOR BRACE PANELS AS LOCATED BY PRO-ENGINEER.

FIBERGLASS ROOFING
BLDG PAPER

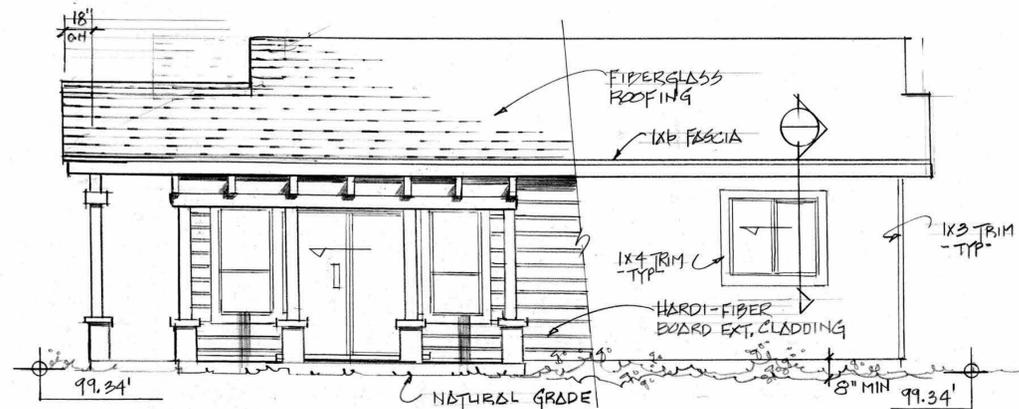
.03	EXTERIOR AIR FILM
7.04	ENG ROOF TRUSSES @ 24" O.C. R-40 BATT INSUL & VAP BAR
.08	5/8" GYPROC
.12	INTERIOR AIR FILM
7.27	TOTAL RSI
6.91	REQUIRED RSI



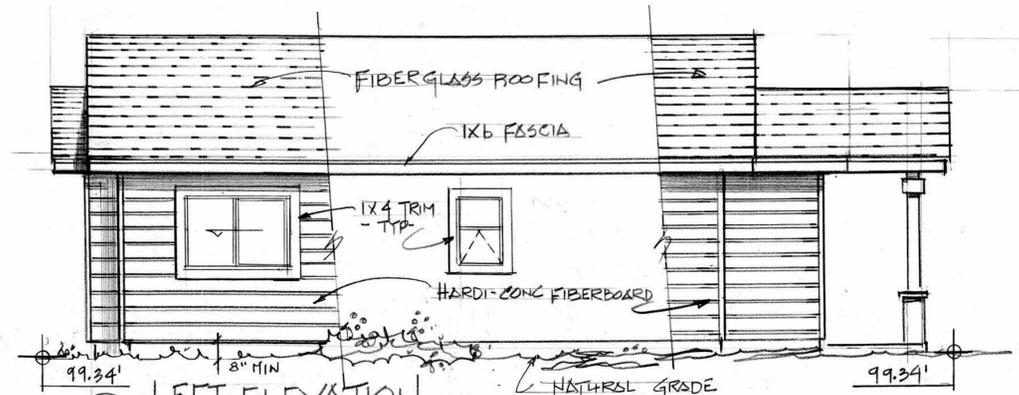
1 CROSS SECTION - TYPICAL
SCALE 1/2" = 1'-0"

.03	EXT AIR FILM
.026	EXT CLADDING (SEE ELEV)
.15	1x1/2 STRAPPING @ 8" O.C. 3/8" (19mm) AIRSPACE
.0	2-LAYERS BLDG PAPER
.11	1/2" PLY SHEATHING
2.36	2x6 WD STUD WALL @ 16" O.C. R-22 BATT INSUL & V. BAR
.08	1/2" GYPROC
.12	INT. AIR FILM
2.87	TOTAL RSI
2.78	REQUIRED RSI

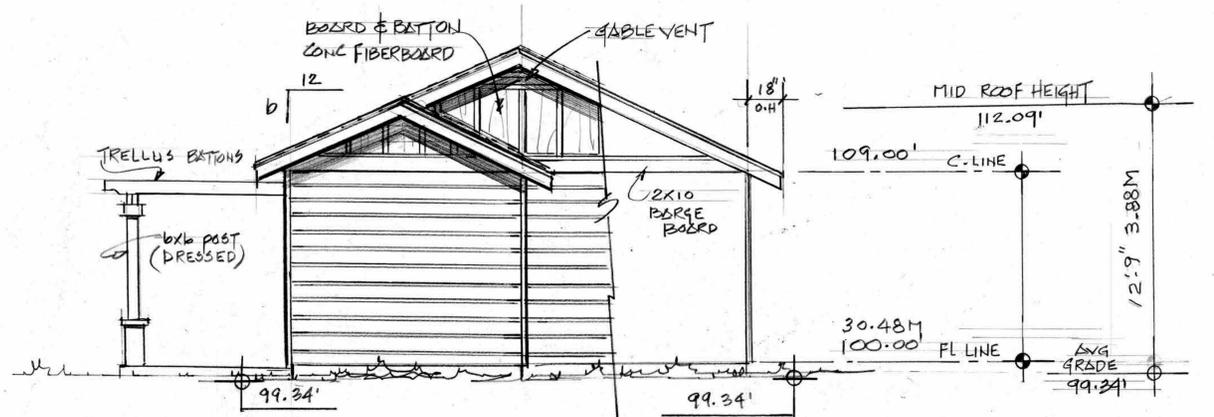
1/2" ANCHOR BOLTS @ 6'-0" O.C. MAX.
8" CONC WALL
1/2" REBAR
2 COATS DAMPROOFING
DRAIN MAT
3" TIGHT PIPE (R.W.O.L.)
4" PERF DRAIN PIPE
3" MINUS DRAIN ROCK
TOTAL RSI = 1.99



2 RIGHT ELEVATION
SCALE 1/4" = 1'-0"



3 LEFT ELEVATION
SCALE 1/4" = 1'-0"



4 REAR ELEVATION
SCALE 1/4" = 1'-0"

PROPOSED NEW GARDEN SUITE for SANDRA MARSHALL
@ 158 HEALD STREET, ESQUIMALT, BRITISH COLUMBIA

DATE: OCT 2024

SHEET

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