

Revision Number	Revision Description	Revision Date

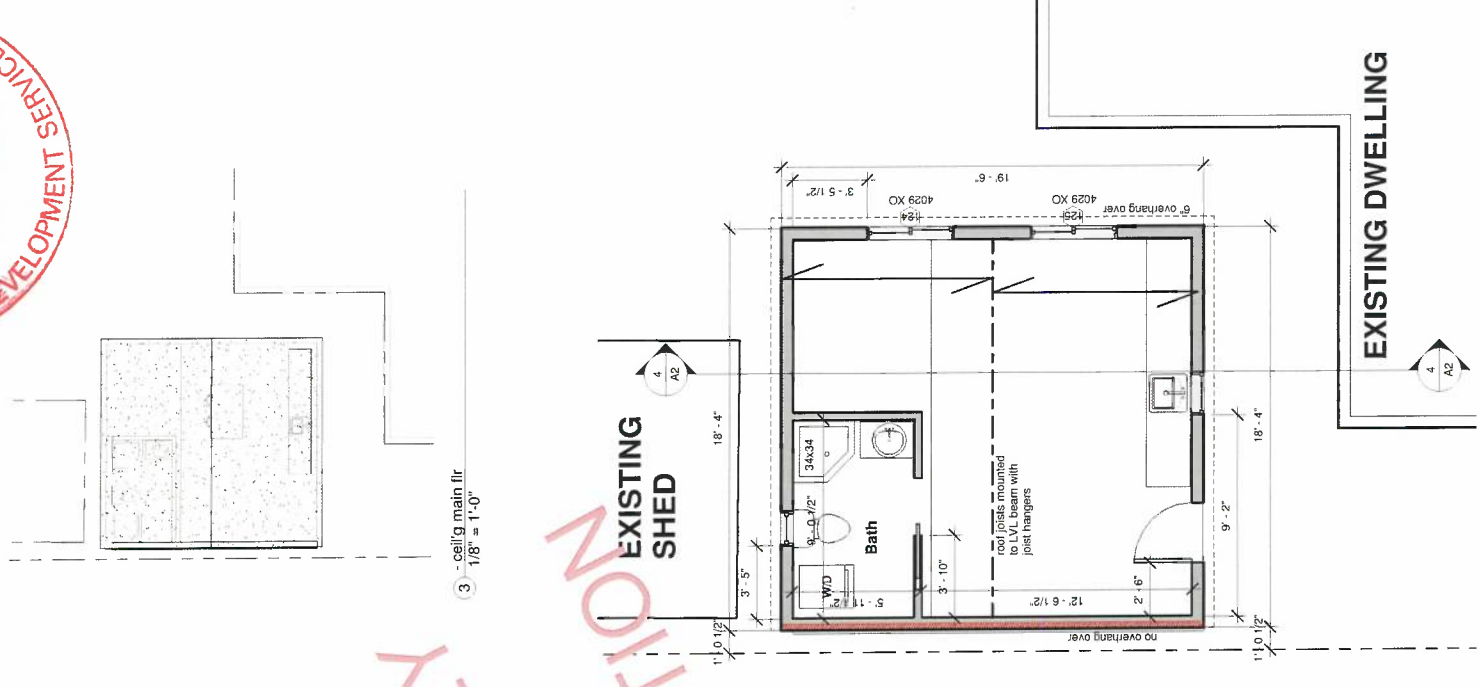
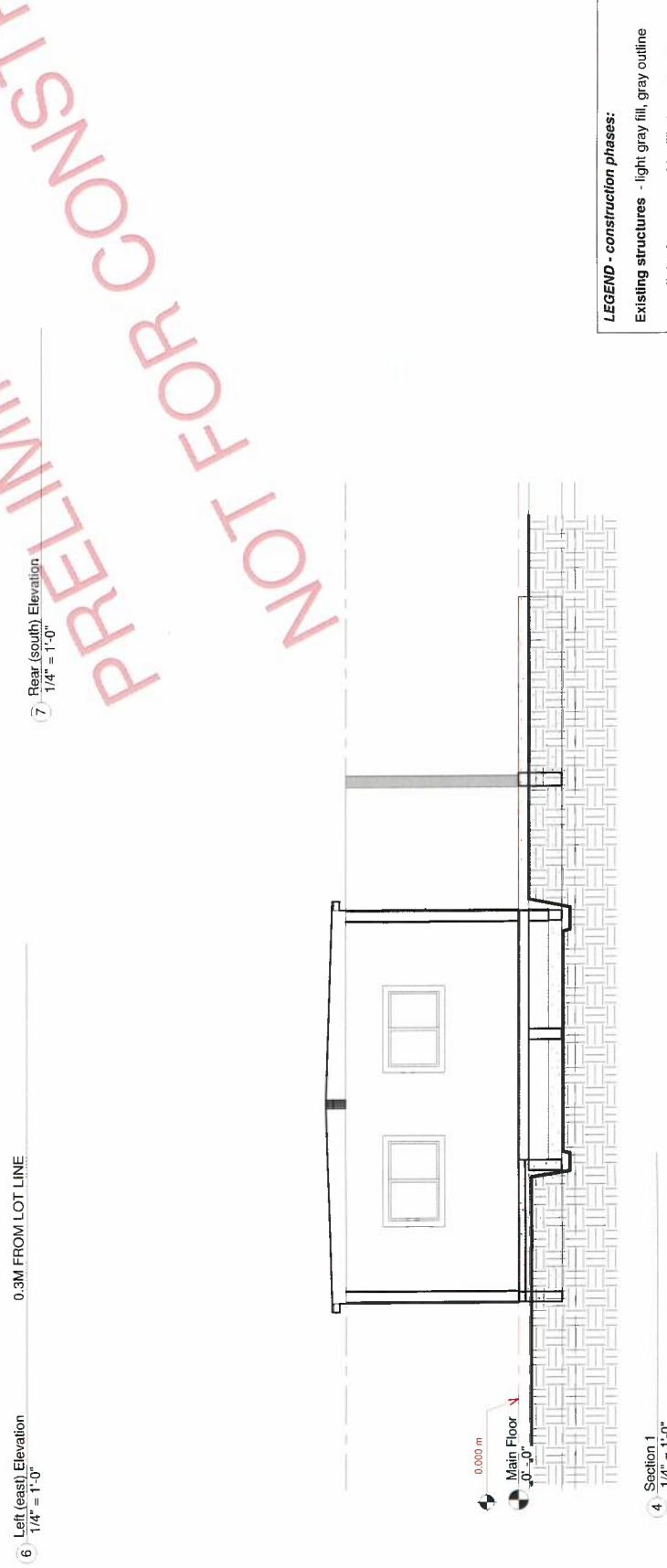
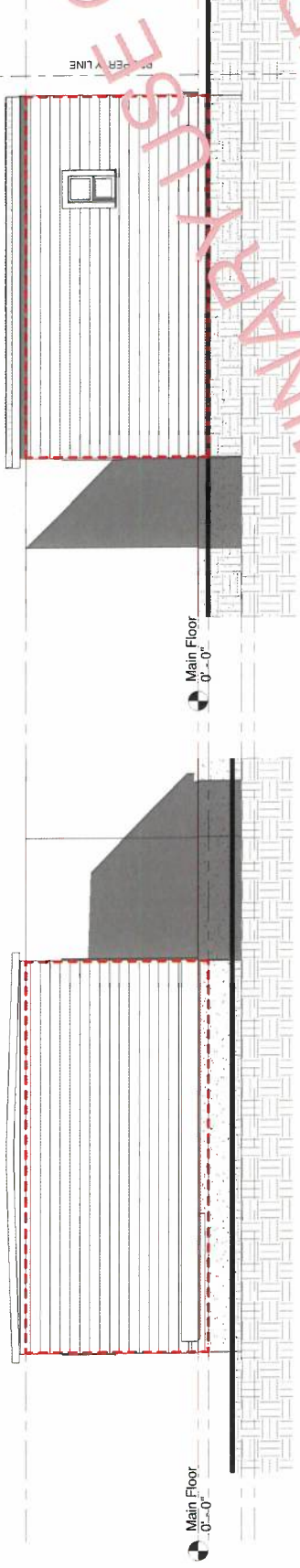
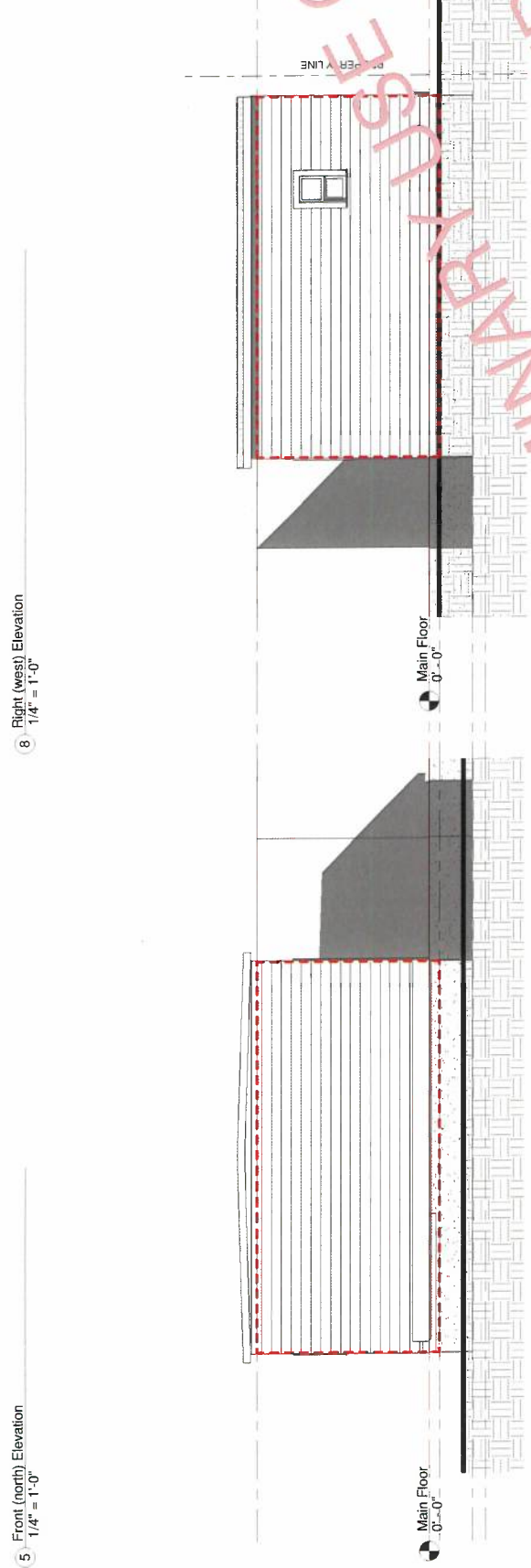
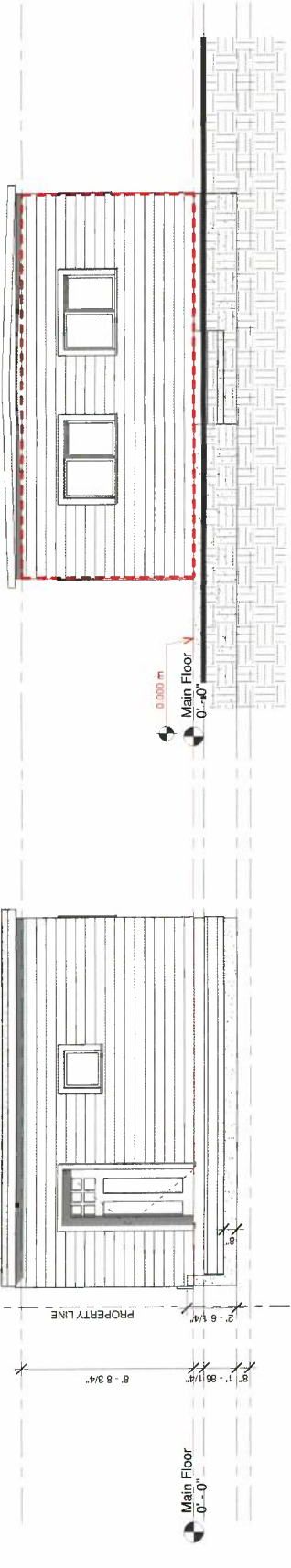
RECEIVED
FEB 26 2025
 CORP. OF TOWNSHIP
 OF ESQUIMALT
 DEVELOPMENT SERVICES

Proposed Conversion of Accessory to for:
Mr. Jordan NOBLE
 at: 805 Hutchinson Ave, Esquimalt, BC

MCNEIL BUILDING DESIGNS LIMITED
 1041 Lovers Lane
 Cobble Hill, BC V8R1L6
 Phone: 250.693.7907
 info@mcneilbds.com

SEAL MUST TO APPEAR AND BE VALID
 DATE NOV 2023
 DRAWN BY RVT xxx
 CHECKED BY

A2
 SHEET A2 OF A2

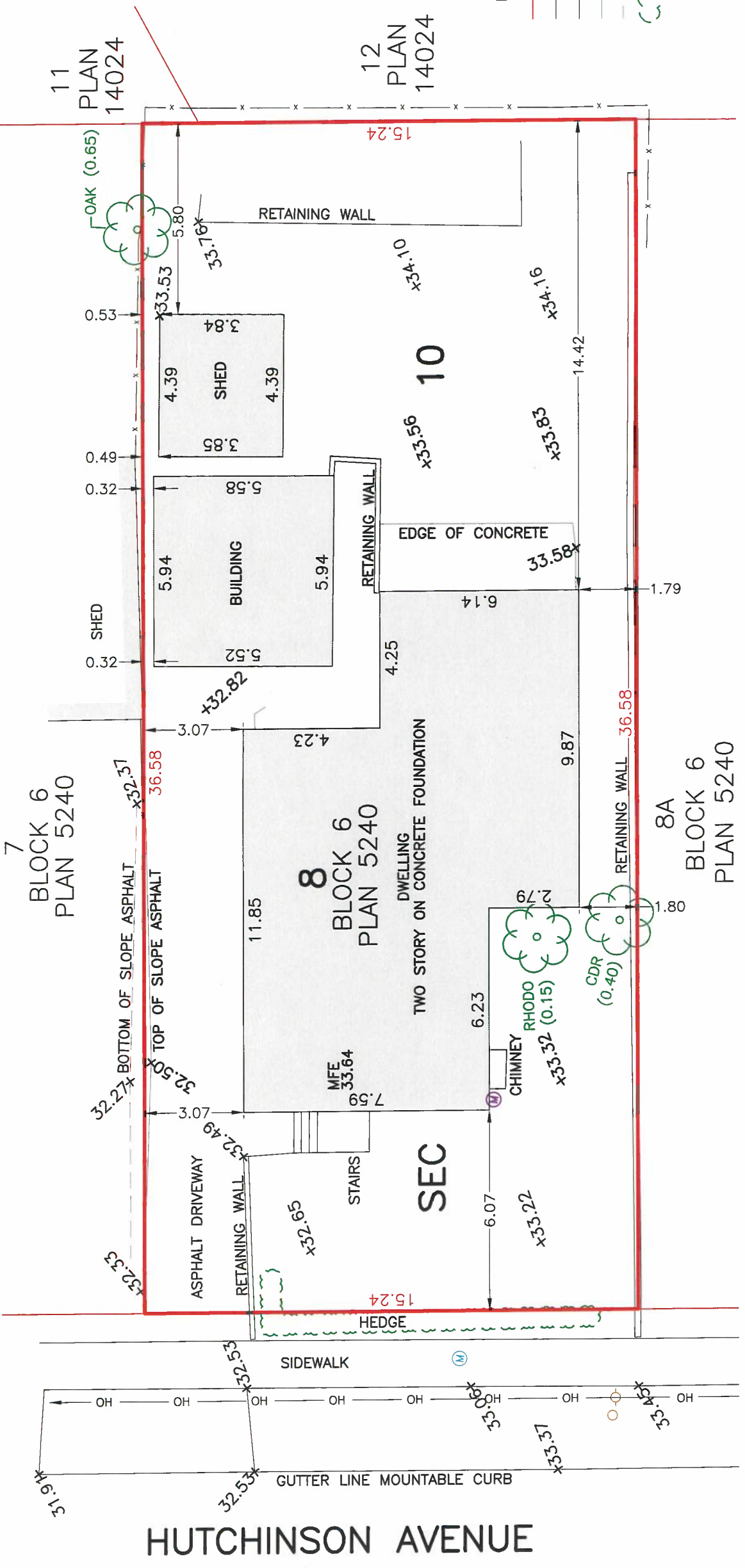


LEGEND - construction phases:
 Existing structures - light gray fill, gray outline
 Demolished - white fill, dashed outline
 New construction - dark fill, dark outline

PRELIMINARY USE ONLY NOT FOR CONSTRUCTION

0000 sf & Garage 000 sf
 90 ceiling ft 80 head ht

7
BLOCK 6
PLAN 5240



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 CORP. OF TOWNSHIP
 OF ESQUIMALT
 DEVELOPMENT SERVICES

- LEGEND**
- DENOTES PROPERTY LINE
 - x - DENOTES FENCE
 - OH - DENOTES OVERHEAD POWER LINES
 - - - DENOTES TOP OF SLOPE
 - - - DENOTES BOTTOM OF SLOPE
 - - - DENOTES VEGETATION OUTLINE
 - (M) DENOTES WATER METER
 - (M) DENOTES GAS METER
 - DENOTES UTILITY POLE
 - DENOTES GUY POLE
 - (Tree Symbol) DENOTES TREE, SPECIES, AND DIAMETER
 - x34.16 DENOTES SPOT ELEVATION
 - MFE DENOTES MAIN FLOOR ELEVATION

THIS CERTIFICATE MAY BE AFFECTED BY THE FOLLOWING NON-FINANCIAL REGISTERED DOCUMENTS:

- NONE
- EXCLUDE MORTGAGE, ASSIGNMENT OF RENTS, AND PRIORITY AGREEMENT

UNDERHILL GEOMATICS LTD. ACCEPTS NO RESPONSIBILITY OR LIABILITY FOR ANY DAMAGES THAT MAY BE SUFFERED BY A THIRD PARTY AS A RESULT OF ANY DECISIONS MADE, OR ACTIONS TAKEN BASED ON THIS DOCUMENT.

PROPERTY LINES ARE BASED ON FIELD SURVEY AND LAND TITLE OFFICE RECORDS AND ARE SUBJECT TO CHANGE. A LEGAL SURVEY WILL BE REQUIRED TO FINALIZE PROPERTY LINE DIMENSIONS.

THIS DOCUMENT SHALL NOT BE USED TO DEFINE PROPERTY CORNERS.

CERTIFIED CORRECT:



DECEMBER 11TH, 2024 B.C.L.S.

CIVIC ADDRESS: 805 HUTCHINSON AVENUE, VICTORIA, BC
PID: 005-946-689

THE CORPORATION OF THE TOWNSHIP OF ESQUIMALT
ZONE RS-6 SINGLE FAMILY DADU RESIDENTIAL

ELEVATIONS ARE IN METERS, TO CGVD28 GEODETIC DATUM DERIVED FROM GEODETIC CONTROL MONUMENT 84HO210 ELEVATION = 37.163m.

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	UNDERHILL GEOMATICS LTD. ENGINEERS AND SURVEYORS VICTORIA, BC TEL. (250) 871-4599	DRAWN BY TG	JOB NO. V24CV142	TITLE SITE PLAN OF: LOT 8, BLOCK 6, SECTION 10, ESQUIMALT DISTRICT, PLAN 5240	DRAWING NO. LCV-2024-142	REV. 0
	CLIENT JORDAN NOBLE		SCALE 1:150	DATE OF SURVEY DEC. 5, 2024	SHEET 1 OF 1	