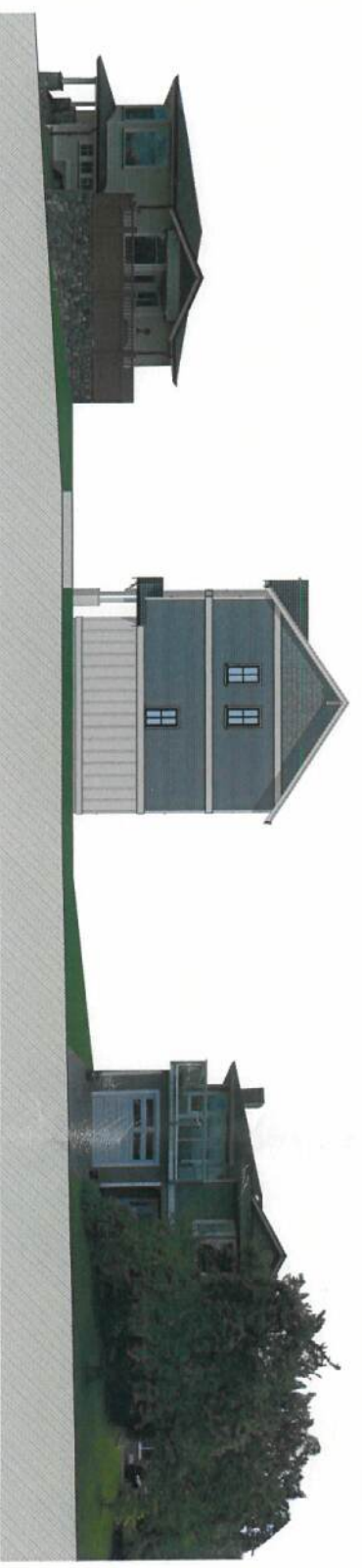


BLOCK A AVERAGE GRADE	
A = 13.13m	
B = 12.94m	
C = 12.9m	
D = 12.79m	
E = 13.49m	
F = 13.52m	
G = 14.49m	
93.26m/7 = 13.32m	

BLOCK B AVERAGE GRADE	
H = 14.7m	
I = 13.77m	
J = 13.74m	
K = 13.91m	
L = 15.15m	
M = 15.32m	
N = 15.96m	
O = 16.23m	
118.18m/8 = 14.77m	

1 SITE PLAN
SCALE: 1:100



STREETSCAPE

Property Information

Project Type: NEW TRIPLEXES
 Owners:
 Site Address: 1007 Arcadia St
 Legal Description: Legal Lot 3, Section 10, Esquimalt District, Plan 5749

BLOCK A - TRIPLEX:

Setbacks:	Proposed
West	4.05m
North	4.98m
South	3.0m
Block B	2.4m

Roof Height

10.79m

Floor Area:

Lower	45.42 m ²
Main	151.87 m ²
Upper	153.75 m ²
Garage	82.17 m ²
Total	351.04 m ²

BLOCK B - TRIPLEX:

Proposed

Setbacks:	4.98m
North	5.0m
East	5.0m
South	3.0m
Block A	2.4m
Roof Height	9.54m
Floor Area:	13.22 m ²
Basement	19.28 m ²
Lower	151.94 m ²
Main	153.82 m ²
Upper	90.89 m ²
Garage	325.04 m ²
Total	848 m ²
Total Floor Area	676.08 m ²
FSR	0.8
Total Footprint:	349.96 m ²
Lot Coverage:	41.27%
Open Site Space:	223.58 m ²
	26.37%

Applicable Codes

-BC Building Code Current Edition (2024)
Energy
 Compliance path: BCBC 9.36
 Requirements applicable to this project: Step Code 3

Ventilation

BCBC 9.32



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SITE PLAN

A-001



SURFACES LEGEND	
	GRASS PERENNIAL RYE
	NEW DRIVEWAY CONCRETE
	NEW RETAINING WALL CONCRETE

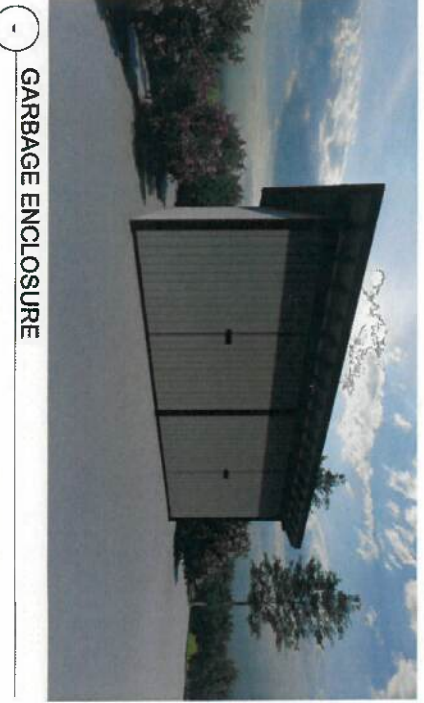


1 LANDSCAPE PLAN
SCALE: 1:100

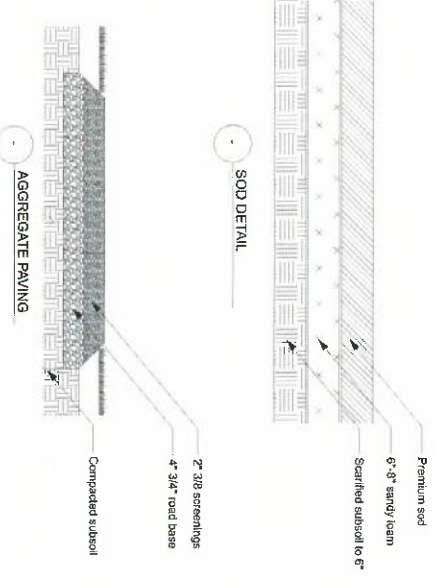
Property Information	
Project Type:	NEW TRIPLEXES
Owners:	
Site Address:	1007 Arcadia St
Legal Description:	Legal Lot 3, Section 10, Esquimalt District, Plan 5749
BLOCK A - TRIPLEX:	
Setbacks:	Proposed
West	4.05m
North	4.98m
South	3.0m
Block B	2.4m
Roof Height	10.79m
Floor Area:	
Lower	45.42 m ²
Main	151.87 m ²
Upper	153.75 m ²
Garage	82.17 m ²
Total	351.04 m ²
BLOCK B - TRIPLEX:	
Setbacks:	Proposed
North	4.98m
East	5.0m
South	3.0m
Block A	2.4m
Roof Height	9.54m
Floor Area:	
Basement	13.22 m ²
Lower	19.28 m ²
Main	151.94 m ²
Upper	153.82 m ²
Garage	90.89 m ²
Total	325.04 m ²
Lot Area:	848 m ²
Total Floor Area	676.08 m ²
FSR	0.8
Total Footprint:	349.96 m ²
Lot Coverage:	41.27%
Open Site Space:	223.58 m ²
	26.37%

NOTES

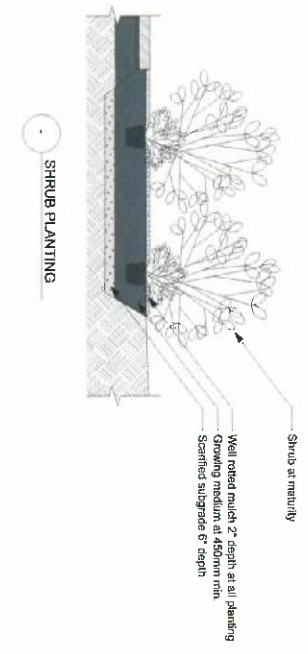
Contractor to locate, identify and have crews be aware of all new and existing utilities on and around the property. All landscaping on municipal property to conform to municipal standards. All fencing to conform to municipal bylaws. Planting locations shown on plans are approximate and should be verified by survey if important. Project Arborist to install tree protection fencing where required and to be available for onsite supervision when working near critical root zones.



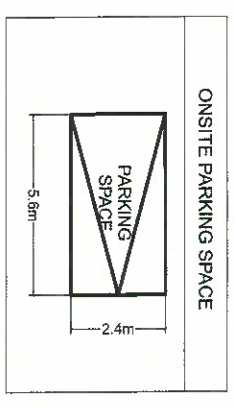
GARBAGE ENCLOSURE



SOD DETAIL



SHRUB PLANTING



ONSITE PARKING SPACE



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LANDSCAPE PLAN

A-002

BLOCK A



EXTERIOR CLADDING LEGEND

- 1 CEMENT BOARD LAP SIDING
PAINTED
- 2 HARDSHINGLE
- 3 CEMENT BOARD PANEL CW
X35 CRS BATTENS - PAINTED
- 4 ASPHALT ROOFING SHINGLES

ADDITIONAL EXTERIOR FINISHINGS

OUTRIGS: 5" CONDUIT RINGS UNPAINTED (PERMANENT)
 CW PER ALUMI AND COMPANION

EXTERIOR: 100% SMOKE PROOF
 100% SMOKE PROOF
 100% SMOKE PROOF
 100% SMOKE PROOF
 100% SMOKE PROOF

NOTE: PERMANENTLY MOUNTED, WEATHER RESISTANT, NON-COMBUSTIBLE, AND NON-TOXIC. ALL MATERIALS MUST BE APPROVED BY THE DESIGNER. ALL OCCUPANCY AS PER CHARTER.



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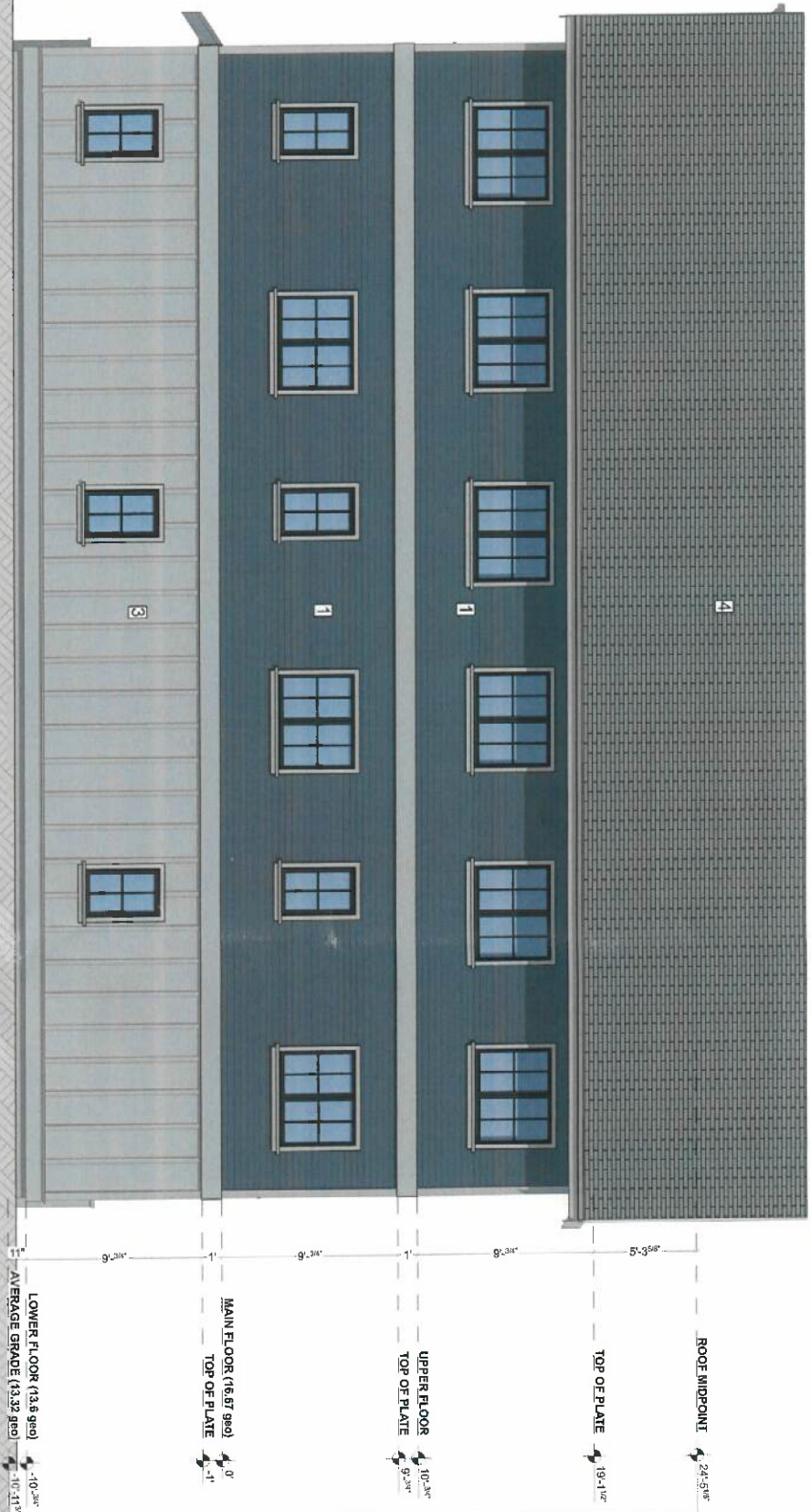
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BLOCK A



3 REAR ELEVATION
SCALE: 1/4" = 1'-0"

SEPTIMA SEPARATION BOARD 9.10.15.4
 EXPOSED DISTANCE 155.20mm
 ALLOWABLE OPENINGS 14.88mm
 PROPOSED OPENINGS 9.57mm



4 LEFT ELEVATION
SCALE: 1/4" = 1'-0"



EXTERIOR CLADDING LEGEND

1	CEMENT BOARD LAP SIDING PAINTED
2	HARDIESHINGLE PAINTED
3	CEMENT BOARD PANEL CMV X3 OSB BATTENS - PAINTED
4	ASPHALT ROOFING SHINGLES

ADDITIONAL EXTERIOR FINISHINGS

ADDITIONAL EXTERIOR FINISHINGS	CEMENT BOARD LAP SIDING
ADDITIONAL EXTERIOR FINISHINGS	HARDIESHINGLE
ADDITIONAL EXTERIOR FINISHINGS	CEMENT BOARD PANEL CMV
ADDITIONAL EXTERIOR FINISHINGS	ASPHALT ROOFING SHINGLES



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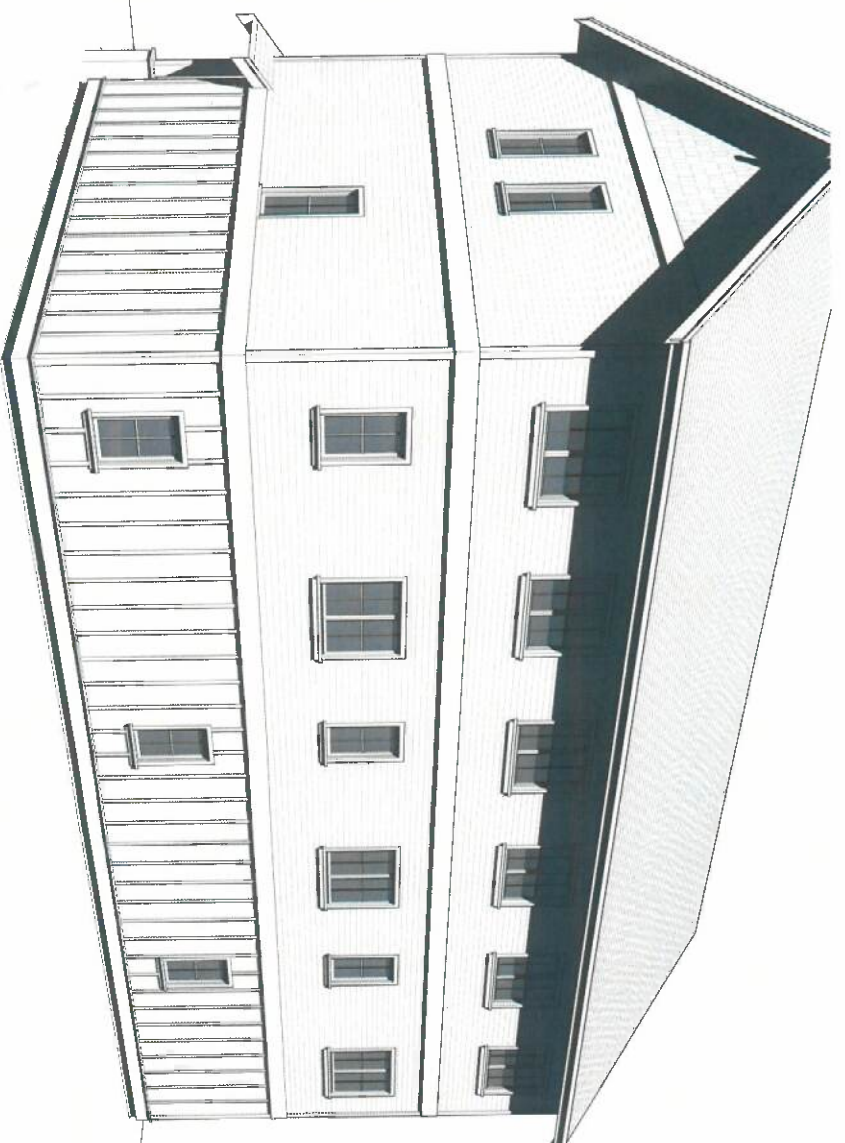
ELEVATIONS

A-202

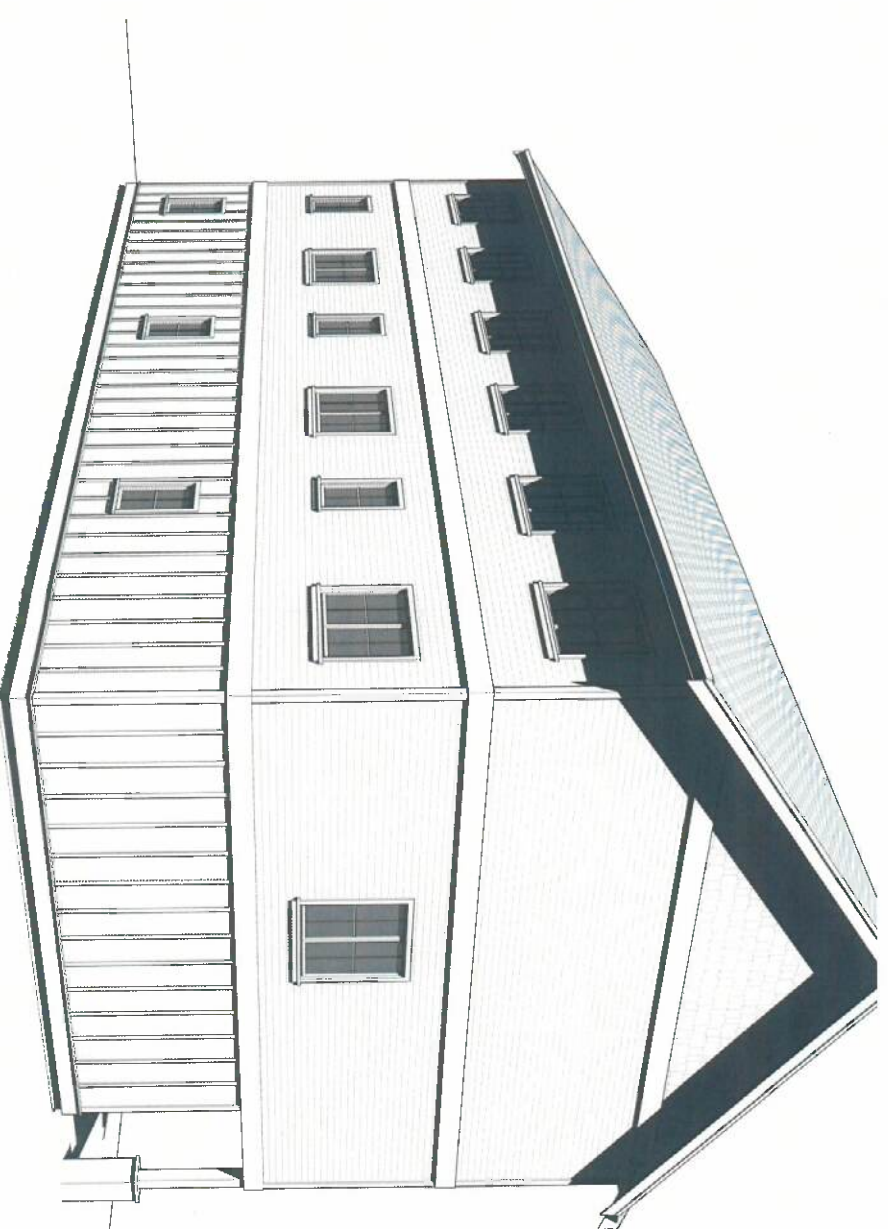
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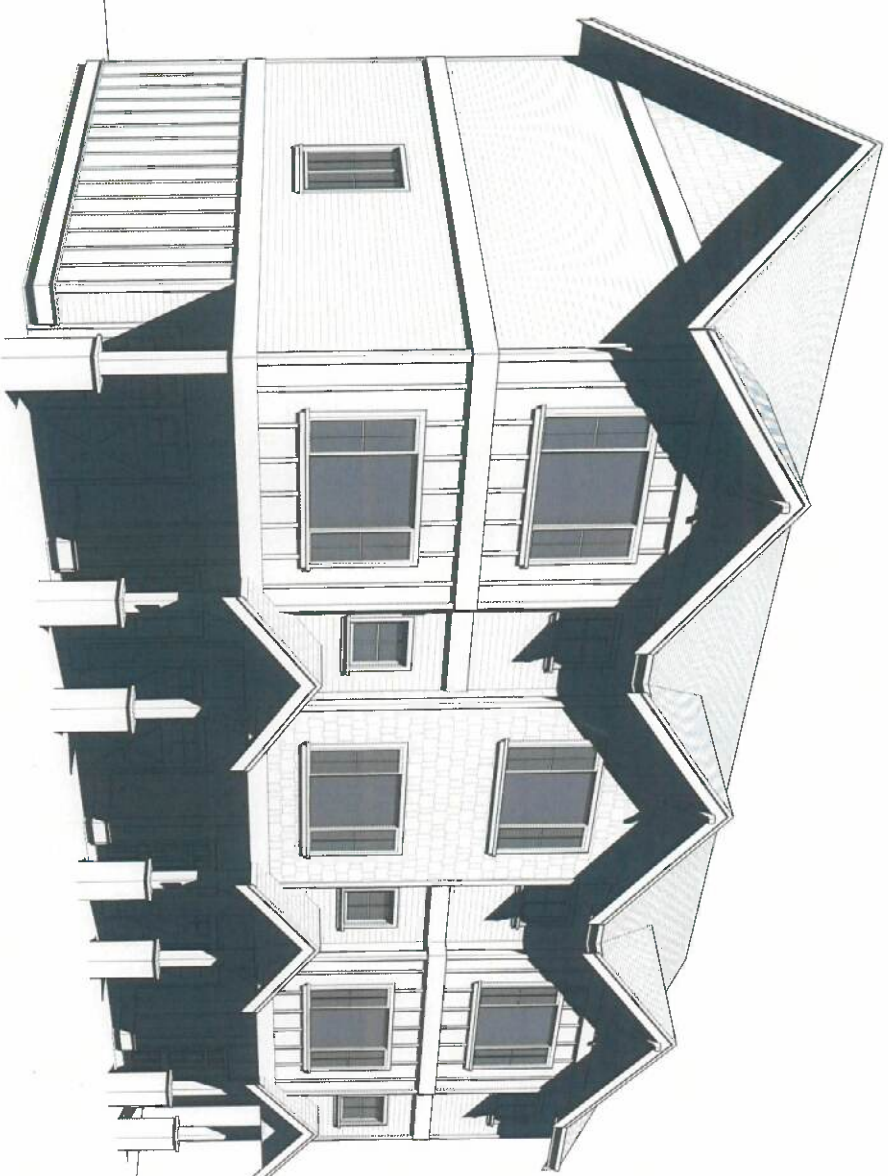
PERSPECTIVE VIEW



PERSPECTIVE VIEW



PERSPECTIVE VIEW



PERSPECTIVE VIEW



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A-401

PERSPECTIVE VIEWS